

BOLTON PLANNING & ZONING COMMISSION

Regular Meeting

7:30 p.m., Wednesday, July 13, 2022

Virtual

Minutes & Motions

Members Present: Chairman Tom Manning, Vice Chairman James Cropley, Brittany Clark, Arlene Fiano, Jeffrey Scala, Thomas Robbins, and Alternates Tom Crockett, Kawan Gordon, Rodney Fournier

Members Excused: Jeremy Flick

Staff Present: Patrice Carson, AICP, Consulting Director of Community Development, Michael D'Amato, Interim Zoning Enforcement Officer, and Yvonne Filip, Recording Secretary

Others Present: Bill Jodis, Steve Rockerfeller, Randy Becker, James & Colleen Bombria, Andrew, Michael Morin, Raymond Dzen

1. Call to Order: T. Manning called the meeting to order at 7:34 p.m.

T. Manning moved to add to the agenda item 6.d. *Request for Extension of Time to File Plans With Town Clerk Under Zoning Regulations Section 16B.5.b: Special Permit Application for Veterinary Hospital/Veterinary Emergency Care, 233 Boston Turnpike & 12 Williams Road (Bolton Vet), Veterinarians of Eastern Connecticut LLC (#PL-22-3).* **J. Scala seconded.** Vote: 6-0-0. Motion passed.

T. Manning seated T. Crockett for J. Flick.

2. Approval of Minutes: June 8, 2022, Regular Meeting Minutes

T. Crockett moved to approve the minutes of the June 8, 2022, Regular Meeting. **B. Clark seconded.** Vote: 6-0-1 (Cropley). Motion passed.

3. Residents' Forum: No one present wished to speak on a non-agenda item.

4. Staff Reports

P. Carson reported:

- Has been dealing with what is on the agenda.

M. D'Amato reported:

- Has been working on the ongoing zoning violations to get them moving. They have slowed down. He spoke to the property owner of the Boston Turnpike location and has scheduled a follow up meeting with the tenant. He should be hearing from them shortly. He is waiting on the gates to go between the two buildings. We are trying to come up with other alternatives. 17 Howard Road has been silent for the last month or so.

J. Scala moved that the Bolton PZC move to item 7.a. at this time. **J. Cropley seconded.** Vote 7-0-0. Motion passed.

5. Public Hearings (begin at 7:45 p.m.)

a. Application for a Zone Change from RMUZ and R-2 to GB, 837 Boston Turnpike, Able Coil and Electronics Co. (#PL-22-5)

P. Carson read the public notice for the record. Randy Becker was present with Steve Rockerfeller.

R. Becker: This application is to change the current RMUZ and R2 zone of lot 2 to GB with lot 1 remaining as RMUZ. The existing lot (837 Boston Turnpike) is in the industrial zone. Lot line modifications for lot 1 are also part of this request.

T. Manning: What does the lot line modification involve? S. Rockerfeller: Explained the lot line modifications. Putting lot 2 into the GB zone instead of the industrial zone is to be sensitive to the neighbors seeing future ownership of the property. T. Manning: Would like to see what he is going to be doing on the lots. J. Scala: He is not sure this is relevant to this application. R. Becker: There will be another industrial building mostly on what is indicated as lot 2 now. S. Rockerfeller: There is a 6+ acres of woods to buffer to any neighbors. P. Carson: We are really are only talking about the zone change for this hearing. R. Becker: We are being sensitive to adding in industrial zone. This will limit us to a clean, quiet business abutting a residential zone. We feel it is appropriate to go with GB. It is a permitted use.

J. Scala: What is the difference in the value of the land when you change it? S. Rockerfeller: It reduces the value since we are wrapping it into 837. We are taking that future selling option away for development. J. Scala: What is the underlying value as R2 or GB? S. Rockerfeller: In a discussion with the Assessor in the past the thought was the value was higher as two separate lots than as one.

Michael Morin, 65 Stonehenge Lane – Thinks his property value will go down. He never expected to have happen what is going on there. A lot of woods have been taken out. When the past changes were made we did not know this would be happening. Since that build there are no deer, no turkey, nothing. If there is blasting to put a building in here he will see the building from his property. The value of his house will be brought down drastically. Blasting could affect his well. The public hearing sign was between the Help Wanted signs. He was notified of this hearing a month ago. He is against it one hundred percent. What was done in the back was not necessary. He will go to Town Hall to see plans.

Jim Bombria, 60 Stonehenge Lane – He has the same concerns. Able Coil has been a good neighbor. The extension of the parking lot took down hundreds of trees. Now we hear noise and see lights from Boston Turnpike. The proposal with the additional parking and the building will affect homes on Stonehenge Lane with higher noise level and more lighting. The snow removal for the extended parking lot proposed will cause a harmful effect on the wetlands and there are five homes that may be flooded by that he believes. A warehouse or industrial operation could cause chemicals in the air. The skyline of the building will be visible in the neighborhood. The

wildlife has dwindled down to nothing in the past years that he thinks it may have to do with the clear cutting. He also has concerns with the three work shifts.

J. Scala: Presumes J. Bombria wants his letter submitting for both applications? J. Bombria: Yes.

P. Carson: Staff comments are on page 77 of the packet and were shared on the screen with portions being read. T. Crockett: Multi-housing units can be built in the RMUZ? About 60 units? P. Carson: Event though this is on the sewer system you need to prove the land can support a septic system. T. Manning: The staff response is positive? P. Carson: Yes.

Raymond Dzen 59 Stonehenge Lane – He is part of the community that has been here for over 40 years. He has served on the IWC and other things for the town in the past. He is in construction. He walked the property with the former owner when it was considered for a zone change. It does have a higher elevation. R. Becker: The new building will be 240' from the nearest abutting property. T. Manning: This is beyond the zone change. Questions about the building will be in the next hearing. The change of zone would be a good idea in the context of POCD and in the existing neighborhood. R. Dzen: This would not be in concert with what is there in the neighborhood. He bought his property 40 years ago; changes here have to be addressed. J. Scala: There are two applications by Able Coil – a zone change proposal and the application for the building. The owner could sell the property. R. Dzen: There are a number of issues that have to be addressed, such as noise, pollution. T. Manning: Those items will be taken up shortly.

Colleen Bombria, 60 Stonehenge Lane – She heard there could possibly be condos on this land. Can you clarify that? P. Carson: Under the current zone multi-family developments are allowed on upper floors with businesses if the land can be shown to support a septic system for that number of units. The former owner's intent was to build multi-family units. There are other uses allowed in that zone. R. Dzen: The former owner said he would have been required to have a light at the entrance way because of the sight lines on the road. We would have to know how many units could go in there. S. Rockerfeller: If these questions are coming from the concern that we are going to put condos there, we are not. The intent is to have the buffer. T. Manning: The PZC cannot make that a condition. R. Dzen: Think he has a nice business. It looks nice.

T. Manning: Does this public hearing have to be continued for this application? P. Carson: Only if the PZC thinks it needs more information. The PZC has 65 days to make a decision.

T. Crockett moved to close the public hearing. **B. Clark seconded.** Vote: 7-0-0.

b. Special Permit Application for 12,000-15,000 SF Pre-Engineered Metal Building Addition for Light Manufacturing, 837 Boston Turnpike, Able Coil and Electronics Co. (#PL-22-4)

P. Carson read the public hearing notice into the record. Randy Becker and Steve Rockerfeller were present.

R. Becker: Shared the site plans. The proposed building will be in the northwest corner of lot 2. Very little clearing will be needed for this building. There are trees to the right side of the property. Behind the proposed building are mature trees and the terrain goes up a hill. The building will fit into the hillside. The roofline view will be very limited. The parking lot to the south is already cleared. It is a grass lot right now that will be paved. The needed grading is very limited. There will be a drainage swale on the right hand side with water ending up in the detention basin sized for a 100-year storm. The new roof area is being drained into the detention basin. We are isolating this development in a little chunk of property. A small amount of trees will be removed around the building for maintenance purposes. Photos of the area taken today where shared. The amount of building anyone would see is very limited because of the woods and the terrain. We have a good plan to move large tractor trailers around. There will be a handicapped ramp and handicapped parking space. There is an exit off the rear from the mezzanine level as an emergency exit. On the north side there will be a circular plunge pool to slow the velocity of the water; this connects into the existing system. There is an overflow pipe that goes underground if it is ever needed. The existing system will work for a 100-year storm. We are not changing the look or view from the side of the building. We have managed to nest this building into the terrain and make it work for us unobtrusively and in an environmental manner. There will be a connector from the existing manufacturing space into the new building. There are ample means of egress. We will be well into the buildable area of the property with everything in place.

K. Gordon: What is the approximate square footage of trees to be removed and given the trees to be removed could there be a possible line of sight to residential properties? R. Becker: 15,000 square feet of clearing needs to be done in an area of 37 acres; that is not a lot. There is dense woods beyond that. The parking area does not have to be cleared. The utility area does not need any further clearing.

P. Carson: Staff reports begin on page 27 of the packet that were reviewed. How many cars in the parking at any one point? S. Rockerfeller: 93 employees total. Looking for ~100 spaces to accommodate employees and visitors. P. Carson: How much lighting will there be in the lower parking lot? S. Rockerfeller: He did not want to add lighting for the rear parking area. Someone said there needs to be light down there. We operate mostly during day hours with maybe small night shifts to meet demand. The majority of the crew is out by 3:45p.m. We only ran split shifts during COVID. R. Fournier: There are motion sensing lighting that is at low light and increasing when motion is detected that could be used. P. Carson: There are some comments about the snow melting. Will the basin treat that melt? R. Becker: We are not talking about hazardous materials leaking out of the building or cars. There may be some drops of gas or oil from the parking lot which is very common in every single property. The water quality volume was calculated. The entire basin is 9,600 square feet. The volume is less than 1/3 than what is being proposed. Snow removal may be pushed off to the side of the property where there are lawns. S. Rockerfeller: We are pushing to the side because we have space but he is willing to sacrifice a couple of parking spots and let it melt, if necessary.

P. Carson: Read a submitted letter into the record from James Bombria, 60 Stonehenge Lane.

Jim Bombria, 60 Stonehenge Lane – Is there a photo of the parking area that is being proposed? Looking at the plan it looks like it is running downhill toward homes. S. Rockerfeller: The parking is not going to extend beyond the clearing that is in that lot; it is not running downhill. J. Bombria: There is a proposal of three lights on the plan. What will the screening of these be? In fall and winter, he is concerned it will be extensive and car lights driving in will be seen on Stonehenge. S. Rockerfeller: We are a daytime operation. We rarely run at night. Zoning requires us to put lighting down there although his intent was not to put any there. The light sensitive lights are agreeable to him if any are necessary. The building is 25' tall from elevation. As you go into the hill it will look like a short building. J. Scala: What is the height of the trees on average. S. Rockerfeller: 60-70' in height. The back of the building will be ~12' higher than the grade. J. Bombria: About half of the 15,000 square foot building will go into the wooded area? S. Rockerfeller: The building is staked out. You are welcome to come and look at it. R. Becker: The building will be 60- 80' back from what is seen in the photo. J. Bombria: How much noise will result with the clearing is another concern.

Raymond Dzen, 65 Stonehenge Lane: What is the hill elevation related to the elevation of the lights? Would it be over the top of the former Mrosek property? S. Rockerfeller: There will be no lights on the back of the building. R. Becker: The lights on the building will be at 678'. The top of the hill is 686'. That would be a natural barrier to the light. The closest property of the doctor is 243'. R. Dzen: Will there be a berm or fencing to protect the neighborhood from sound and light? S. Rockerfeller: We are taking advantage of the natural features of the property. These are only safety lights. R. Dzen: His concerns are noise, lighting, pollution, etc. With the mention of snow – will there be sedimentation going into the stream? R. Becker: The snow melt will have a sheet flow effect; there will be no gully or erosion created. We have a grass swale off to the side. It will hit the detention pond. Any sedimentation build up will be maintained by the owner. R. Dzen: Does he intend to keep the Howard Road site? S. Rockerfeller: His intent is to bring the business back together. R. Dzen: Can you make alterations later? S. Rockerfeller: He has heard comments that since we have renovated the building noise from Route 44 has increased for the neighborhood. By putting up this building it will block that noise. Our operation does not make any noise. R. Dzen: That building is a nice operation and building for Bolton. R. Becker: Test pits have been dug. We know there is ledge on the property. R. Dzen: He has concern if there is blasting. Would we be advised if this takes place? R. Becker: A pre-blast survey will be done and monitoring stations set up; photos will be taken of the neighboring buildings before and after. Blasting mats will be used. Blasting will be done in a permitted way, in a controlled manner. We are connecting to the sewer line. R. Dzen: Do you monitor the well water? S. Rockerfeller: Yes, we are deemed a public water supply and that is reviewed and monitored. We have finally gotten water approval from the appropriate agencies. We do not use water in the manufacturing process. We have been here since 1977.

Michael Morin, 65 Stonehenge Lane: Are you going to clear beyond Dr. Buckman's property? He can see Buckman's building from his deck. S. Rockerfeller: We will cut into those woods. M. Morin: Will schedule an appointment next week to visit the new office, see the plans and walk the property. S. Rockerfeller: The new building has been staked out. You are welcome to see this. J. Scala: ~346' to the nearest edge of Mike's property to the corner of the building.

P. Carson: There is some information that is still needed and PZC will have to continue the hearing.

Jim Bombria, 60 Stonehenge Lane – Thanked all of those present for taking the time tonight to discuss the concerns.

J. Scala: Can the owner provide an overlay of this project with current maps of the site? J. Cropley: Thinks that is a great suggestion. R. Becker: He does not think this is a problem at all. P. Carson: Plans have been available at the Town Hall since they have been filed for anyone to come in and review.

T. Manning moved to continue this hearing to Wednesday, August 10, 2022 at 7:45pm via zoom. **T. Crockett seconded.** Vote 7-0-0. Motion passed.

P. Carson noted no additional notices are posted nor sent out for the public's information.

c. Application for a Temporary Moratorium on adult use cannabis establishments to consider development of regulations regarding the cultivation, sale, and distribution of adult use cannabis, Bolton PZC (#PL-22-6)

P. Carson read the public hearing notice for the record. This item starts on page 79 of the packet. The moratorium language was sent to the CRCOG; they acknowledged receipt and commented saying they saw no concerns. Section 17-2 of the Zoning Regulations has been established.

T. Manning: The PZC can set a 6 or 9 month moratorium. What do the Members think? T. Crockett and B. Clark support 9 months.

J. Cropley: Has anyone applied? P. Carson: No.

Steve Rockefeller: The moratorium is going to go into effect while Bolton comes up with its own regulations? T. Manning: Yes, this will prevent any applications until there are regulations to support these establishments. Mr. Rockefeller thought this was a good idea.

J. Scala moved to close the public hearing on application #PL-22-6. **J. Cropley seconded.** Vote: 7-0-0.

6. Old Business

a. Discussion/Possible Decision: Zone Change from RMUZ and R-2 to GB, 837 Boston Turnpike, Able Coil and Electronics Co. (#PL-22-5)

A. Fiano moved to approve Able Coil and Electronics Co.'s application for a change of zone from RMUZ and R-2 to GB for property at 837-889 Boston Turnpike, Assessor's Map 5, Lot 158. **T. Crockett seconded.** Vote 7-0-0. Motion passed.

b. Discussion/Possible Decision: Special Permit Application for 12,000-15,000 SF Pre-Engineered Metal Building Addition for Light Manufacturing, 837 Boston Turnpike, Able Coil and Electronics Co. (#PL-22-4)

T. Manning: The public hearing on this item has been continued.

c. Discussion/Possible Decision: Temporary Moratorium on adult use cannabis establishments to consider development of regulations regarding the cultivation, sale, and distribution of adult use cannabis, Bolton PZC (#PL-22-6)

T. Crockett moved to approve PZC application #PL-22-6 for a 9-month Temporary Moratorium on adult-use cannabis establishments to consider the development of regulations regarding the cultivation, sale, and distribution of adult use cannabis. The proposed temporary moratorium will provide the time necessary for the Planning & Zoning Commission to endeavor to create Regulations which align with the Bolton PoCD and are reflective of the community, effective upon publication of the notice. **J. Scala seconded.** Vote: 7-0-0.

d. Other: Request for Extension of Time to File Plans With Town Clerk Under Zoning Regulations Section 16B.5.b: Special Permit Application for Veterinary Hospital/Veterinary Emergency Care, 233 Boston Turnpike & 12 Williams Road (Bolton Vet), Veterinarians of Eastern Connecticut LLC (#PL-22-3)

P. Carson: There is no reason not to grant this request. Bolton Vet has been having some staff and supply chain issues.

T. Manning moved to grant a 90-day extension of time to November 7, 2022 to file plans with the Town Clerk's office as allowed by and in accordance with Section 16B.5.b. Endorsement and Filing of the Bolton Zoning Regulations for all approvals granted under Permit #PL-22-3 for Veterinarians Of Eastern Connecticut LLC, which application and plans were approved by the Planning and Zoning Commission on May 11, 2022. **J. Scala seconded.** Vote: 7-0-0. Motion passed.

7. New Business

a. Application: Special Permit for Bed & Breakfast, 60 Villa Louisa Road, (A Villa Louisa), Asim Etern (#PL-22-7)

P. Carson: The owner has submitted the application and the plans. He is proposing a standard B&B under the regulations which is allowed. It does require a public hearing.

T. Manning moved to set a public hearing for application #PL-22-7 for August 10, 2022, at 7:45 p.m. via Zoom. **T. Crockett seconded.** Vote 7-0-0. Motion passed.

b. Other: There was none.

8. Correspondence

a. Email Regarding Prohibition of Gas Stations

An email was received from Kathryn Aldrich. This was put aside for this meeting.

b. Future Meetings Zoom vs. Hybrid

The PZC has discussed having hybrid meetings at a future time.

A. Fiano: Hybrid meetings would solve problems for the public in seeing the plans, as was mentioned during the Able Coil discussion. She was trained on how to run the OWL but another person should be trained. Town Hall staff asks that two people know how to do it. P. Carson:

People need to understand anyone can come into the office at any time during regular business hours to look at plans which are always available.

T. Crockett: Can we get an idea of what other towns are doing? T. Manning will be happy to be in person.

J. Copley: It sounds like people will be going to see S. Rockefeller about his plans. Does a member of the PZC have to be there? P. Carson: No. PZC members that have limitations regarding creating an illegal meeting in visiting locations under discussion without proper notice. The PZC will continue virtual meetings for now.

9. Adjournment

J. Scala moved to adjourn the meeting at 10:04 p.m. **B. Clark seconded.**

Respectfully Submitted,

Yvonne B. Filip

Yvonne B. Filip, Planning & Zoning Commission Recording Secretary

Please see minutes of subsequent meetings for approval of these minutes and any corrections hereto.

Permit Info

Permit For	Building Type
Special Permit Commercial or Industrial Construction or Addition	Commercial
	Development Title
	--
Occupancy Type	Project Cost
Commercial	1500000
Project Description	
12000 SQFT MANUFACTURING / WAREHOUSE	
Is this a modification of a previously approved application?	
No, this is a new application.	

Additional Applicant Info

Applicant Type	Application Contact Name
Other	BILL JODICE

Additional Project Info

Legal Notice Date 1	Legal Notice Date 2
--	--
Existing Gross Sqft	Proposed Gross Sqft
--	12000
Existing Parking Spaces	Proposed Parking Spaces
59	45
Total Acreage / Sqft	Linear Feet of Frontage
45.27	480
Distance to Town Line	
--	

Parcels Included in Project

MBL / Parcel ID	Land Records: Vol.
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Construction Progress

Construction Progress	Time Spent (hrs)
0	--

Setbacks

Front Required	Front Provided
--	--
Back Required	Back Provided
--	--
Left Required	Left Provided
--	--
Right Required	Right Provided
--	--
Open Space Required	Open Space Provided
--	--
Lot Coverage Required	Lot Coverage Provided
--	--

Engineer Information

Company Name	Engineer Name
PDS ENGINEERING & CONSTRUCTION INC	--
Address	City
107 OLD WINDSOR ROAD	BLOOMFIELD
State	Zip
CT	06002
Phone	Registration #
8602428586	--
Insurance Expiration	AOR
--	--
Email	
BILLJ@PDSEC.COM	

Architect Information

Company Name	Architect Name
PDS ENGINEEGING & CONSTRUCTION INC	--
Registration #	License Expiration
--	--
Address	City
107 OLD WINDSOR ROAD	BLOOMFIELD
State	Zip
CT	06002
Phone	Email
8602428586	BILLJ@PDSEC.COM
AOR	
--	

Attorney Info

Name	Address
--	--
City	State
--	--
Zip	Phone
--	--
Email	
--	

Contractors

Other Experts Retained by Applicant

Name	Title / Expertise
RANDY BECKER	P.E.
Address	Phone No
107 OLD WINDSOR ROAD	8602428586
New Field	
--	

Application Submission and Certification

I hereby certify that I am the owner of the record of the named property or that the proposed work is authorized by the owner of record and I have been authorized to make this application as agent, and we agree to conform to all applicable laws, regulations, and ordinances. All information contained within is true and accurate to the best of my knowledge.

Electronic Signature

true

Applicant Name

WILLIAM JODICE



Town of Bolton

222 BOLTON CENTER ROAD • BOLTON, CT 06043

BOLTON PLANNING AND ZONING COMMISSION

APPLICATION FOR SPECIAL PERMIT, SITE PLAN REVIEW OR MODIFICATION OF A PREVIOUSLY APPROVED APPLICATION

1. Application Title: ABLE COIL AND ELECTRONICS CO. MANUFACTURING BUILDING /
WAREHOUSE

2. Check all that apply:

☒ Special Permit Application ☐ Modification of an Approved Special Permit Application*

☒ Site Plan Review Application ☐ Modification of an Approved Site Plan Review Application*

* The Commission may require a new application if the proposed modification significantly alters the previously approved application.

3. Street Address of subject property 837 BOSTON TURNPIKE, BOLTON, CT 06043
4. Deed Reference (Bolton Land Records) Volume 180 Page 1042
5. Assessor's Records Reference: Map # 05; Block # _____ Parcel / Lot # 159 / LOT 1 / LOT 2
6. Current zone(s) of subject property GB/IND/RMUZ/R-2 Acreage: 37.19 + 1.87 + 6.21
LOT 1 LOT 2
7. In Aquifer Protection District? Yes _____ No ☒
8. In FEMA Flood Area? Yes _____ No ☒
9. Wetlands Application Required? Yes _____ No ☒
10. Applicant(s) ABLE COIL AND ELECTRONICS CO. / PDS ENGINEERING & CONSTRUCTION
Address 837 BOSTON TURNPIKE, BOLTON, CT Zip 06043 INC
Phone # 860-646-5686 Fax # 860-646-5678 E-mail ablesales@ablecoil.com
11. Owner(s) of subject property HOWARD ROAD REALTY, LLC
Address P.O. Box 9127 / 25 HOWARD ROAD, BOLTON, CT Zip 06043
Phone # N/A Fax # N/A E-mail N/A
12. Official Contact / Representative regarding this Application: STEVEN K. ROCKEFELLER
Address P.O. Box 9127 / 25 HOWARD ROAD, BOLTON, CT Zip 06043
Phone # 860-646-5686 Fax # 860-646-5678 E-mail srockefeller@ablecoil.com

13. Project Engineer: PDS ENGINEERING & CONSTRUCTION, INC
 Address 107 OLD WINDSOR ROAD, BLOOMFIELD, CT Zip 06002
 Phone # 860-242-8586 Fax # 860-242-8587 E-mail billj@pdsec.com
14. Project Architect: PDS ENGINEERING & CONSTRUCTION, INC
 Address 107 OLD WINDSOR ROAD, BLOOMFIELD, CT Zip 06002
 Phone # 860-242-8586 Fax # 860-242-8587 E-mail billj@pdsec.com
15. Other Experts Retained by Applicant: RANDALL J. BECKER, P.E. 20603
PDS ENGINEERING & CONSTRUCTION, INC.
860-242-8586 randyb@pdsec.com
16. Briefly describe the proposed use of the subject property. Provide greater detail in Project Narrative.
NEW 12,000 SQ. FT. PRE-ENGINEERED METAL BUILDING
TO BE USED FOR LIGHT MANUFACTURING / WAREHOUSE.
17. Square footage of new / expanded space: 12,000 # of new parking spaces 45
18. List the Section(s) of the Zoning Regulations under which application is made: 8

19. Provide all the applicable items for a complete application including a completed Checklist for Site Plan Review and Special Permit Applications. A completed checklist must be provided to comprise a complete application.

20. Applicant's Endorsement:

I am a willful participant and fully familiar with the contents of this application.

Signature

Date

6/2/2022

William J. Becker 6/2/2022
PDS ENGINEERING & CONSTRUCTION, INC

21. Owner's Endorsement:

I am a willful participant and fully familiar with the contents of this application.

Signature

Date

6/2/2022

NOTE: If there are any material changes to this application, the Applicant shall immediately notify the Town Staff in writing.

Applicants may be subject to Supplemental Review fees to defray the cost of Professional Review Services such as engineering or legal reviews.

For Town Use Only

Base Fee Paid _____ Check # _____

Date application received by Inland Wetlands Commission (if applicable) _____

Date of Inland Wetlands Commission action (if applicable) _____

Date application received by Planning and Zoning Commission _____

Date of public hearing (if required) _____

Date of Planning and Zoning Commission action _____

Date of newspaper publication of Planning and Zoning Commission action _____

Summary of Planning and Zoning Commission action _____

Revised March 11, 2009

PL-22-4 (Special Permit Application):

Since 1969 Able Coil & Electronics has manufactured precision-wound coils, toroids, transformers, solenoids, cable and connector harnesses, and many other electrical assemblies. We're currently operating out of two facilities, 837 Boston Turnpike and 25 Howard Road. In an effort to increase operational efficiencies and reduce cost, we're proposing to build a new 12,000 sq-ft building behind our facility at 837 Boston Turnpike. When complete, we plan to move operations from 25 Howard Road to 837 Boston Turnpike. Manufacturing operations performed in the new building will be light industrial and typical for our business. This includes coil winding, electrical assembly, and mechanical assembly. The following operations will also be performed in the new building.

- Small fabrication and repair work center to support operations, repair, and maintenance needs.
- 3D print room to support prototype and custom tooling requirements.
- 2 small plastic injection molding machines to over mold coils.
- Storage of spooled wire, slow moving inventory, and finished goods.

- We estimate 25 employees will work in the new building. The buildings will be connected via a connector so we can share both technical and supervisory resources in a more efficient manner.

MARQUES DAVID & DEBELLA-MARQUES ASHLEY & SURV
WEI RULING
DORGAN MICHAEL
DEBLOIS DAVID J & SANDRA M
CRAYCO JOYCE MUISENER
BOLTON TOWN OF
BOLTON TOWN OF
CALHOUN STEVEN J
BOLTON TOWN OF
MORGANSON WAYNE
ROBBINS THOMAS J & CARLA T
STAVENS BROTHERS INC
VERRASTRO KENNETH F
FAULKNER JOSEPH & YOLANDE A & SURV
DOMENICO ROBERT W
CONNECTICUT STATE OF
PERITO DOMENIC D & FOFANA KIMBERLY M
MAIELI SILVIO C & MAIELI SYLVIA C
DZEN RAYMOND A & JANICE L
HOWARD ROAD REALTY LLC
BASSETT DEBORAH ANN
AAL ONLY LLC
PEACOCK RICHARD & CATHERINE
EAGLES NEST HOLDINGS LLC
LAPENTA CHRISTOPHER
BOLTON SELF STORAGE LLC
BOLTON TOWN OF
MCFATTER ROBERT & CHRISTINE MCFATTER
BEAUDOIN RONALD A
TOOMEY PAUL M & SHIRLEY A & SURV
TOOMEY PAUL M & SHIRLEY A & SURV
PERITO DOMENIC D & FOFANA KIMBERLY M
ADAMS JAMES D & OUNPUU SYLVIA
GRANT PARKER A & WENDIANNE C
MORTENSEN GARY & MORTENSEN KAREN
BRYK DANIEL T
HOWARD ROAD REALTY LLC
HOWARD ROAD REALTY LLC
ST JOHN ERIC
ST JOHN ERIC
ST JOHN ERIC
BOLTON MOUNTAIN VIEW LLC
AAL ONLY LLC
DELLERT MARK
BOLTON TOWN OF
KELLY DEVIN K

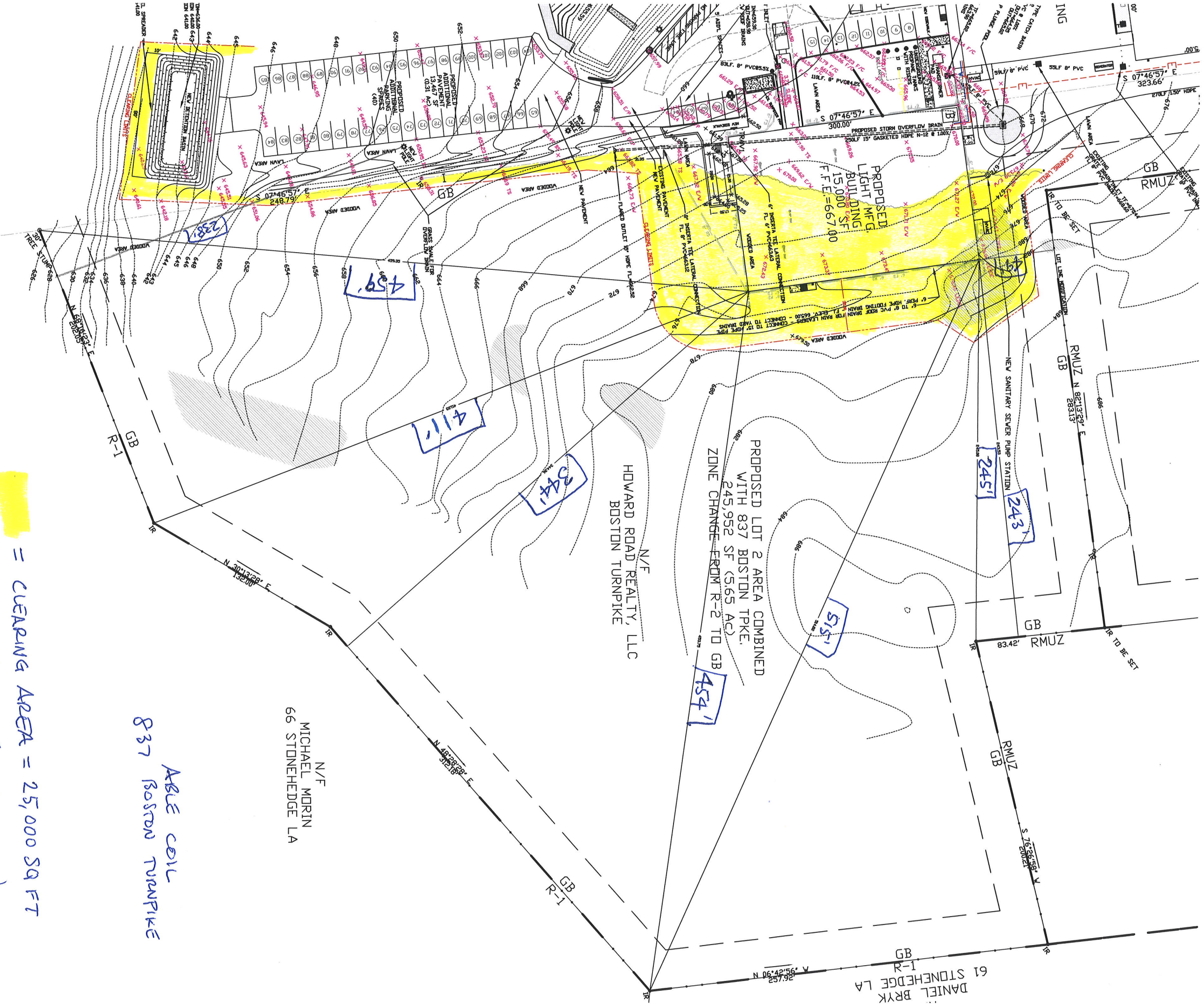
BOLTON TOWN OF
BOLTON TOWN OF
BOLTON TOWN OF
LANDRY RONALD G & BUTLER SANDRA S
ANDERSON MATTHEW P &
RYGELIS ANTANAS
BOMBRIA JAMES C & COLLEEN S
MORIN MICHAEL M
RLB REAL ESTATE HOLDINGS LLC
HOWARD ROAD REALTY LLC
PROSPECT APARTMENTS LLC
LAWTON ALLEN A III
BOLTON NOTCH SELF STORAGE LLC
BOLTON NOTCH SELF STORAGE LLC
MANEGGIA ANDREW T & JEANNE M
OWREN PETER N & RHODA L
BOLTON TOWN OF
BOLTON ICE PALACE LLC

LIST OF ABUTTERS WITHIN 500 FT OF 837 BOSTON TPKE

44 STONEHEDGE LANE	BOLTON, CT 06043
345 BUFF CAP RD	TOLLAND, CT 06084
56 STONEHEDGE LANE	BOLTON, CT 06043
753 BOSTON TPKE	BOLTON, CT 06043
733 BOSTON TPKE	BOLTON, CT 06043
222 BOLTON CENTER RD	BOLTON, CT 06043
222 BOLTON CENTER RD	BOLTON, CT 06043
674 BOSTON TPKE	BOLTON, CT 06043
222 BOLTON CENTER RD	BOLTON, CT 06043
50 STONY RD	BOLTON, CT 06043
85 STONY RD	BOLTON, CT 06043
PO BOX 406	WILLINGTON, CT 06279
13013 MICHAEL CALLIN ALLEY	ORLANDO, FL 32828
12 NOTCH RD	BOLTON, CT 06043
18 NOTCH RD EXT	BOLTON, CT 06043
79 ELM	HARTFORD, CT 06106
15 VERNON RD	BOLTON, CT 06043
38 STONEHEDGE LA	BOLTON, CT 06043
59 STONEHEDGE LA	BOLTON, CT 06043
25 HOWARD RD	BOLTON, CT 06043
8 HOWARD RD	BOLTON, CT 06043
6134 30 ST NW	WASHINGTON, DC 29912
23 QUARRY RD	BOLTON, CT 06043
10 QUARRY RD SUITE C	BOLTON, CT 06043
382 HOP RIVER ROAD	BOLTON, CT 06043
131 OLD ANDOVER RD	HEBRON, CT 06248
222 BOLTON CENTER RD	BOLTON, CT 06043
81 STONY RD	BOLTON, CT 06043
2 COOK DR	BOLTON, CT 06043
38 TOOMEY LA	BOLTON, CT 06043
38 TOOMEY LA	BOLTON, CT 06043
15 VERNON RD	BOLTON, CT 06043
48 STONEHEDGE LANE	BOLTON, CT 06043
51 STONEHEDGE LA	BOLTON, CT 06043
922 BOSTON TPKE	BOLTON, CT 06043
61 STONEHEDGE LA	BOLTON, CT 06043
25 HOWARD RD	BOLTON, CT 06043
25 HOWARD RD	BOLTON, CT 06043
17 HOWARD RD	BOLTON, CT 06043
17 HOWARD RD	BOLTON, CT 06043
17 HOWARD RD	BOLTON, CT 06043
81 TUMBLEBROOK DR	VERNON, CT 06066
PO BOX 9585	BOLTON, CT 06043
12 QUARRY RD	BOLTON, CT 06043
222 BOLTON CENTER RD	BOLTON, CT 06043
66 STONY RD	BOLTON, CT 06043

222 BOLTON CENTER RD
222 BOLTON CENTER RD
222 BOLTON CENTER RD
126 BURBANK RD
40 STONEHEDGE LN
52 STONEHEDGE LANE
60 STONEHEDGE LA
65 STONEHEDGE LANE
921 BOSTON TPKE
P O BOX 9127
17 SUNSET LN
27 QUARRY RD
220 HARTFORD TPKE
220 HARTFORD TPKE
70 STONY RD
80 STONY RD
222 BOLTON CENTER RD
6 PROGRESS DRIVE

BOLTON, CT 06043
BOLTON, CT 06043
BOLTON, CT 06043
ELLINGTON, CT 06029
BOLTON, CT 06043
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BOLTON, CT 06043
BOLTON, CT 06043
BOLTON, CT 06043
BOLTON, CT 06043
VERNON, CT 06066
VERNON, CT 06066
BOLTON, CT 06043
BOLTON, CT 06043
BOLTON, CT 06043
CROMWELL, CT 06416



ABLE COIL
837 BOSTON TURNPIKE

= CLEARING AREA = 25,000 SQ FT
= 0.57 Acre (APPROXIMATE)

LOT SIZE = 37.41 ACRES



RANDALL J. BECKER, P.E. 20603



OWNER :
HOWARD ROAD REALTY, LLC.
25 HOWARD ROAD
PO BOX 9127
BOLTON, CONNECTICUT 06043

APPLICANT :
ABLE COIL AND ELECTRONICS CO.
25 HOWARD ROAD
PO BOX 9127
BOLTON, CONNECTICUT 06043

[illegible]

PROJECT NAME: **ABLE COIL & ELECTRONICS**

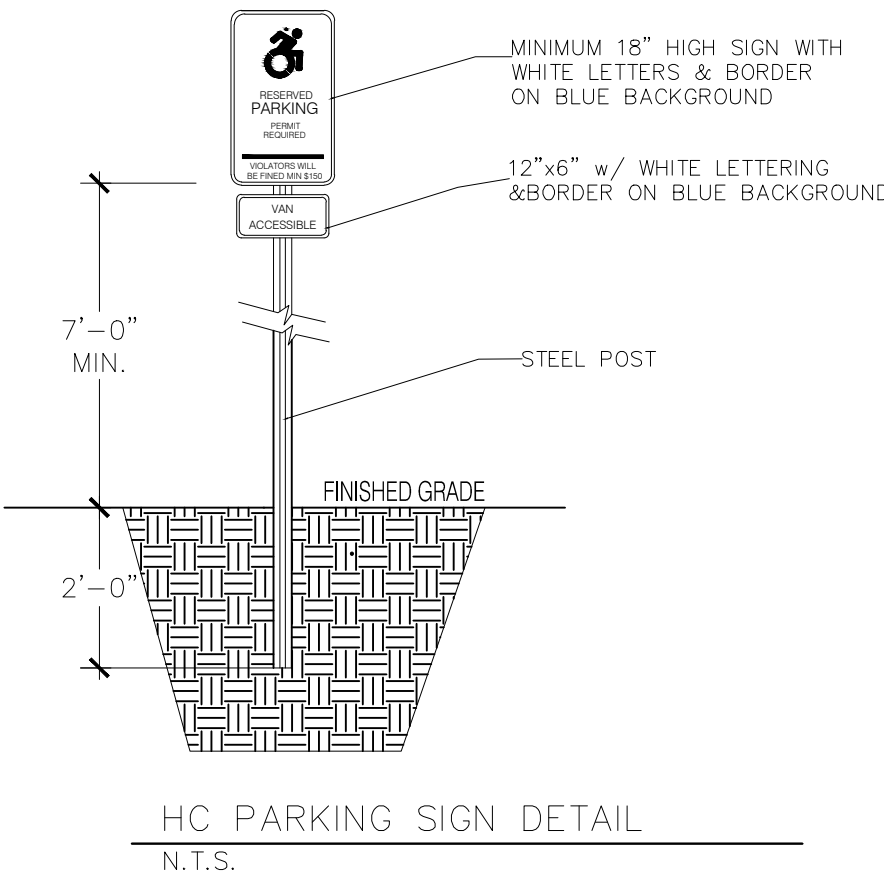
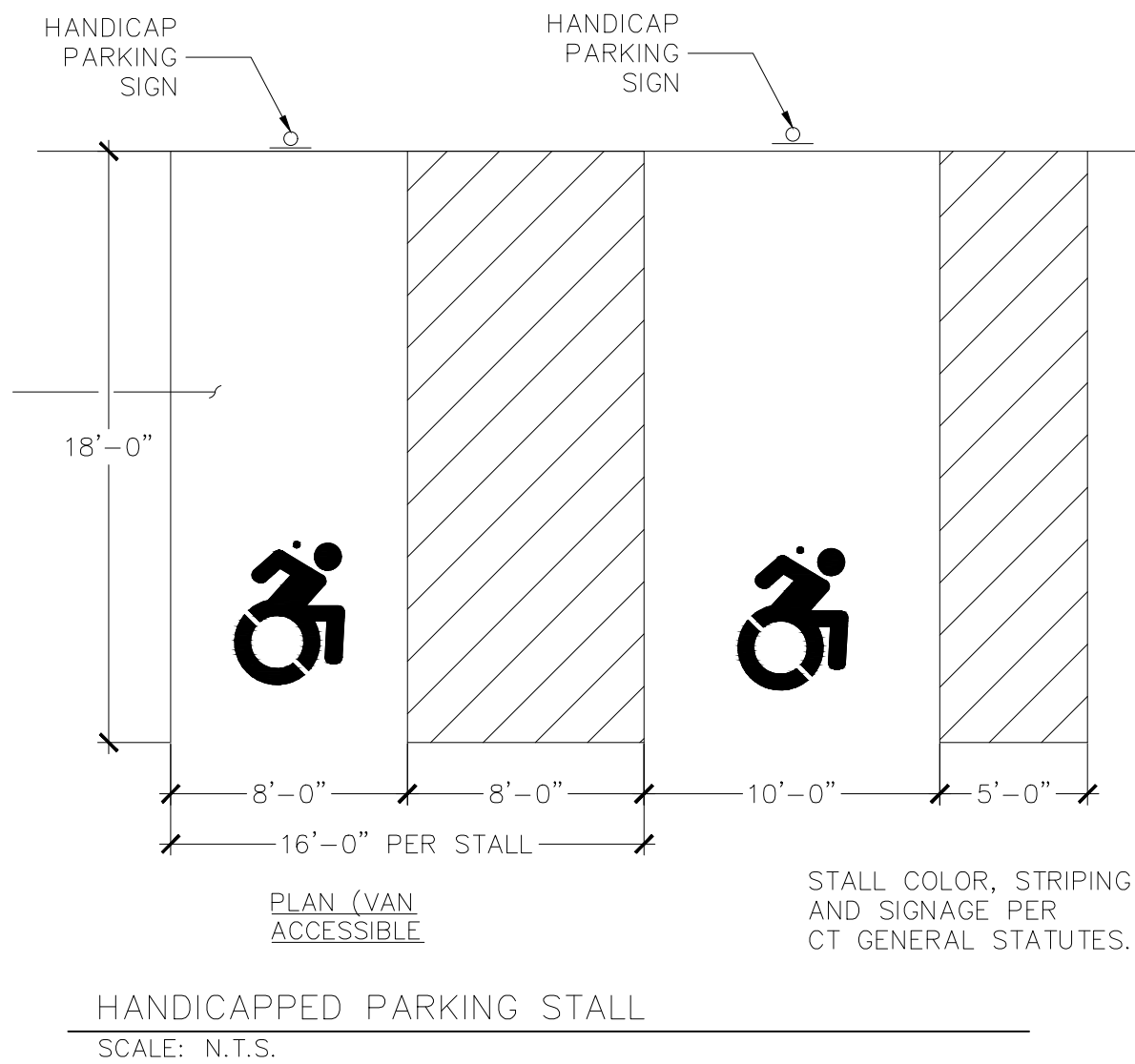
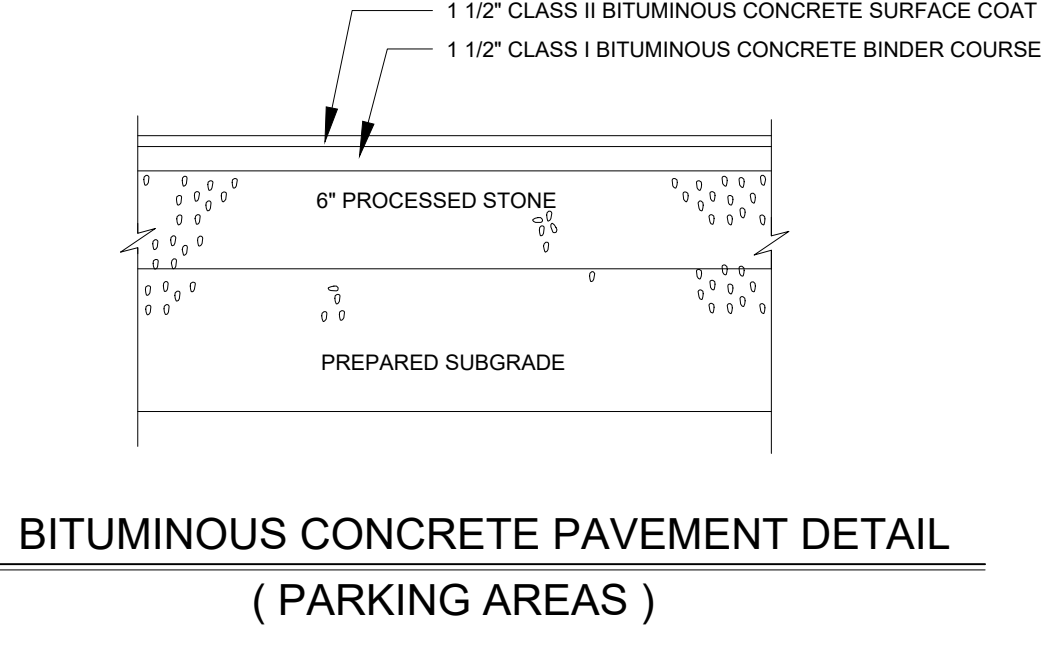
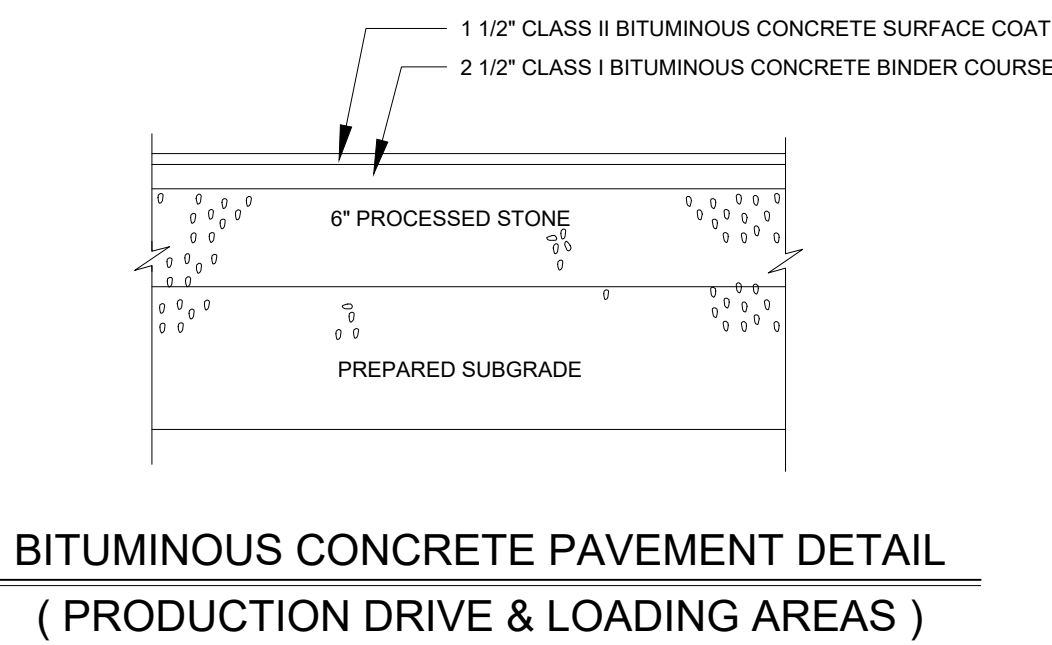
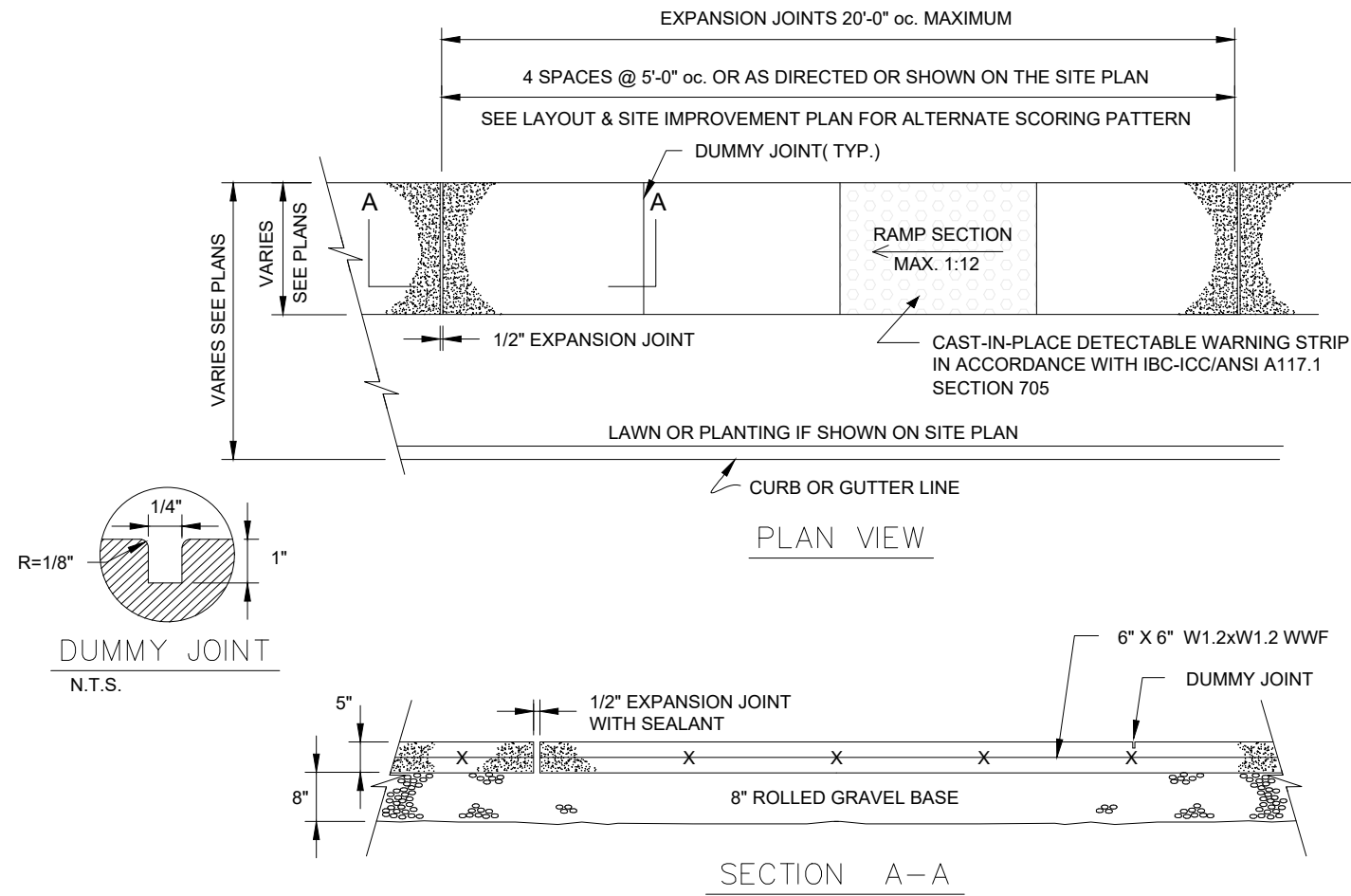
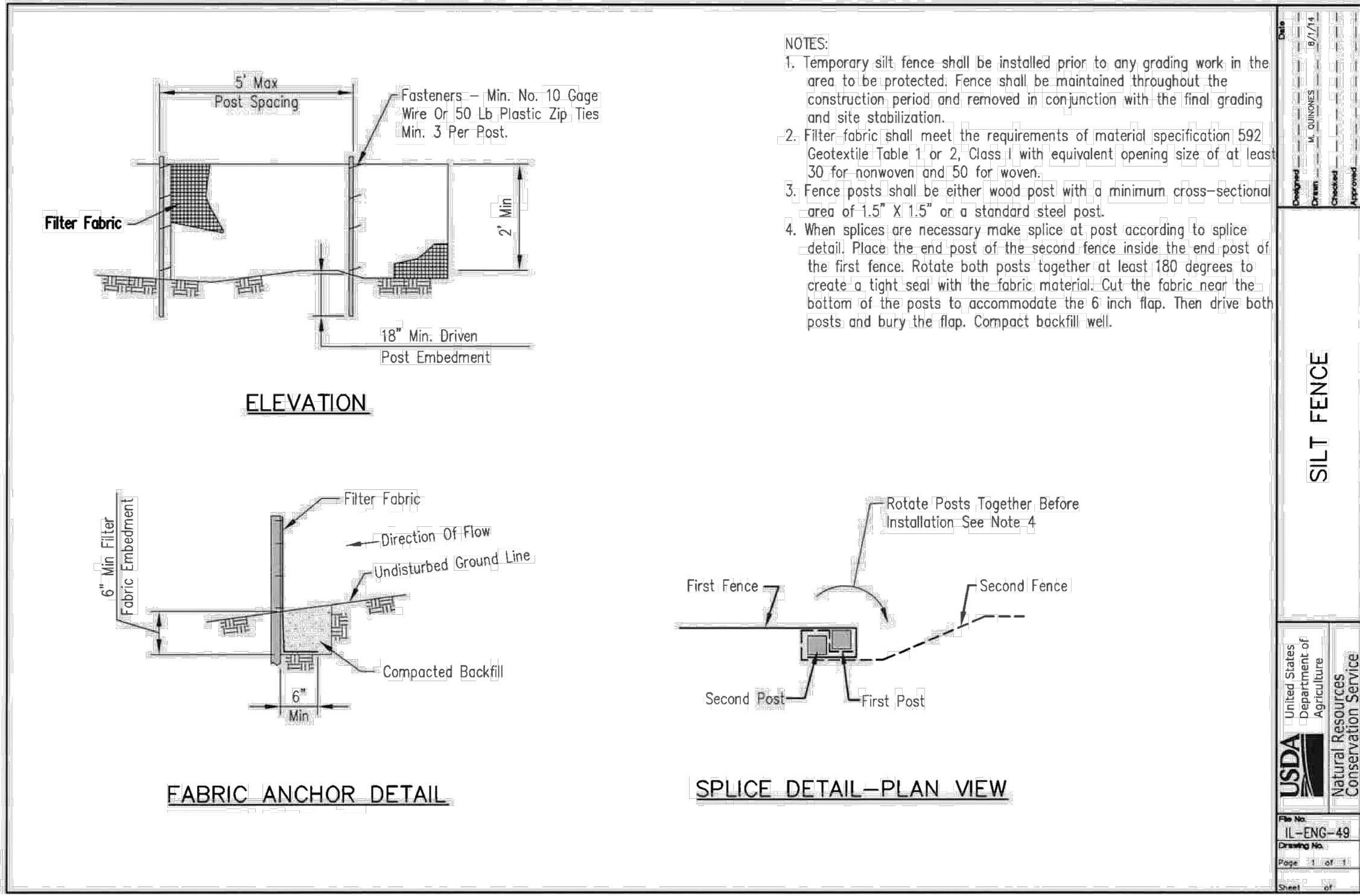
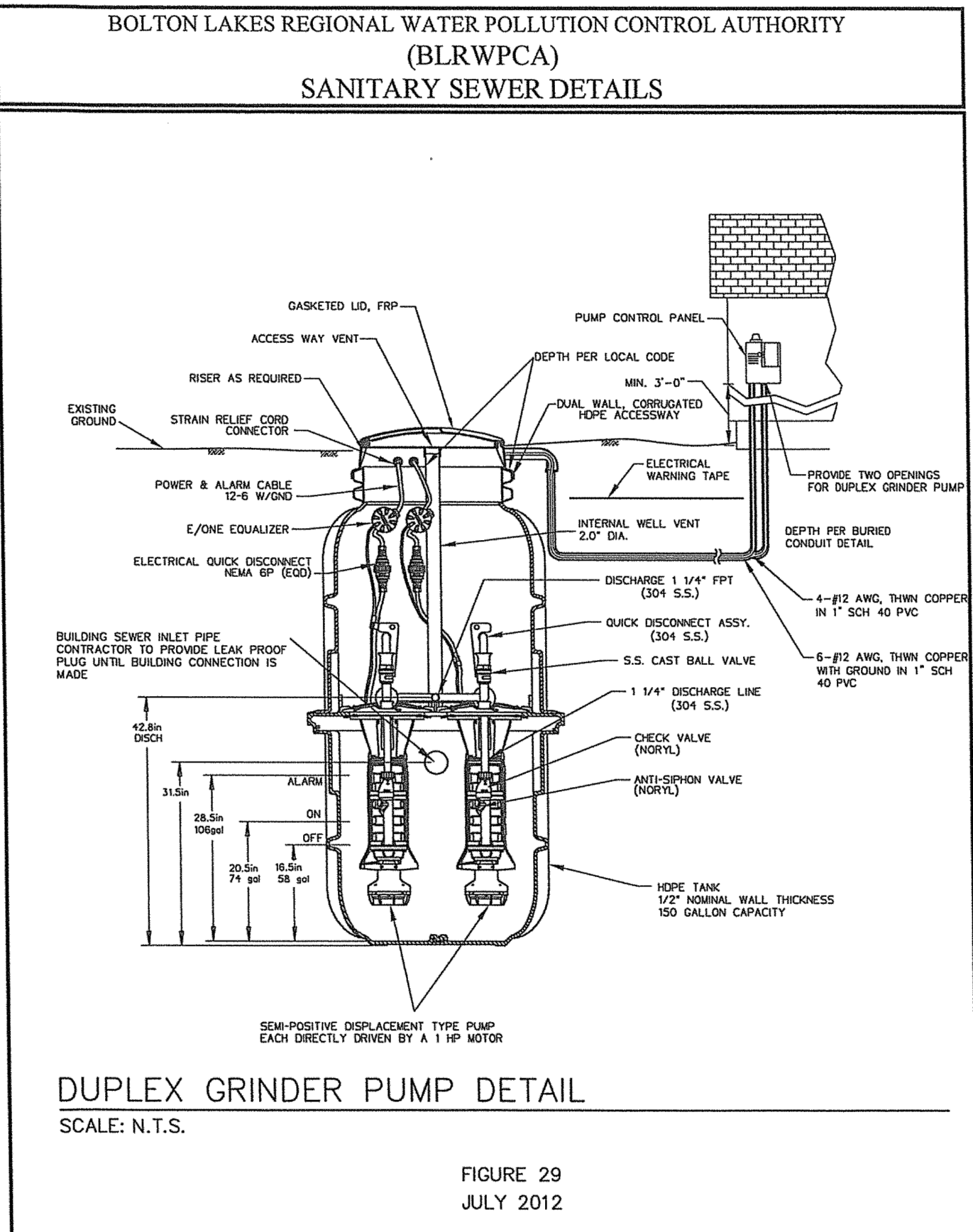
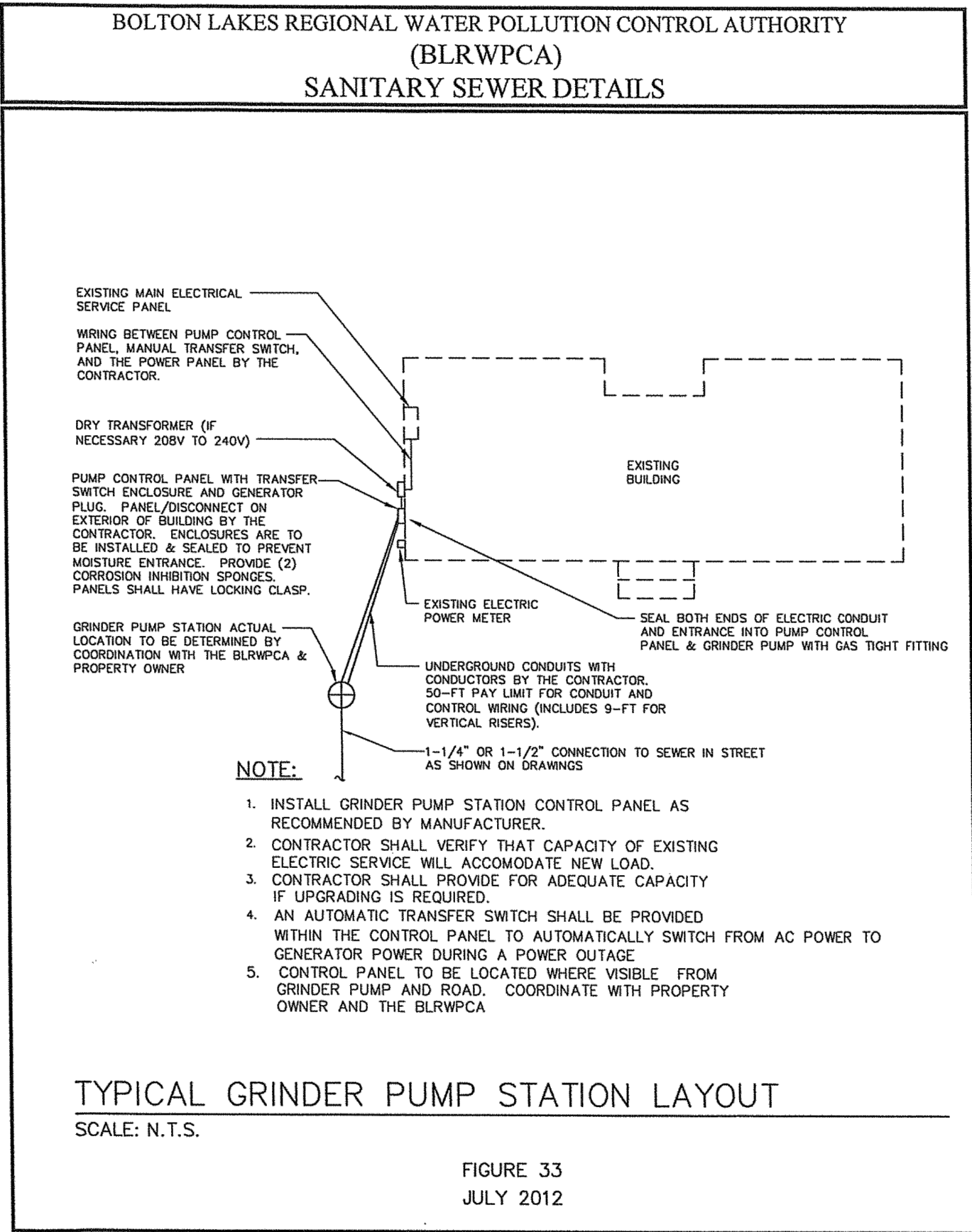
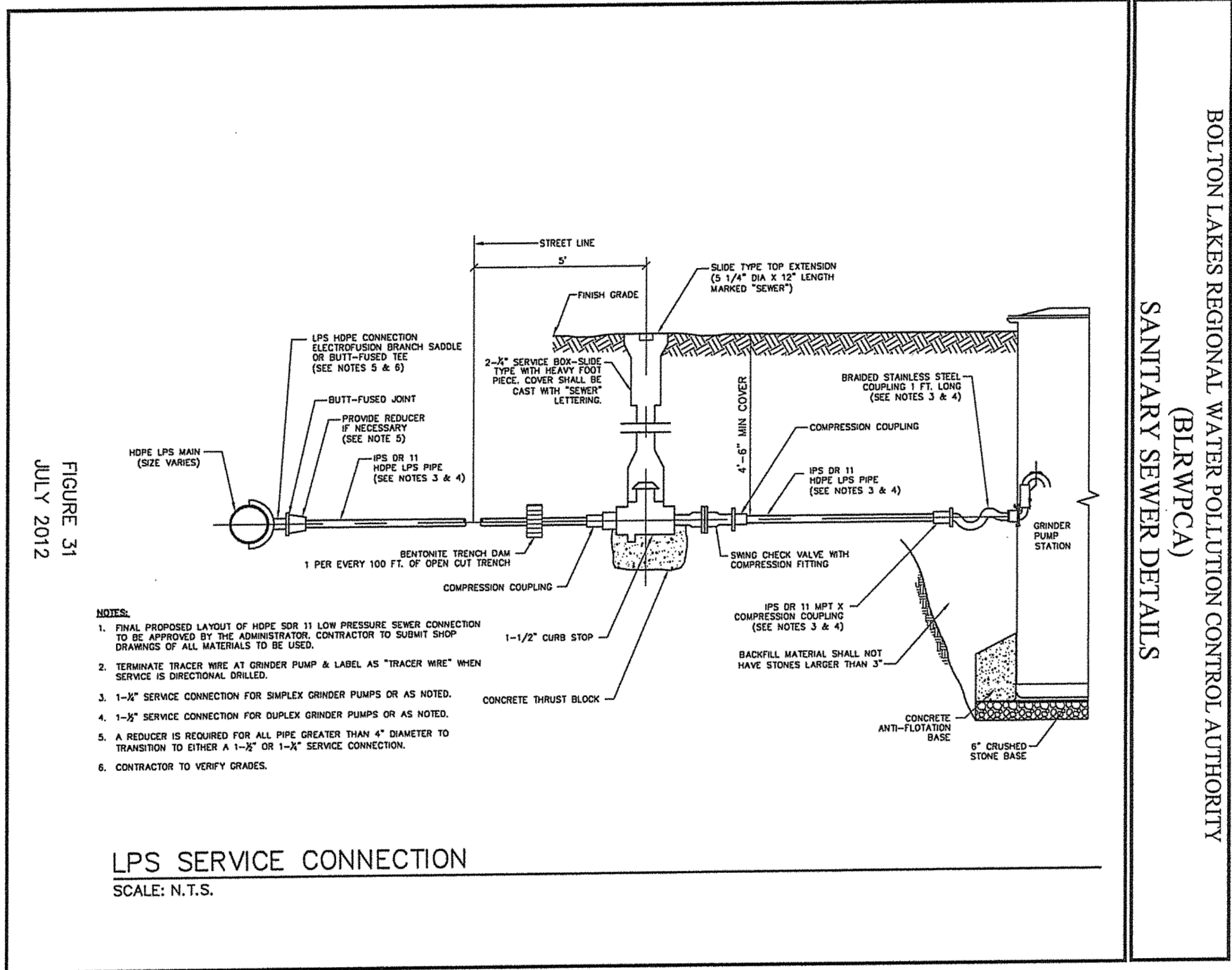
837 BOSTON TURNPIKE
BOLTON, CONNECTICUT

DRAWING TITLE: **PROPOSED SITE PLAN**

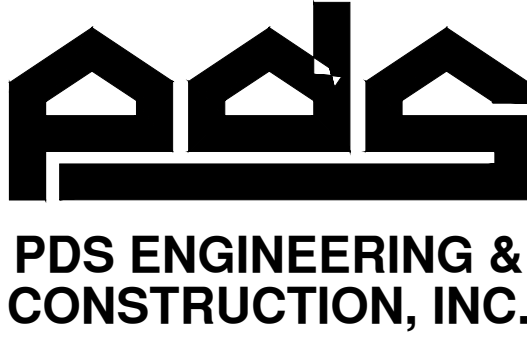
SEAL

ENGINEER: FB
SCALE: 1" = 50'
PROJECT MGR:
DRAFTED BY: BF

C-1



DATE	ISSUE
6-13-2022	P&Z APPLICATION
6-22-2022	ADD DETAILS



107 Old Windsor Road
Bloomfield, Connecticut 06002
Telephone: (860) 242-8586
FAX (860) 242-8587

OWNER :
HOWARD ROAD REALTY, LLC.
25 HOWARD ROAD
PO BOX 9127
BOLTON, CONNECTICUT 06043

APPLICANT :
ABLE COIL AND ELECTRONICS CO.
25 HOWARD ROAD
PO BOX 9127
BOLTON, CONNECTICUT 06043

PROJECT NAME:
ABLE COIL & ELECTRONICS

837 BOSTON TURNPIKE
BOLTON, CONNECTICUT

DRAWING TITLE:
SITE DETAILS

SEAL

ENGINEER: FB
ARCHITECT:
PROJECT MGR:
DRAFTED BY: BF

THE PROPOSED SITE IMPROVEMENTS CONSIST OF EXCAVATION AND BACKFILL OF THE BUILDING FOUNDATION, INSTALLATION OF A SEWER PUMP STATION AND FORCE MAIN TO THE TIE-IN POINT AT THE STUB INTO THE PROPERTY AT THE STREET, UNDERGROUND UTILITIES TO THE BUILDING, INSTALLATION OF UNDERGROUND DRAIN PIPING AND A DRAINAGE DITCH, CONSTRUCTION OF A NEW EROSION CONTROL AND TIE-IN TO THE EXISTING DRAINAGE SYSTEM, GRADING, SWALE, INSTALLATION OF A DETENTION BASIN AND RIP-RAP, NEW SIDEWALKS, RETAINING WALL AND HANDICAP RAMP, AND INSTALLATION OF BASE MATERIAL AND BITUMINOUS PAVEMENT FOR A TRUCK LOADING DOCK TO THE NEW BUILDING AND NEW PARKING LOT.

THE AREA OF DISTURBANCE IS APPROXIMATELY 75,000 SQ. FT. (1.7 ACRES), INCLUDING THE NEW 15,000 SQ. FT. MANUFACTURING BUILDING, CONNECTOR, UTILITIES, AND 13,467 SQ. FT. OF NEW PAVEMENT. THE SITE CONTRACTOR SHALL PROTECT ADJACENT BUILDING, PARKING AREAS, AND GROUNDS AND DOWNSTREAM DRAINAGE AREAS FROM SITE DISTURBANCE, GRADING, AND CONSTRUCTION ACTIVITIES. TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED DURING CONSTRUCTION AND UNTIL LAWNS ARE ESTABLISHED.

IN ORDER TO PREVENT DAMAGE TO NEARBY SENSITIVE AREAS, THE SITE CONTRACTOR SHALL COMPLY WITH THE PROCEDURES AND CONTROL MEASURES DETAILED IN THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL". THE FOLLOWING GENERAL PRINCIPLES ARE TO BE FOLLOWED TO PROVIDE AN EFFECTIVE EROSION AND SEDIMENTATION CONTROL PROCEDURE:

- 1) PRIOR TO SITE DISTURBANCE: INITIAL AVALS, SLEETS, FILL, SILT, SANDS, AND OTHER MEASURES AS NEEDED TO PREVENT THE IMPACT ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES MAY BE REQUIRED IF FIELD CONDITIONS CHANGE.
- 2) INSPECT AND REPAIR, AS REQUIRED, EROSION AND SEDIMENTATION CONTROL MEASURES PERIODICALLY, ESPECIALLY AFTER RAINFALL.
- 3) STABILIZE DISTURBED AREAS WITH TEMPORARY OR PERMANENT MEASURES AS QUICKLY AS POSSIBLE AFTER THE LAND IS DISTURBED.
- 4) KEEP RUNOFF VELOCITIES LOW BY KEEPING SLOPE LENGTHS SHORT, GRADIENTS GENTLE, AND PRESERVING INTERMITTENT AREAS OF VEGETATIVE COVER.
- 5) ASSIGN THE RESPONSIBILITY FOR IMPLEMENTATION AND MAINTENANCE OF ERS CONTROL MEASURES TO ONE PERSON ON THE CONSTRUCTION SITE. PROVIDE THE TOWN WITH THAT PERSONS WORK CELL AND CELL PHONE NUMBERS IN CASE OF AN EMERGENCY.
- 6) SPREAD TOPSOIL, MACHINE OR HAND MADE, FERTILIZE, SEED AND MULCH DISTURBED AREAS AS SOON AS POSSIBLE AFTER CONSTRUCTION. CONSIDER USING SEEDS OF MIXED SUN OR SHADE AND THE SEASONAL WEATHER CONDITIONS. WATER FREQUENTLY BETWEEN RAIN EVENTS.
- 7) THE SOILS IN THE AREA OF THE PROPERTY SHOWN CONSIST OF CHARLTON-CHATEAU COMPLEX 0 TO 15 PERCENT CLAY.
- 8) REMOVE ALL EROSION AND SEDIMENTATION CONTROL MEASURES AFTER ENTIRE SITE HAS BEEN STABILIZED. STABILIZATION MEANS THAT TEMPORARY OR PERMANENT MEASURES HAVE BEEN ESTABLISHED.
- 9) OVERALL, CONSTRUCTION IS EXPECTED TO TAKE 3-4 MONTHS POST-CONSTRUCTION CONTROLS, INCLUDING SILT, SAND, AND CLAY PROOFING, TO BE IN PLACE FOR 6 MONTHS. ALL EROSION AND SEDIMENTATION MEASURES ARE TO BE MAINTAINED UNTIL ALL TEMPORARY AREAS ARE STABILIZED.
- 10) THE ENGINEER WILL BE REQUIRED TO MONITOR AND REPAIR OR REPLACE MEASURES AS NECESSARY OR AS REQUIRED BY THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER.

THE FOLLOWING PROCEDURES FOR PARCEL DEVELOPMENT ARE RECOMMENDED AND SHALL BE FOLLOWED BY THE SITE CONTRACTOR:

1.) THE APPROXIMATE LIMITS OF DISTURBANCE ARE INDICATED ON THE PLAN. DISTURBANCE LIMITS OF 25-35 FEET BEYOND THE PHYSICAL DIMENSIONS OF THE STRUCTURE ARE RECOMMENDED. REMOVE TREES AS NEEDED FOR THE APPROVED SITE DEVELOPMENT.

- 2) ALL DRIVEWAYS, DRIVEWAY SHOULDERS, AND TEMPORARY ENTRANCES SHOULD BE STABILIZED IMMEDIATELY UPON COMPLETION OF ROUGH GRADING. SHOULDER SEED BED PREPARATION SHOULD FOLLOW THE GENERAL MOTES PROVIDED.
- 3) DRIVEWAY ENTRANCES SHALL BE CONSTRUCTED TO PROTECT EXISTING DRIVEWAYS FROM OVERWASH DURING RAINFALL. DRIVEWAY ROADBEDS SHALL BE STABILIZED WITH COMPACTED ROAD AGGREGATE AS SOON AS POSSIBLE. INSTALL EROSION CONTROL MEASURES TO PROTECT DRIVEWAYS FROM OVERWASH. THE PRODUCT SHOULD RETAIN MUD FROM PARKING LOTS, ROADS, AND SIDEWAYS, AND SWEEP AS OFTEN AS NECESSARY TO KEEP CLEAN.
- 4) TOPSOIL AND EXCAVATED SUBSOIL FROM THE FOUNDATION AREA SHOULD BE STOCKPILED WITHIN THE AREA OF THE PROJECT. STOCKPILE MUST BE COVERED WITH A GEOTEXTILE OR EQUIVALENT MATERIAL WITH SEDIMENT CONTROL MATERIALS (E.G. STRAW HAY BALES AND/OR FIBRIC FENCE).
- 5) ANY ADDITIONAL STOCKPILING OF LUMBER OR BUILDING MATERIALS SHOULD ALSO BE CONFINED TO THE AREA OF THE PROJECT. STOCKPILE MUST BE COVERED WITH A GEOTEXTILE OR EQUIVALENT MATERIAL WITH SEDIMENT CONTROL MATERIALS (E.G. STRAW HAY BALES AND/OR FIBRIC FENCE).
- 6) UPON 90% COMPLETION OF BUILDING CONSTRUCTION, ALL BAY SOIL AREAS SURROUNDING THE SITE SHOULD BE FINED GRADE, SEEDED AND MULCHED. INSTALLMENT OF GROUNDWATER CONTROL SYSTEMS, SUCH AS STORM DRAINS, PERMEABLE PAVING, CURBS, ETC., SHOULD BE COMPLETED AT THIS STAGE.
- 7) THE SITE SHALL REMAIN FREE OF TRASH AND DEBRIS THROUGHOUT CONSTRUCTION.
- 8) ALL NEW AND EXISTING CATCH BASINS, VARDIENS, MANHOLES, AND STORM PIPING SHALL BE CLEANED OF ALL SEDIMENT AND DEBRIS PRIOR TO DISCHARGE WASTEWATER INTO THE WATER BODY OF THE SITE.
- 9) FURNISH AND INSTALL MODIFIED RIP-RAP IN THE NEW AREA OF DEVELOPMENT WHERE SHOWN ON THE PLAN.
- 10) ALL CONTROL STRUCTURES SHALL BE INSPECTED AND CLEANED PERIODICALLY. ALL SEDIMENT REMOVED FROM CONTROL STRUCTURES SHALL BE STORED ON-SITE UNTIL IT CAN BE REUSED FOR OTHER PURPOSES.
- 11) IF DISTURBED AREAS CANNOT BE SEEDED IMMEDIATELY DUE TO TIME OF YEAR THEN MULCH AREA. INITIAL SEEDING CAN OCCUR REMOVE MULCH AND PREP. SEED AND RE-MULCH WHEN SEASON PERMITS.
- 12) ALL DEWATERING PUMPING MUST HAVE SEDIMENT AND EROSION CONTROL PROVISIONS TO MAINTAIN CLEAR WATER TO THE RECEIVING WATER BODY. ALL PUMPING OPERATIONS MUST BE MONITORED TO PREVENT STORM DRAINAGE SYSTEM IN A MANNER THAT WILL NOT CAUSE EROSION, SEDIMENTATION, NUISANCE OR SAFETY HAZARDS.

FINE GRADE AND RAKE SOIL SURFACE TO REMOVE STONES LARGER THAN 2" IN DIAMETER. INSTALL SEEDING EROSION CONTROL DEVICES SUCH AS SURFACE WATER DIVERSIONS. APPLY LIMESTONE AT A RATE OF 2 TONS PER ACRE, OR 90 LBS. PER 1000 SQ. FT. FERTILIZE WITH 10-10-10 AT A RATE OF 300 LBS. PER ACRE OR 11 LBS. PER 1000 SQ. FT. WORK LIME AND FERTILIZER INTO TOPSOIL UNIFORMLY TO A DEPTH OF 4" WITH A SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT FOLLOWING THE CONTOUR LINES.

SEED APPLICATION

APPLY SEED MIXTURE FROM CHART BELOW BY HAND, CYCLONE SEEDERS OR HYDRO SEEDER. INCREASE SEED MIXTURE BY 10% IF HYDRO SEEDER IS USED. LIGHTLY DRAG OR ROLL THE SEEDED SURFACE TO COVER SEED. SEEDING SHOULD BE DONE BETWEEN THE TIMES SHOWN ON THE CHART BELOW. IF SEEDING CANNOT BE DONE DURING THESE TIMES, REPEAT MULCHING PROCEDURE BELOW UNTIL SEEDING CAN TAKE PLACE.

IMMEDIATELY FOLLOWING SEEDING, MULCH THE SEEDING SURFACE WITH STRAW OR HAY AT A RATE OF 1.5 TO 2 TONS PER ACRE. SPREAD MULCH BY HAND OR MULCH BLOWER. PUNCH MULCH INTO SOIL SURFACE WITH TRACK MACHINE OR DISK HARROW SET STRAIGHT UP. MULCH MATERIAL SHOULD BE 'TUCKED' APPROXIMATELY 2 - 3" INTO THE SOIL SURFACE.

USE	LB/1000 SQ. FT.	SEED MIXTURE	SEEDING DATES
PERMANENT LAWN	1.8 0.6 4.0	KENTUCKY BLUEGRASS CREeping RED FESCUE PERENNIAL RYEGRASS	4/15 - 6/15 5/15 - 9/15
SLOPES & COARSE LAWN	1.8 0.6 3.0	CREeping RED FESCUE RED TOP TALL FESCUE	4/15 - 6/15 6/15 - 9/15
SLOPES (NO MOWING)	1.8 0.6 3.4	CREeping RED FESCUE RED TOP CROWN VETCH WITH INDIANT	4/15 - 6/15 6/15 - 9/15
TEMPORARY COVER	12.0 4.0	WINTER RYE ANNUAL RYEGRASS	4/15 - 6/15 8/15 - 10/15

EXPECTED START DATE/FINISH DATE: TO BE DETERMINED

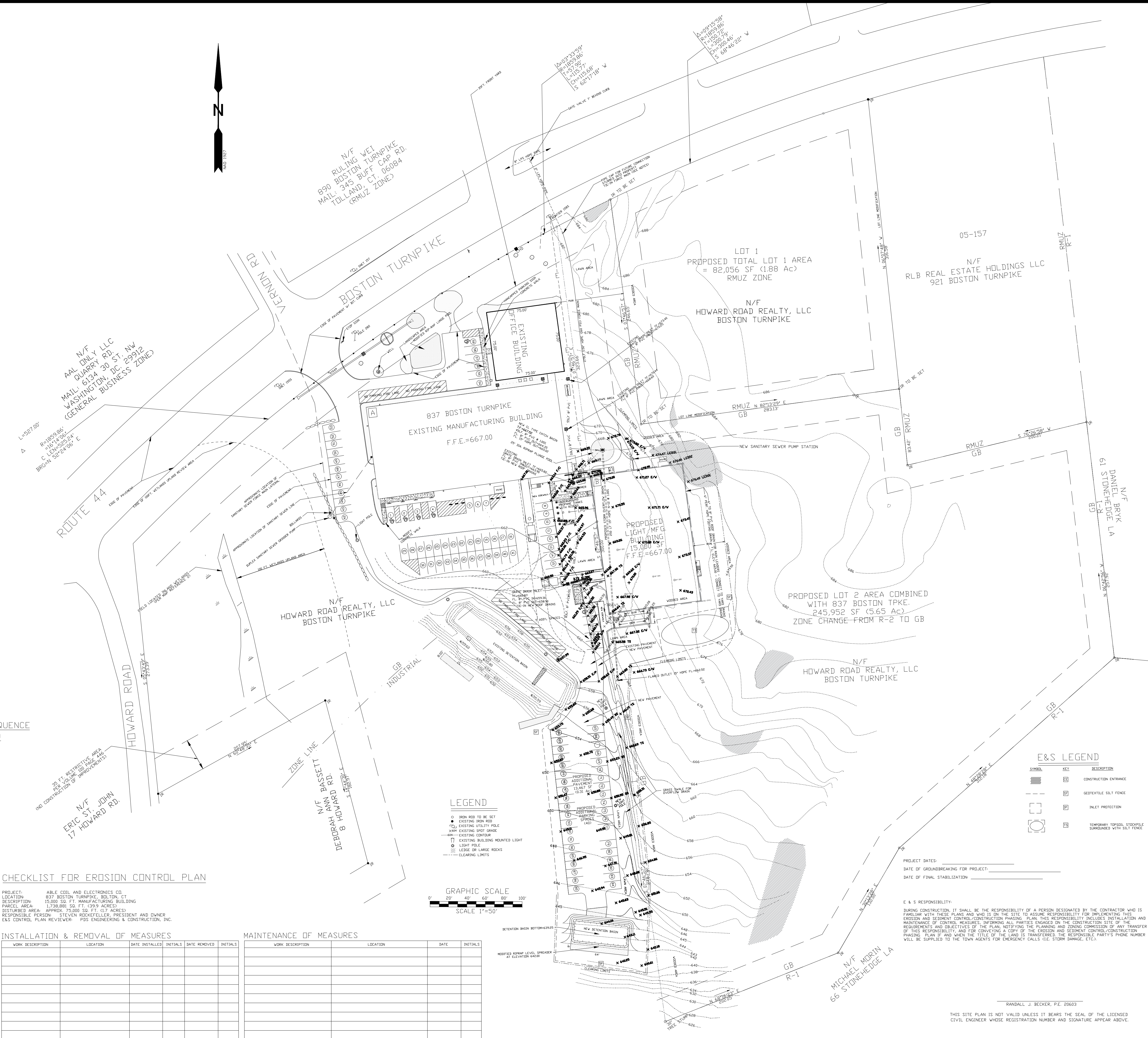
- 1) EROSION AND SEDIMENTATION CONTROL ACTIVITIES TO CONFORM TO PRACTICES OUTLINED IN THE "2008 CONSTRUCTION GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" MANUAL.
- 2) PRIOR TO SITE DEVELOPMENT, INSTALL SILT FENCE AT LOCATIONS SHOWN ON PLAN. ADDITIONAL EROSION AND SEDIMENTATION MEASURES MAY BE REQUIRED BASED ON FIELD OBSERVATIONS OF EXISTING DISTURBANCE. THE TOWN ENGINEER OR DISTRICT OFFICER TO SCHEDULE AND INSPECT THESE INSTALLED MEASURES PRIOR TO ANY SITE DISTURBANCE. REPAIRS TO ANY DEFECTIVE MEASURES SHALL BE THE RESPONSIBILITY OF THE MAINTENANCE DEPARTMENT. RECORD MEASURES ON THE SITE.
- 3) WHEN CONSTRUCTION OF THE PRISON REPRESENTS THE MAJOR SOURCE OF DISTURBANCE, ADDITIONAL MEASURES BEFORE AND AFTER LARGE RAIN STORMS:
- 4) STRIP AND STOCKPILE TOPSOIL IN A STABILIZED STOCKPILE AREA REMOVED EXCESS TOPSOIL FROM THE SITE.
- 5) EXCAVATE DETENTION BASIN TO SERVE AS A SILT POOL DURING CONSTRUCTION.
- 6) INSTALL NEW CL TYPE CATCH BASIN WITH 8" PVC PIPE CONNECTED TO EXISTING WARDY DRAIN #47. TO THE SOUTH OF THE CATCH BASIN, INSTALL ANOTHER NEW CL TYPE CATCH BASIN WITH 8" PVC PIPE CONNECTED TO EXISTING EROSION CONTROL CANAL. INSTALL RIP-RAP WHERE SHOWN CONSTRUCT DRAINAGE SWALE AND PROVIDE EROSION CONTROL MATTING THROUGHOUT THE ENTIRE SYSTEM. SWALE LINE, STABILIZED WITH GRASS SEEDING AND MULCH.
- 7) CONSTRUCT PROPOSED IMPROVEMENTS (BUILDING, STORAGE, SEWER PUMP STATION, SIDEWALKS, ETC.) REMOVE EXCESS SLOP FROM THE SITE.
- 8) WHEN CONSTRUCTION OF A NEW THICK OVER DISTURBED AREAS OUTSIDE OF THE DETENTION BASIN, MAXIMUM RAKE, LIME, FERTILIZE, SEED AND MULCH THESE AREAS.
- 9) EXCAVATE THE DETENTION BASIN TO FINAL FINISHED GRADE. INSTALL RIP-RAP AND LIME. SPREADER AS SHOWN ON THE PLAN.
- 10) SPREAD TOPSOIL, A MINIMUM OF A IN THICK OVER THE REMAINING DISTURBED AREAS MAXIMUM RAKE, LIME, FERTILIZE, SEED AND MULCH THESE AREAS.
- 11) TEMPORARY DEWATERING OPERATIONS, IF REQUIRED, SHALL UTILIZE A CRUSHED STONE PUMP INTAKE. STOP THE PUMP IMMEDIATELY IF THE PUMP LOCATION WITHIN THE LIMITS OF DISTURBANCE.
- 12) REMOVE ALL EROSION AND SEDIMENTATION CONTROL MEASURES AFTER ENTIRE SITE HAS BEEN STABILIZED.

1.) THE OWNER OR CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SCHEDULING REQUIRED INSPECTIONS.

- 2.) THE OWNER OR CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE DIMENSIONS AND ELEVATIONS CONTAINED ON THIS PLAN AND NOTIFYING THE DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.

DATE APPROVED	DATE OF EXPIRATION
---------------	--------------------

CHAIRMAN



DATE	ISSUE
6-9-2022	P&Z APPLICATION
6-13-2022	PROGRESS DRAWING
6-27-2022	BUILDING FOOTPRINT, GRADING & NOTES



**PDS ENGINEERING &
CONSTRUCTION, INC.**

107 Old Windsor Road
Bloomfield, Connecticut. 06002
Telephone: (860) 242-8586
FAX (860) 242-8587

CONSULTANTS:

ABLE COIL & ELECTRONICS

837 BOSTON TURNPIKE
BOLTON, CONNECTICUT

DRAWING TITLE:

EROSION & SEDIMENTATION CONTROL

OBJECT NAME:

SEAL

ENGINEER: FB

SCALE: 1" = 50'

PROJECT MGR

DRAFTED BY: BE

RANDALL J. BECKER, P.E. 20603

THIS SITE PLAN IS NOT VALID UNLESS IT BEARS THE SEAL OF THE LICENSED
CIVIL ENGINEER WHOSE REGISTRATION NUMBER AND SIGNATURE APPEAR ABOVE

ES-1



MEG. BUILDING 12,000 SF

35

686

682

680

678

PROPOSED LOT 2 AREA COMBINED WITH 837 BOSTON TPKE.
245,952 SF (5.65 Ac)
ZONE CHANGE FROM R-2 TO GB

Mounting Height is 18' for area lights
Blue Isoline indicates footcandle reading
Red Isoline indicates footcandle reading

HOWARD ROAD REMAIN, 1100
BOSTON TURNPIKE

GB
R-1

Luminaire Schedule					
Symbol	Qty	Label	Arrangement	LLF	Description
	5	A	SINGLE	0.903	DSX1 L
	5	B	SINGLE	0.903	DSXW2
	1	C	SINGLE	0.903	DSXW2
	1	D	SINGLE	0.903	DSXW2

2.
3.)
4.)
5.)

N/F
MICHAEL MORIN
66 STONEHEDGE LA

GB
R-1

FOR
CAP
AN

61 STONEHEDGE LA
DANIEL BRYK
N/F

MAP REFERENCES:

- 1.) PLAN PREPARED FOR LAN HOLDING, LLC NO. 837 BOSTON TURNPIKE U.S. ROUTE 44
REVISED TO 5/16/2000
- 2.) PLAN PREPARED FOR LAN HOLDING, LLC U.S. ROUTE 44 & HOWARD ROAD BOLTON, CT
DATE: 5/14/99 REVISED TO 99010 SHEET 2 OF 3 ROAMES AND HENRY ASSOCIATES LLC CIVIL ENGINEERS
- 3.) PLAN PREPARED FOR HOWARD ROAD REALTY, LLC, 837 BOSTON TURNPIKE, BOLTON, CT
DATE: 11/07/2018 FILED WITH DEED BOOK 1 OF 2, BURELL ASSOCIATES LLC CIVIL ENGINEERS
SURVEYING, 563 WOODBRIDGE STREET, MANCHESTER, CT. (860) 643-7875. REVISED TO 11/07/2018

PARKING:

1.) THERE EXISTS A TOTAL OF 59 SPACES, INCLUDING 3 HANDICAP SPACES. PROPOSED 12,000 SQ. FT. 1-STORY PRE-ENGINEERED METAL BUILDING W/ CONCRETE FLOOR.

ZONE COMPLIANCE TABLE

PROPOSED: 12,000 SQ. FT. 1-STORY PRE-ENGINEERED METAL BUILDING W/ CONCRETE FLOOR.	REQUIRED	PROPOSED
LAND USE: LIGHT MANUFACTURING	3	<40 FEET
MAXIMUM STORIES	3	37,625 SQ. FT.
MAXIMUM HEIGHT	40 FEET	2.
TOTAL BUILDING AREA (ALL BLDGS.)	25%	98,576 SQ. FT.
MAXIMUM LOT COVERAGE (ALL BLDGS.)	25%	5.7%
TOTAL IMPERVIOUS AREA (ENTIRE SITE)	65%	1,738,860
MAX. IMPERVIOUS COVERAGE	65%	662,778
MINIMUM LOT AREA	40,000 SQ. FT.	33 FEET
MINIMUM LOT FRONTAGE	200 FEET	25 FEET
MINIMUM FRONT YARD	33 FEET	25 FEET
MINIMUM SIDE YARD	25 FEET	25 FEET
MINIMUM REAR YARD	25 FEET	25 FEET
MINIMUM LOT AREA	40,000 SQ. FT.	25 FEET
2 MAX./1 MIN. PER 1000 SQ. FT. GROSS FLOOR AREA	25 FEET	25 FEET
5 MAX./2 MIN. PER 1000 SQ. FT. GROSS FLOOR AREA	25 FEET	25 FEET

Arrangement L/F	Description
ANGLE 0.903	DSX1 LED P3 40K TFTM MVOLT
ANGLE 0.903	DSXW2 LED 20C 700 40K TFTM MVOLT
ANGLE 0.903	DSXW2 LED 20C 1000 40K TFTM MVOLT
ANGLE 0.903	DSXW2 LED 30C 1000 40K TFTM MVOLT

2.) IN ADDITION, TO ENSURE THERE IS NO CHANCE OF FLOODING IN THIS CORNER, A 220-FT. LONG

3.) THE NEW BUILDING'S ROOF DOWNSPOUTS SHALL DRAIN INTO A BURIED 6-INCH SCH40 PVC PIPE THAT

4.) FOOTING BASIN SHALL CONSIST OF A PERFORATED 6-INCH HDPE ENVELOPED WITH CRUSHED STONE AND

5.) DRAINAGE CALCULATED FOR THE NEW PARKING AREA:

INTERVAL	DURATION	PRECIP.	AREA	SURF. COEFF.
1	1 HR	0.94 IN.	0.31 AC.	0.95
2	1 HR	1.14 IN.	0.31 AC.	0.95
10	1 HR	1.75 IN.	0.31 AC.	0.95
50	1 HR	2.42 IN.	0.31 AC.	0.95
100	1 HR	2.72 IN.	0.31 AC.	0.95

FOR A 100-YEAR STORM, 1 HR DURATION, THE CAPACITY OF THE DETENTION BASIN NEEDS TO BE 60 X 60 CAPACITY PROVIDED = AVG. AREA PER FOOT DEPTH X 2.75 FT DEPTH = 1,124 SF X 2.75 FT = 3,091 CF OR 8-FT. X 64 FT. RIP-RAP LEVEL SPREADER SHALL BE INSTALLED TO PREVENT SCOURING.

N/F
MICHAEL MORIN
66 STONEHEDGE LA

MAP REFERENCES:

PREPARED FOR LAN HOLDING, LLC NO. 837 BOSTON TURNPIKE U.S. ROUTE 44
NO. 5/16/2000

PREPARED FOR LAN HOLDING, LLC U.S. ROUTE 44 & HOWARD ROAD BOLTON, CT
14/59 ESTATE NO. 99010 SHEET 2 OF 3 HOLMES AND HENRY ASSOCIATES LLC CO
11/7/97

MAP BY BK
PREPARED FOR HOWARD ROAD REALTY, LLC, 837 BOSTON TURNPIKE, BOLTON,
07/2018 FILE NO. 11/14/2018 SHEET 1 OF 2, BURRELL ASSOCIATES LLC CIV
G, 563 BOBBITT STREET, MANCHESTER, CT. (860) 643-7875. REVISED TO

PARKING:

ARE EXISTS A TOTAL OF 59 SPACES, INCLUDING 3 HANDICAP SPACES. PROPOSED

ZONE COMPLIANCE TABLE

PROPOSED: 12,000 SQ. FT. 1-STORY PRE-ENGINEERED METAL BUILDING W/CO
LAND USE: LIGHT MANUFACTURING

USE TYPE: GENERAL BUSINESS	REQUIRED	PROPOSED
MINIMUM HEIGHT	3	1
MINIMUM BUILDING AREA (ALL BLDGS.)	40 FEET	<40 FEET
MINIMUM LOT COVERAGE (ALL BLDGS.)	2500%	37,625.5
TOTAL INTERVIEWS AREA (ENTIRE SITE)	6500%	2
MIN. INTERVIEWS COVERAGE	40,000 SQ. FT.	98,576 SQ. FT.
MINIMUM LOT AREA	200 FEET	1,738.06
MINIMUM LOT FRONTAGE	35 FEET	642.77
MINIMUM FRONT YARD	25 FEET	35 FEET
MINIMUM SIDE YARD	25 FEET	25 FEET
MINIMUM REAR YARD	25 FEET	25 FEET
MINIMUM REAR YARD	25 FEET	1.04
2 MAK./1 MIN. PER 1000 SQ. FT. GROSS FLOOR AREA	MANUFACTURING (32)	
5 MAK./2 MIN. PER 1000 SQ. FT. GROSS FLOOR AREA	GENERAL OFFICE (5)	

TFTM MVOLT

00 40K TFTM MVOLT

000 1-40K TFTM MVOLT THE SOUTHEAST CORNER OF

000 40K TFTM MVOLT

PRECIP.	AREA	SURF. COEFF.
0.94 IN.	0.31 AC.	0.25
1.14 IN.	0.31 AC.	0.35
1.75 IN.	0.31 AC.	0.35
2.42 IN.	1.0 AC.	0.25
2.72 IN.	1.0 AC.	0.25

RE THERE IS NO CHANCE OF FLOODING IN THIS CORNER, A 220-FT. LONG 15-
INCH DRAINAGE DOWNSPOUTS SHALL DRAIN INTO A BURIED 6-INCH SCH40 PVC PIPE THAT
CONSIST OF A PERFORATED 6-INCH HDPE ENVELOPED WITH CRUSHED STONE AND
FOR THE NEW PARKING AREA:

PRECIP.	AREA	SURF. COEFF.
0.94 IN.	0.31 AC.	0.25
1.14 IN.	0.31 AC.	0.35
1.75 IN.	0.31 AC.	0.35
2.42 IN.	0.31 AC.	0.25
2.72 IN.	0.31 AC.	0.25

IN DURATION, THE CAPACITY OF THE DETENTION BASIN NEEDS TO BE 60 X 60
AREA PER FOOT DEPTH X 2.75 FT DEPTH = 1,124 SF X 2.75 FT = 3,091 CF
A LEVEL SPREADER SHALL BE INSTALLED TO PREVENT SCOURING.

100

837 BOSTON TURNPIKE
BOLTON, CONNECTICUT

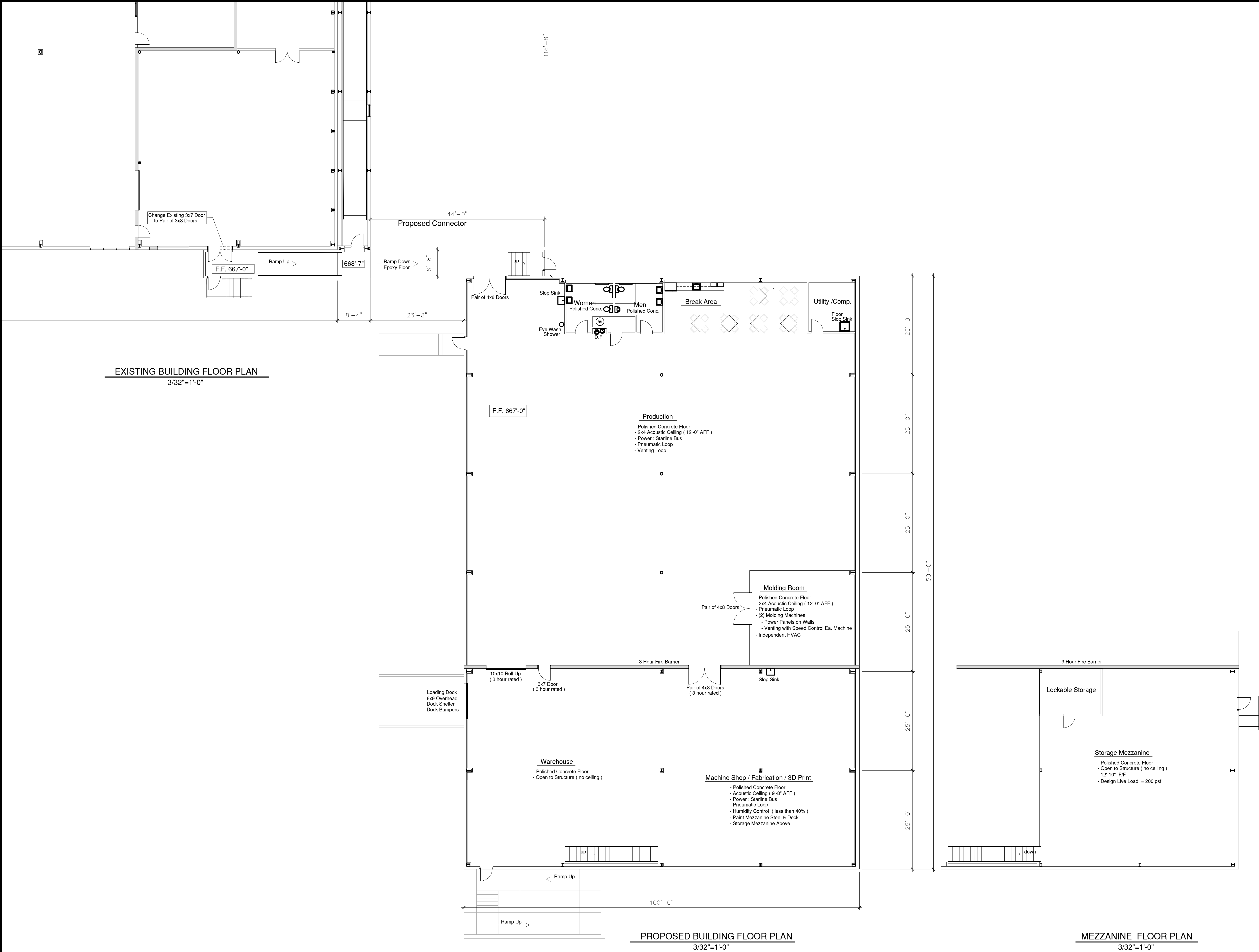
SITE LIGHTING PLAN

PROJECT NAME:

SEAL

ENGINEER: FB
ARCHITECT:
PROJECT MGR:
DRAFTED BY: BF

SL-1



DATE	ISSUE
6-2-2022	P&Z APPLICATION
6-13-2022	PROJECT ADDRESS
6-21-2022	INTERIOR LAYOUT
6-22-2022	15,000 SF FOOTPRINT



PDS ENGINEERING & CONSTRUCTION, INC.

107 Old Windsor Road
Bloomfield, Connecticut 06002
Telephone: (860) 242-8586
FAX (860) 242-8587

CONSULTANTS:

PROJECT NAME:
ABLE COIL - PROPOSED WAREHOUSE

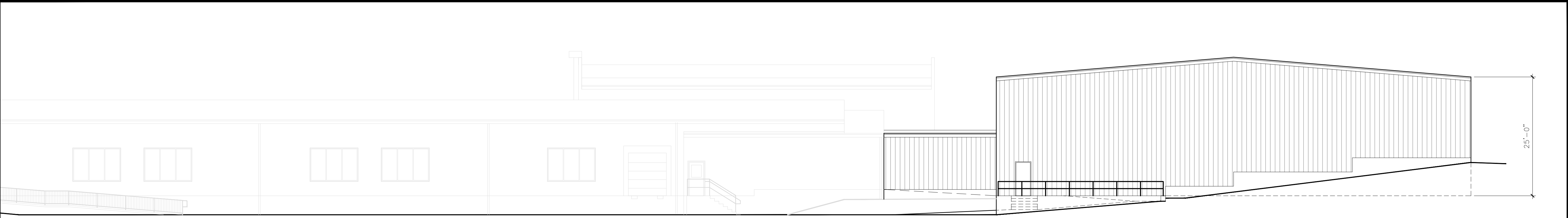
837 BOSTON TURNPIKE
BOLTON, CONNECTICUT

DRAWING TITLE:
FLOOR PLAN

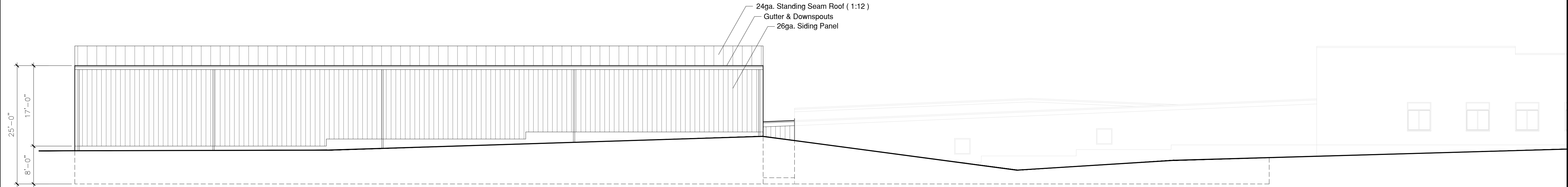
SEAL

ENGINEER: FB
ARCHITECT:
PROJECT MGR:
DRAFTED BY: BF

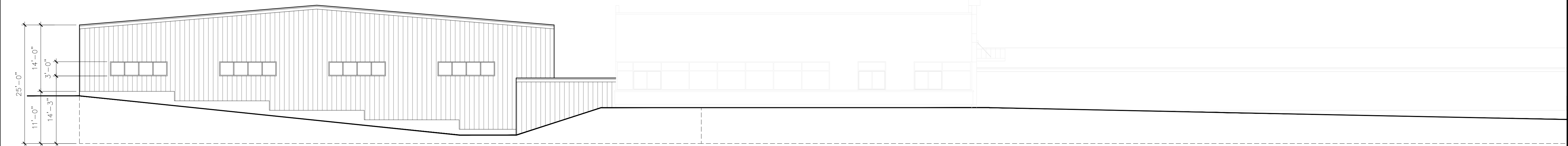
A-100B



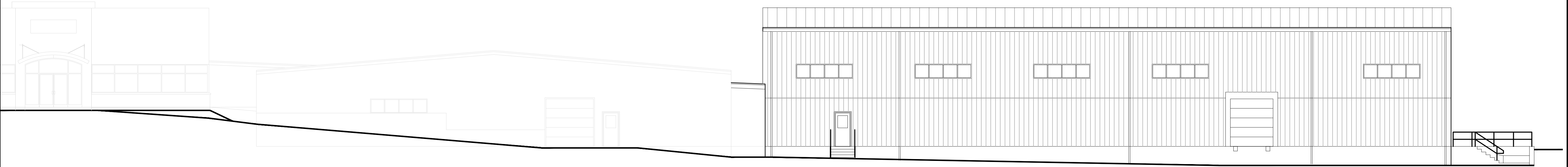
SOUTH ELEVATION
3/32"=1'-0"



EAST ELEVATION
3/32"=1'-0"



NORTH ELEVATION
3/32"=1'-0"



WEST ELEVATION
3/32"=1'-0"

DATE	ISSUE
6-2-2022	P&Z APPLICATION
6-13-2022	PROPERTY ADDRESS
6-21-2022	WINDOWS WEST ELEV.
6-22-2022	15,000 SF FOOTPRINT



PDS ENGINEERING &
CONSTRUCTION, INC.

107 Old Windsor Road
Bloomfield, Connecticut 06002
Telephone: (860) 242-8586
FAX (860) 242-8587

CONSULTANTS:

PROJECT NAME:

ABLE COIL - PROPOSED WAREHOUSE

837 BOSTON TURNPIKE
BOLTON, CONNECTICUT

DRAWING TITLE:

EXTERIOR ELEVATIONS

SEAL

ENGINEER: FB
ARCHITECT:
PROJECT MGR:
DRAFTED BY: BF

A-200B

From: Randy Becker [mailto:randyb@pdsec.com]

Sent: Thursday, June 16, 2022 12:22 PM

To: Carson, Patrice <pcarson@boltonct.org>

Cc: Steven Rockefeller; Laura Bonola <laurab@pdsec.com>; Sharon Ohnstad; Lynne Thompson; Bill Jodice <billj@pdsec.com>; Brian Farrell <brianf@pdsec.com>; Palazzini, Danielle <dpalazzini@boltonct.org>

Subject: RE: Process for Your Special Use Permit Application #PL-22-4, 837-889 Boston Turnpike, Bolton, CT

Received.

Thank you.

From: Carson, Patrice <pcarson@boltonct.org>

Sent: Thursday, June 16, 2022 12:20 PM

To: Randy Becker <randyb@pdsec.com>

Cc: Steven Rockefeller; Laura Bonola <laurab@pdsec.com>; Sharon Ohnstad; Lynne Thompson; Bill Jodice <billj@pdsec.com>; Brian Farrell <brianf@pdsec.com>; Palazzini, Danielle <dpalazzini@boltonct.org>

Subject: Process for Your Special Use Permit Application #PL-22-4, 837-889 Boston Turnpike, Bolton, CT

Randy, As the listed applicant, PLEASE ACKNOWLEDGE RECEIPT OF THIS EMAIL BY REPLYING "RECEIVED", thank you.

Dear Applicant:

Please find attached the legal notice for the public hearing at which your special permit application will be heard. This notice needs to be sent to all abutters within 500 feet of your property at least ten (10) days prior to the date of the public hearing. For purposes of notice, (1) proof of mailing shall be evidenced by a certificate of mailing, and (2) the person who owns land shall be the owner indicated on the property tax map or on the last-completed grand list as of the date such notice is mailed. Below are the requirements from Section 16B.3.g. & h. of the Bolton Zoning Regulations:

16B.3.g. Notice to Abutting Owners The applicant shall also notify all Abutting landowners of record within 500 feet of the subject property, as disclosed by the Assessor's records, of the date, time and place of the public hearing of the Commission at which said Special Permit is to be considered no less than ten (10) days preceding the date of said hearing, and shall submit proof to the Zoning Enforcement Officer of such notification. No notice shall be required for the continuation of a public hearing once it has been opened.

The Zoning Regulations also require you to post a sign(s) on the property at least seven (7) days prior to the date of the public hearing (see below). You can obtain the signs from Danielle Palazzini in the Land Use Department. There is a \$26 fee per sign.

16B.3.h. Posting of Sign No less than seven (7) days prior to the opening of any public hearing, the applicant shall post a sign on the property which is the subject of any application for Special Permit. The face of such sign shall be as provided by the Commission, and shall set forth the date, time and place of the public hearing, and the telephone number to call for additional information. It shall be the obligation of the applicant to post such sign(s) on the property in a location which is plainly visible from each abutting public street, and to maintain the sign(s) until the opening of the public hearing. No sign need be posted for the continuation of a public hearing once it has opened. If the Commission provides a mount for the sign, such sign mount shall be returned to the Commission's offices within three (3) days after the close of the hearing. The Commission may require a cash deposit to assure such return.

If you have any questions, please don't hesitate to contact:

Patrice

*Patrice L. Carson, AICP
Consulting Director of Community Development
Town of Bolton
860.359.1454*

Bolton Planning & Zoning Commission
Notice of Public Hearing

The Bolton Planning & Zoning Commission will hold a Public Hearing on Wednesday, July 13, 2022 at 7:45pm virtually through Zoom, to hear:

1 Able Coil and Electronics Co.'s appl. for a Zone Change from RMUZ and R-2 to GB at 837-889 Boston Tpke (#PL-22-5).

2 Able Coil and Electronics Co.'s appl. for a Special Permit for a 12,000 sf metal building for light manufacturing at 837-889 Boston Tpke (#PL-22-4).

3 Bolton PZC's temporary moratorium on adult-use cannabis establishments to consider the development of regulations regarding the cultivation, sale, and distribution of adult use cannabis (#PL-22-6)

Said proposals are on file for review in the Bolton Land Use Department and on the Town's Website at:

<https://town.boltonct.org/boards-commissions/planning-and-zoning>

All interested parties may attend virtually and testify or may submit written testimony.

Dated at Bolton, CT, this 14th day of June, 2022.

Thomas Manning
P&Z Chairman

To be published in the *Hartford Courant* on July 1, 2022 and July 8, 2022

PROJECT: Able Coil & Electronics

TOTAL 12,000

BID DATE:

13-Jun-22

BID TIME:

EST. # 22-0011

ESTIMATOR SS

DIVISION/ SECTION	Quantity	Unit	Unit Cost	SUB	TOTAL
2	<i>EARTHWORK</i>				
Site Preparation, Erosion Control & Sedimentation					\$15,000
Silt Fencing	1,175	LF			
Inlet Protection					
Haybale					
Clearing & Grubing					
Strip/Stockpile Topsoil					
Site Earthwork					\$90,000
Mass Site excavation					
Building Foundation Excavation/Backfill					
Export Excess material					
Trench Excavation for Elec/Water/Propane					
Gravel Subbase	445	CYDS			
Sanitary System					\$40,000
15" PVC Force main	270	LF			
Duplex pumping Station	1	EA			
Connect 15" To Existing	1	LS			
Storm System					\$25,000
Detention Basin w/riprap	2,800	SF			
Drain Inlet Structure	1	EA			
Drain Outlet	1	EA			
15" HDPE	220	LF			
Pavement					\$30,000
Bituminous Concrete Pavement	13,467	SF			
Curbing					
Concrete Sidewalks/HDCP ramp					
Landscaping					\$5,000
Rake & Seed Area					
TOTAL					\$205,000



Town of Bolton

222 BOLTON CENTER ROAD • BOLTON, CT 06043

Date: June 24, 2022

To: Planning & Zoning Commission

From: Patrice L. Carson, AICP, Consulting Director of Community Development

Subject: Able Coil & Electronics Co.'s Special Permit #PL-22-4 to Add 12,000-15,000 SF Metal Building at 837 Boston Turnpike

INFORMATION

Application No.: VP#PL-22-4

Application Date: June 3, 2022

Receipt Date: June 8, 2022

Public Notification: Published in *Hartford Courant* July 1, 2022 & July 8, 2022

Public Hearing Date(s): July 13, 2022

Applicable Sections: Sections 8A.2.b.25 & 8A.3.

Applicant: Able Coil & Electronics Co.

PROPOSAL / EXISTING CONDITIONS/BACKGROUND

Applicant Randy Becker of PDS Engineering & Construction, 107 Old Windsor Road, Bloomfield, CT, representing the new owners (Howard Road Realty LLC for Able Coil and Electronics Co.), is seeking a Special Permit for a 12,000-15,000 square foot metal building to be used for light manufacturing on a 37.41 acre lot (after a lot line reconfiguration) at 837-839 Boston Turnpike. The new building will be located to the southeast of the existing manufacturing building joined by a connecting corridor to allow efficient movement between the buildings and their operations. Currently, Able Coil operates out of two facilities – 835 Boston Turnpike and 25 Howard Road – and the new building is being proposed for relocation of the operations from 25 Howard Road which will increase operational efficiencies and reduce costs.

Located on the south side of Boston Turnpike and bordering on the east side of their current property at 837 Boston Turnpike, the property is zoned RMUZ for the first 300 feet from Boston Turnpike and the remainder of the property is zoned R2. The applicants have

simultaneously applied for a zone change to make the property GB. The property is bordered by RMUZ and R-1 zoned properties on the east, R-1 on the south, and GB and I on the west. The properties across the street are zoned RMUZ. Currently the property is vacant. Although there are wetlands on the property, work proposed is well outside the regulated 100' upland review area. Therefore, it will not be necessary for the applicant to submit an application to the Inland Wetlands Commission.

The applicant and his design professionals met with town staff prior to submitting the application to discuss the overall concept plan and site development plan. As a Special Permit similar to the one Able Coil has for its current business on the adjacent lot, this Special Permit will need a public hearing. The application is complete and appears to have addressed some of the concerns brought up during the meetings with staff.

REPORTS RECEIVED

- Project Narrative/Statement of Use
- review emails from Barbara Kelly, Inland Wetlands Agent with no concerns
- 06/13/22 review email from James Rupert, with 3 concerns
- 06/23/22 review letter from Joseph Dillon, PE with 7 issues to address
- 06/24/22 review email from Bruce Dixon, Fire Chief, with comments
- 06/24/22 Public Health review email from Thad King, EHHD with no concerns

ADDITIONAL INFORMATION RECEIVED

- Abutters List
- Site Development Plan & Details – revised through 06/13/22
- 06/13/22 Architectural Floor Plans & Elevations
- E&S Cost Control Bond Estimate
- Site Improvements Bond Estimate
- Engineering & Legal Review Fee of \$2,000

ADDITIONAL INFORMATION NEEDED

- Warranty Deed
- Site Plan Checklist – completed
- Stormwater Management Report
- Landscaping Plan & Details
- Lighting Detail (fixtures & cut sheets) and Isometric map/lighting plan
- Approval from Bolton Lakes Regional WPCA for sewer use/EDU adjustment
- Copy of Referral to CTDOT for work proposed within the CDOT ROW

STAFF ANALYSIS

The plans appear to meet Town Regulations if the following items in the staff reports below are adequately addressed and may require additional information:

- The size of the new building shown on the plans is 12,000 sf and the applicant wishes to increase the size to 15,000 sf. The intended sized building should be shown on the plans.
- Comments from CTDOT (work in the ROW) and Bolton Lakes Regional WPCA (EDU adjustment/payment if needed) need to be submitted.
- Section 16A.3.x. – Buildings and Structures: Architectural and Design Requirements & Section 16B.4.l. – Architectural Character, Historic Preservation, Site Design. The Commission needs to determine if the design of the proposed building is adequate to meet these standards. The building is well screened and probably not visible from the road. It appears that the building will blend with the appearance of the existing structures and will be unobtrusive to the neighborhood.

STAFF RECOMMENDATION

The staff has determined that:

- the application is complete
- the application complies with Town Regulations subject to conditions set forth in the staff reports received
- the use is compatible with other uses in the neighborhood, and is in keeping with the zone in which it is located.

Staff recommends approval of the Special Permit application, once any items missing are submitted and reviewed, subject to conditions set forth in the staff reports received (below) that the Commission determines have not been addressed. ***Approval of a Lot Line Reconfiguration application filing and approval, and a Zone Change approval is required prior to any Special Permit being approved and filed.***

From: Rupert, Jim
Sent: Monday, June 13, 2022 1:05 PM
To: Carson, Patrice
Subject: RE: Staff Review Requested: Special Permit Application for 12,000 SF Building for Manufacturing, 837 Boston Turnpike, Able Coil (VP#PL-22-4)

Patrice,

I have reviewed and my comments are as follows.

- 01) Fire Department access to the side facing the rear parking lot is reasonable but the Chief may wish to identify a fire lane.
- 02) Three sides of this structure are not easily accessible for fire fighting operations which could negatively impact the outcome to the structure in the event of a fire. The owners may wish to look at both passive and active construction techniques to mitigate loss in the event of a fire.
- 03) With the addition of a structure to the campus it will be important to easily identify and differentiate between structures in the event of an emergency. This is most easily accomplished with the installation of building numbers that are readily visible.

Thank you,
Jim

From: Bruce Dixon [mailto:boltonchief34@gmail.com]
Sent: Friday, June 24, 2022 8:51 AM
To: Carson, Patrice <pcarson@boltonct.org>
Subject: Re: Staff Review Requested: Special Permit Application for 12,000 SF Building for Manufacturing, 837 Boston Turnpike, Able Coil (VP#PL-22-4)

Good morning I have reviewed the proposed site plan and agree with Jim's comments.

The building identification and directions noting the rear building in the front driveway would assist in quicker location of a patient for both fire, ambulance, and police.

Best regards,

Bruce A. Dixon
Fire Chief
Bolton Fire Department
168 Bolton Center Road
Bolton, CT 06043
860-649-3910 Office

From: Kelly, Barbara
Sent: Friday, June 10, 2022 11:20 AM
To: Carson, Patrice <pcarson@boltonct.org>
Subject: RE: Able Coil - Zoning Change & Special permit applications

Hi Patrice.

The subdivision creating to lots on the 837 Boston Turnpike parcel was approved by P&Z and filed with the Town Clerk. Although the subdivision should have gone to wetlands at the time it was created, it didn't. The time to correct, address, or appeal that is long past. The proposed 12,000 square foot building construction & zone change is outside the wetlands upland review area and unlikely to impact more distant wetlands. No wetland permit application will be needed.

Please let me know if there are any questions.

Take care,
BK
Barbara Kelly, Agent
Inland Wetlands Commission
Town of Bolton

From: Kelly, Barbara
Sent: Monday, June 20, 2022 11:14 AM
To: Carson, Patrice <pcarson@boltonct.org>
Subject: RE: Staff Review Requested: Special Permit Application for 12,000 SF Building for Manufacturing, 837 Boston Turnpike, Able Coil (VP#PL-22-4)

Hi Patrice,

An Inland Wetlands Permit is not required for the proposed construction or the lot line and zone changes.

Please let me know if you need any further input.

Take care,
BK
Barbara Kelly, Agent
Inland Wetlands Commission

From: Thad D. King [mailto:KingTD@ehhd.org]

Sent: Friday, June 24, 2022 10:48 AM

To: Carson, Patrice <pcarson@boltonct.org>

Subject: RE: Staff Review Requested: Special Permit Application for 12,000 SF Building for Manufacturing, 837 Boston Turnpike, Able Coil (VP#PL-22-4)

I reviewed the plan. They are on central sewer and a public water supply. I do not have any comments relative to the application.

Thad King MPH REHS CP-FS
Eastern Highlands Health District
4 South Eagleville Rd
Mansfield CT 06268
860 429 3325 W
860 208 9940 C





June 23, 2022

Ms. Patrice Carson, AICP
Director of Community Development Town
Office Building
222 Bolton Center Road
Bolton, CT 06043

Re: Howard Road Realty, LLC
Building Expansion
837 Boston Turnpike
Special Permit Site Plan Review
NLJA #0968-0042

Dear Ms. Carson:

As requested, we have reviewed the following information received for the subject project at our office through June 14, 2022:

- Item 1: Set of three (3) drawings titled "Able Coil & Electronics, 837 Boston Turnpike, Bolton, Connecticut", Drawing Nos. C-1, C-2 & ES-1, scales as noted, latest revision date shown 06-14-2022, prepared by PDS Engineering & Construction, Inc.
- Item 2: Set of two (2) drawings titled "Able Coil – Proposed Warehouse, 837 Boston Turnpike, Bolton, Connecticut", scales as noted, latest revision date shown 06-13-2022, prepared by PDS Engineering & Construction, Inc.

The subject application proposes to construct a new 12,000 s.f. building adjacent to the existing building. A connecting corridor will join the two structures.

We have the following comments:

1. In accordance with Section 16A.2.c.5(f) the Site Plan should show the location of rock outcrops and tree lines. Additionally, proposed clearing limits should be identified.
2. In accordance with Section 16A.3.j., an Outdoor Lighting Plan should be prepared.
3. In accordance with Section 16A.3.q., a Landscaping Plan should be prepared.
4. The site plan should show a limits of disturbance line for the proposed project. Additionally, existing and proposed contours should be shown within the limits.
5. The existing 15" HDPE drainage pipe beneath the proposed building should be relocated outside of the building footprint.



Ms. Patrice Carson, AICP
Director of Community Development
Re: Howard Road Realty
Building Expansion
837 Boston Turnpike
Special Permit Site Plan Review
NLJ #0968-0042
June 23, 2022
Page 2 of 2

6. The Site Plan should identify the abutting property owners to the east of the subject parcel.
7. Drainage computations should be submitted to confirm that the proposed improvements will not increase site runoff and provide adequate capacity for the Water Quality Volume.

Should you have any questions, please feel free to contact our office.

Very truly yours,

NATHAN L. JACOBSON & ASSOCIATES, INC.

Joseph M. Dillon, P.E.

JMD:jmd

cc: Barbara Kelly
Michael D'Amato
James Rupert
File

Nathan L. Jacobson & Associates, Inc.
Nathan L. Jacobson & Associates, P.C. (NY)
86 Main Street P.O. Box 337 Chester, Connecticut 06412-0337
Tel 860.526.9591 Fax 860.526.5416
Consulting Civil and Environmental Engineers Since 1972



**PDS ENGINEERING &
CONSTRUCTION, INC**

June 28, 2022

Town of Bolton
222 Bolton Center Road
Bolton, CT 06043

Attention: Patrice L. Carson, AICP, Consulting Director of Community Development

Reference: **Howard Road Realty, LLC / Able Coil & Electronics, Inc., 837 Boston Turnpike**
Proposed 15,000 Sq. Ft. Light Manufacturing Pre-Engineered Metal Building

Subject: **Response to Special Permit #PL-22-4 Site Plan Review Comments**

Dear Patrice:

PDS Engineering & Construction, Inc. has received the staff review comments of June 24, 2022, has added the requested information, and is providing the responses below for each, which we trust will be satisfactory:

A. ADDITIONAL INFORMATION NEEDED BY THE PZC

- 1. Warranty Deed** – See attached Schedule A's for: "Portion of Lot 2 To Be Combined With 837 Boston Turnpike", "Portion of Lot 1 To Be Combined With 837 Boston Turnpike", and "Revised Lot 1". These are being uploaded online into ViewPoint in the #PL-22-5 Zone Change application.
- 2. Site Plan Checklist** – See attached completed "Checklist for Site Plan Review".
- 3. Stormwater Management Report** – See attached Stormwater Management Report with drainage calculations and Water Quality Volume capacity. Refer to Drawings C-1 Proposed Site Plan, C-2 Site Details, and ES-1 Erosion & Sedimentation Control Plan for grading and drainage design, notes and details.
- 4. Landscaping Plans & Details (N/A)** – The existing natural and built landscaping on this site is quite attractive and will remain as-is. No new landscaping is planned because the new 1-story light manufacturing building will hardly be visible from the street or abutting lots. It shall be located behind and connected to the existing light manufacturing building. It will be built into a slope, with existing woods behind and to the sides. New lawn shall be established around the new building up to the woods and/or parking lot in all areas disturbed from construction. Refer to Drawing ES-1 for lawn restoration information.
- 5. Lighting Details** – Refer to Drawing SL-1 Site Lighting Plan, which includes catalog cuts of recommended light fixtures and a photometric map of the site. This plan is being uploaded online into ViewPoint.
- 6. Approval from BLRWPCA for Sewer Use / EDU Adjustment** – BLRWPCA approval to connect and discharge into the existing lateral will be applied for and granted *after the Special Permit is obtained*. The proposed design is based on 25 employees occupying the new building. An Equivalent Dwelling Unit, or EDU, is a unit of sewage flow equal to 200 GPD. Per the BLRWPCA Sewer Benefit Assessment Policy, an Industrial Plant classification is assigned 1.0 EDU for the first 10 employees or less, plus 0.1 EDU for each additional employee (Total 2.5 EDUs). Per CTDPH Technical Standards, the design flow of a manufacturing building is 25 gallons per day per person, or 625 GPD (Total 3.125 EDUs). For commercial properties, a revised EDU value may be assigned based on water meter data, current sewage assessment, or other pertinent information presented by the Owner to the BLRWPCA.

7. **Copy of Referral to CTDOT for Work Proposed Within the CTDOT R.O.W. (N/A)** – There is no work proposed in the CTDOT Right-Of-Way (State Route 44) for this project. The existing 2-inch HDPE pipe service connection (lateral / stub) extends into the Owner's property (modified lot for 837 Boston Turnpike) for tie-in to the 1.5-inch force main from the new duplex grinder pump station. See BLRWPCA Sheet RD-206 for location of connection.

B. COMMENTS FROM THE FIRE MARSHAL AND FIRE CHIEF

1. **Fire Department Access** – There is reasonable Fire Department access to the side facing the rear parking lot. A striped fire lane has been identified along the edge of the existing parking lot adjacent to the detention basin.

2. **To Mitigate Loss in the Event of a Fire** – To access the other three sides of the building, trees will be cleared approximately 25' to 35' around the building for construction and egress purposes. Lawn will be established and maintained in this area, although the grade slopes upward to the east (towards the back of the building). Emergency apparatus can potentially access close to the new building from either Boston Turnpike or the existing parking lot if they drove on these grassed areas.

3. **Identify and Differentiate Between Structures in the Event of an Emergency** – All buildings on site are considered 837 Boston Turnpike. The office building in the front is obvious. The Owner has agreed to furnish and install exterior signs on the two manufacturing buildings. Building "A" will be the existing 20,000 SF manufacturing building behind the office building. Building "B" will be the new 15,000 SF manufacturing building in the back. A sign with arrows will be located at the entrance drive to direct emergency vehicles to the appropriate building.

C. COMMENTS FROM THE INLAND WETLANDS AGENT

1. **No Wetland Permit Application Will Be Needed** – The proposed building construction or lot line and zone changes are outside the wetlands upland review area and unlikely to impact more distant wetlands.

D. COMMENTS FROM THE EHHD SANITARIAN

1. **None** – The plan was reviewed. They are on central sewer and a public water supply. No comments.

E. COMMENTS FROM THE TOWN'S ENGINEER

1. **Show Location of Rock Outcrops, Tree Lines, and Clearing Limits** – All shown on the revised drawings.

2. **Outdoor Lighting Plan Should Be Prepared** – See Drawing SL-1 Site Lighting Plan which includes catalog cuts of recommended light fixtures and a photometric map of the site.

3. **Landscaping Plan Should Be Prepared (N/A)** – It was agreed that the existing natural and built landscaping on this site is quite attractive and will remain as-is. No new landscaping is planned because the new 1-story light manufacturing building will hardly be visible from the street or abutting lots. It shall be located behind and connected to the existing light manufacturing building. It will be built into a slope, with existing woods behind and to the sides. New lawn shall be established around the new building up to the woods and/or parking lot in all areas disturbed from construction. Refer to Drawing ES-1 for lawn restoration information.

4. **Show Limits of Disturbance and Contours Within the Limits** – All shown on the revised drawings.

5. Relocate the Existing 15" HDPE Drainage Pipe Beneath the Building – It was agreed that this proposed storm overflow drain was satisfactorily relocated inside the building footprint away from any axial column loads. Minimum pipe cover is 12 inches below the building slab, so no point loading will damage the pipe. LINK-SEAL (or equal) will be utilized at the foundation wall penetrations. There is no access to the pipe from the inside of the building, and it is completely underground. This straight pipe is large enough to self-clean and will only be used during notable rain events as an overflow pipe or when ice or snow prevents water flow to the existing storm drainage system. It is insurance that no flooding or ponding will occur on the north side of the new connector, where substantial overland flow occurs and is collected by the existing yard drains.

6. Identify Abutting Property Owners on Plans – The revised Zone Change Plans, Site Plan, and E&S Plan now show the Abutters.

7. Drainage Computations - See attached Stormwater Management Report with drainage calculations and Water Quality Volume and Flow. Refer to Drawings C-1 Proposed Site Plan, C-2 Site Details, and ES-1 Erosion & Sedimentation Control Plan for grading and drainage design, notes and details. With the added detention basin, stormwater peak discharge following development will not exceed the runoff peak discharge prior to development.

I hope that this additional information and these responses are acceptable to you and your staff. PDS has been working very closely with the Owner and the Town of Bolton on the Zoning Change Application and Special Permit Application approval process. I really appreciate the guidance and feedback from your staff. I believe that we are well-prepared for the Public Hearing on July 13, 2022. If you should need additional information, please do not hesitate to contact me.

Sincerely,

PDS ENGINEERING & CONSTRUCTION, INC.



Randy J. Becker, P.E.

Senior Construction Manager

Cell (860) 978-6316

Email: randyb@pdsec.com

cc: Steven Rockefeller, President, Able Coil & Electronics, Inc.
Bill Jodice, President, PDS Engineering & Construction, Inc.
Jim Rupert, Bolton Fire Marshal
Bruce Dixon, Bolton Fire Chief
Barbara Kelly, Inland Wetlands Commission
Thad King, EHHD
Joe Dillon, P.E., Jacobson

Attachments

PORTION OF LOT 2 TO BE COMBINED WITH 837 BOSTON TPKE.

SCHEDULE A

Beginning at the southwest corner of the herein described parcel and the northwest corner of land now or formerly of Michael Morin.

Thence N-68°-16'-23"-E a distance of 202.05 feet to a point;

Thence N-30°-13'-28"-E a distance of 132.00 feet to a point

Thence N-48°-28'-28"-E a distance of 312.18 feet to the southeast corner of the herein described parcel and land now or formerly of Daniel and Melissa Bryk. The previous three (3) courses were along land of the said Michael Morin.

Thence N-06°-42'-56"-W a distance of 257.92 feet along land of the said Daniel and Melissa Bryk to land now or formerly of RLB Real Estate Holdings LLC;

Thence S-76°-26'-58"-W a distance of 200.21 feet to a point;

Thence N-06°-07'-48"-W a distance of 83.42 feet to a point and land now or formerly of Lot 1. The previous two (2) courses were along land of the said RLB Real Estate Holdings LLC.

Thence S-82°-13'-29"-W a distance of 50.00 feet along land of the said Lot 1 to a point;

Thence along the arc of a curve to the left having a radius of 1,559.86 feet, a distance of 311.47 feet along Proposed Area of Lot 1 to Be Combined With 837 Boston Tpke. to a point and land now or formerly of Howard Road Realty, LLC;

Thence S-07°-46'-57"-E a distance of 548.79 feet along land of the said Howard Road Realty, LLC to the point and place of beginning.

The above described parcel is the major portion of the original Lot 2, contains 245,952 SF (5.65 AC) of land and is shown as "PROPOSED AREA OF LOT 2 TO BE COMBINED WITH 837 BOSTON TPKE." on a map entitled "PROJECT NAME: ABLE COIL & ELECTRONICS PROPOSED ZONE AMENDMENT 889 BOSTON TURNPIKE BOLTON, CONNECTICUT DRAWING TITLE: PROPOSED ZONE PLAN C-102 OWNER: HOWARD ROAD REALTY, LLC. 25 HOWARD ROAD PO BOX 9127 BOLTON, CONNECTICUT 06043 APPLICANT: ABLE COIL AND ELECTRONICS CO. 25 HOWARD ROAD PO BOX 9127 BOLTON, CONNECTICUT 06043 PDS ENGINEERING & CONSTRUCTION, INC. DATE 6-2-2022 ZONE CHANGE APPLICATION 6-16-2022 ADDED DIMENSIONS "

PORTION OF LOT 1 TO BE COMBINED WITH 837 BOSTON TPKE.

SCHEDULE A

Beginning at a point on the south street line of Boston Turnpike at the northwest corner of the herein described parcel and the northeast corner of land now or formerly of Howard Road Realty, LLC.

Thence along the arc of a curve to the right having a radius of 1,859.86 feet, a distance of 65.48 feet along the south street line of Boston Turnpike to a point and land now or formerly of Lot 1;

Thence S-07°-46'-57"-E a distance of 246.65 feet to a point;

Thence N-82°-13'-29"-E a distance of 233.13 feet to a point. The previous two (2) courses were along land of the said Lot 1.

Thence along the arc of a curve to the left having a radius of 1,559.86 feet, a distance of 311.47 feet along land of Proposed Area Of Lot 2 To Be Combined With 837 Boston Tpke. to the southwest corner of the herein described parcel and land of the said Howard Road Realty, LLC;

Thence N-07°-46'-57"-W a distance of 323.66 feet along land of the said Howard Road Realty, LLC to the point and place of beginning.

The above described parcel consists of a portion of the original Lot 1, contains 27,507 SF (0.63 AC) of land and is shown as "PROPOSED AREA OF LOT 1 TO BE COMBINED WITH 837 BOSTON TPKE." on a map entitled "PROJECT NAME: ABLE COIL & ELECTRONICS PROPOSED ZONE AMENDMENT 889 BOSTON TURNPIKE BOLTON, CONNECTICUT DRAWING TITLE: PROPOSED ZONE PLAN C-102 OWNER: HOWARD ROAD REALTY, LLC. 25 HOWARD ROAD PO BOX 9127 BOLTON, CONNECTICUT 06043 APPLICANT: ABLE COIL AND ELECTRONICS CO. 25 HOWARD ROAD PO BOX 9127 BOLTON, CONNECTICUT 06043 PDS ENGINEERING & CONSTRUCTION, INC. DATE 6-2-2022 ZONE CHANGE APPLICATION 6-16-2022 ADDED DIMENSIONS "

REVISED LOT 1

SCHEDULE A

Beginning at a point on the south street line of Boston Turnpike at the northeast corner of the herein described parcel and the northwest corner of land now or formerly of RLB Real Estate Holdings LLC.

Thence along the arc of a curve to the left having a radius of 1,859.86 feet, a distance of 300.79 feet along the south street line of Boston Turnpike to the northwest corner of the herein described parcel and the northeast corner of Proposed Area Of Lot 1 To Be Combined With 837 Boston Tpke.;

Thence S-07°-46'-57"-E a distance of 246.65 feet to a point;

Thence N-82°-13'-29"-E a distance of 233.13 feet to a point and land of Lot 2. The previous two (2) courses were along land of the said Proposed Area Of Lot 1 To Be Combined With 837 Boston Tpke.

Thence N-82°-13'-29"-E a distance of 50.00 feet along land of the said Lot 2 to the southeast corner of the herein described parcel and land of the said RLB Real Estate Holdings LLC;

Thence N-06°-07'-48"-W a distance of 316.58 feet along land of the said RLB Real Estate Holdings LLC to the point and place of beginning.

The above described parcel consists of the major portion of the original Lot 1 and a small portion of Lot 2, contains 82,056 SF (1.88 AC) of land and is shown as "PROPOSED TOTAL LOT 1 AREA "on a map entitled "PROJECT NAME: ABLE COIL & ELECTRONICS PROPOSED ZONE AMENDMENT 889 BOSTON TURNPIKE BOLTON, CONNECTICUT DRAWING TITLE: PROPOSED ZONE PLAN C-102 OWNER: HOWARD ROAD REALTY, LLC. 25 HOWARD ROAD PO BOX 9127 BOLTON, CONNECTICUT 06043 APPLICANT: ABLE COIL AND ELECTRONICS CO. 25 HOWARD ROAD PO BOX 9127 BOLTON, CONNECTICUT 06043 PDS ENGINEERING & CONSTRUCTION, INC. DATE 6-2-2022 ZONE CHANGE APPLICATION 6-16-2022 ADDED DIMENSIONS "

**BOLTON PLANNING & ZONING COMMISSION
CHECKLIST FOR SITE PLAN REVIEW (§ 16A)
AND SPECIAL PERMIT (§ 16B) APPLICATIONS**

March 11, 2009

THIS CHECKLIST MUST BE COMPLETED BY THE APPLICANT OR AN AUTHORIZED REPRESENTATIVE AND SUBMITTED WITH THE APPLICATION.

The Planning and Zoning Commission will use this checklist in determining the completeness or incompleteness of the application. The applicant is responsible for providing all the applicable information on this checklist. The applicant is encouraged to provide any additional information to clearly present a proposed activity and its potential effects on the community. The Commission may require additional information not included in this checklist to determine compliance with the regulations.

AN APPROVAL OF AN APPLICATION COULD BE DENIED IF AN APPLICATION LACKS SUFFICIENT INFORMATION.

Some of the items below are essential for any application while others may not be applicable for a particular proposal. The applicant is encouraged to ask the town staff to review the completed application with all supporting information and the completed checklist, prior to submitting the application to the Planning and Zoning Commission so that the staff can provide the applicant an opinion on the completeness of the application.

Pursuant to Section 16A.2.p, at time of application submission, the applicant may request in writing that the Commission determine that all or a part of the information required under Section 16A.2.c through o. (except subsections e., f., i., and j.) is NOT necessary in order to decide on an application.

Applicants may be subject to supplemental review fees to defray the costs of professional review services such as engineering or legal reviews. Please see attached information sheet.

Name of Development ABLE COIL & ELECTRONICS, INC. SPECIAL PERMIT #PL-22-4

Applicant RANDY BECKER, PDS ENG. & CONST., INC. Date 6/28/2022

Item	Description	Applicant		Staff	
		Included	Not Included	Completeness Opinion	
				Yes	No
1	Completed, signed application by applicant and owner	✓			
2	Payment of required application fees	✓			
2A	Statement of Use in accordance with § 16A.2.b	✓			
3	All draft deeds for any roads, road widenings and easements for drainage, conservation, driveways, utilities	✓			
4	Evidence of request for approval by the Health District and/or Sewer Authority for review, as appropriate		✓		
5	Evidence of submission of application to the Inland Wetlands Commission if it is within that Commission's jurisdiction		✓		
6	Evidence of submission of a request for review and approval by the Fire Marshal and Fire Chief of the water supply for fire protection	✓			
7	Copies of any required applications to other local, state or federal regulatory approvals	✓			
8	Written evidence of applicant's legal interest in the subject property (deed, lease option to purchase, bond for deed, etc.)	✓			

Item	Description	Applicant		Staff	
		Included	Not Included	Completeness Opinion	
				Yes	No
9	List of mailing address of all current property owners within 500 feet of the subject property, from the Town Assessor records (for special permit only)	✓			
10	List of all hazardous or potentially hazardous materials which will be present on the property with a full description of procedures that will be used to assure safety with the material safety data sheets	✓			
12	Digital copy of plans in DXF or DGN format if available	✓			
13	Paper and digital copies of all reports including hydrology, hydraulic and drainage computations and	✓			
14	14 sets of complete stamped and signed site plans measuring 24" x 36	✓			
	THE FOLLOWING ITEMS 15 THROUGH 51 SHALL BE INCORPORATED IN PLANS				
15	A-2 boundary survey of the subject property showing all existing and proposed boundary lines and markers, easements, adjoining property lines and the names of all current abutting property owners	✓			
16	Names of abutting lot owners	✓			
17	USDA Soils boundaries and types	✓			
18	Plan title block in the extreme lower right corner (not sideways) to include the name of the town of Bolton	✓			
19	All plan sheets numbered with the format "sheet x of y"		✓		
20	Clear legible plans with all lines, symbols and features readily identifiable	✓			
21	North arrow on each plan including the reference meridian	✓			
22	Graphic bar scale on each plan sheet, not smaller than 1"= 40' unless otherwise approved by the Commission	✓			
23	Overall plan of site at a smaller scale, with sheet index, if the site does not fit on one sheet at a scale of 1"=40'	✓			
24	Key map at a scale of 1"= 500' showing the relation of the site to abutting properties and streets, shown on plan and zoning district boundaries within 500' of site	✓			
25	Original and revision plan dates and revision explanations shown on the affected plan sheets	✓			
26	Existing and proposed grading with two foot contours to T-2 standards, for all ground surfaces, shown on plan	✓			
27	Existing and proposed structures and features, their uses and those to be removed, shown on the plan	✓			
28	HVAC equipment located outside the building(s)	✓			
29	Existing and proposed driveway entrances to street, parking, loading areas, fire lanes, sidewalks and construction detail drawings, shown on plan	✓			
30	Sight distances from property entrances along public roads shown on plan and on profile if grading is needed	✓			
31	Soil test locations and soil test results shown on plan		✓		
32	Existing and proposed sewage disposal systems and design information, shown on plan	✓			
33	Outside Storage Areas		✓		

Item	Description	Applicant		Staff	
		Included	Not Included	Completeness Opinion	
				Yes	No
34	Underground / overhead utilities, existing and proposed	✓			
35	Existing and proposed water supply shown on plan	✓			
36	Existing wells and sewage disposal systems on other properties that could conflict with proposed site improvements, shown on plan		✓		
37	Existing and proposed footing drains, curtain drains and dry wells, shown on plan	✓			
38	Existing and proposed drainage systems, any affected floodway or floodplain and construction detail drawings, shown on plan, including base flood elevation and floor elevation data.	✓			
39	Existing and proposed bridges and culverts on or adjacent to the site, shown on plan		✓		
40	Existing and proposed signs with dimensions and construction detail drawings, shown on plan	✓			
41	Existing and proposed fences and walls with dimensions and construction detail drawings, shown on plan		✓		
42	Zoning district boundaries affecting the site, shown on plan	✓			
43	Table shown on plan of zoning dimensions required and provided for lot area, street frontage, lot width, yard setbacks, impervious area, building coverage and the height and floor area of each building	✓			
44	Table on plan of parking / loading spaces required / provided	✓			
45	Fire lanes	✓			
46	Sidewalks and other pedestrian ways	✓			
47	Off-site traffic improvements	✓			
41	Limits of wetlands as delineated by a certified soil scientist with the soil scientist's signed certification, shown on plan or a certification signed by a soil scientist that no wetlands are within 100 feet		✓		
42	Natural features including 100 year flood plain areas, ponds, vernal pools, aquifers, slopes steeper than 25% and potential areas of endangered species, shown on plan		✓		
43	Landscaping plan including the locations, numbers, installed sizes, anticipated mature sizes, species and common names of proposed plants plus cost estimate based on published Connecticut DOT unit prices		✓		
44	Existing trees of 6" caliper or greater		✓		
45	Significant archaeological sites		✓		
46	Lighting plan including the location, size, height, light intensity coverage areas and manufacturer's product descriptions for each light type	✓			
47	Erosion and Sedimentation Control Plan, with narrative and construction detail drawings, in accordance with the latest Connecticut Guidelines for Soil Erosion and Sediment Control	✓			

Item	Description	Applicant		Staff	
		Included	Not Included	Completeness Opinion	
				Yes	No
48	Best management practices to remove contaminants, including sediments and oils, from runoff water, shown on plan, in construct detail drawings, and explained in a report by a qualified professional		✓		
49	Architectural elevation drawings of proposed buildings	✓			
50	Architectural floor plans of existing and proposed buildings	✓			
51	Perspective color drawings or digital views of the site as seen from adjacent roads and from abutting property lines showing the proposed conditions including buildings, landscaping and appurtenant features	✓			
52	Traffic Impact Report for applicable sites as described in Zoning Regulations Section 16A.2.k.		✓		
53	Thorough, well organized drainage design report for before and after development conditions, that conforms to the latest Conn. Dept. of Transportation and Conn. Dept. of Environmental Protection guidelines and requirements with appropriate calculations, maps, graphics and narrative descriptions of hydrology, hydraulics, assumptions, erosion controls, drainage paths and systems for the 1, 2, 10, 50 and 100 year storm events	✓			
54	Statement in drainage report that the after development flows for all storm events do not exceed the before development flows	✓			
55	Sanitary Waste Disposal Plan (if community sewerage system)	✓			
56	Evaluation of the impact of proposed development upon existing and potential public surface and ground drinking water supplies, pursuant to CGS, Section 8-2		✓		
57	Certified copy of Certificate of Public Convenience and Necessity in connection with a "water company", in accordance with CGS, Section 8-25a		✓		
58	Existing and proposed Covenants or Restrictions	✓			
59	Engineer's itemized cost estimate for the installation of all erosion and sediment controls based on published Connecticut DOT unit prices	✓			
60	Engineer's itemized cost estimate for site improvements based on published Connecticut DOT unit prices as basis for the establishment of a completion bond	✓			

Stormwater Management Report

Able Coil & Electronics, Inc.

15,000 Sq. Ft. Light Manufacturing Building Addition

By: Randy J. Becker, P.E.
PDS Engineering & Construction, Inc.
107 Old Windsor Road
Bloomfield, CT 06002
(860) 242-8586

1. Applicant/Site Information

Howard Road Realty, LLC / Able Coil & Electronics, Inc.

837 Boston Turnpike, Bolton, CT 06043

Ph. (860) 646-5686

Special Permit #PL-22-4

2. Project Narrative

Since 1969 Able Coil & Electronics has manufactured precision-wound coils, toroids, transformers, solenoids, cable and connector harnesses, and many other electrical assemblies. We're currently operating out of two facilities, 837 Boston Turnpike and 25 Howard Road. In an effort to increase operational efficiencies and reduce cost, we're proposing to build a new 15,000 sq-ft building behind our existing 20,000 sq-ft facility at 837 Boston Turnpike. When complete, we plan to move operations from 25 Howard Road to 837 Boston Turnpike. Manufacturing operations performed in the new building will be light industrial and typical for our business. This includes coil winding, electrical assembly, and mechanical assembly. The following operations will also be performed in the new building:

- Small fabrication and repair work center to support operations, repair, and maintenance needs.
 - 3D print room to support prototype and custom tooling requirements.
 - 2 small plastic injection molding machines to over mold coils.
 - Storage of spooled wire, slow moving inventory, and finished goods.
 - We estimate 25 employees will work in the new building. The buildings will be connected via a connector so we can share both technical and supervisory resources in a more efficient manner.
-
- The property is not located in Flood Hazard Zone A per Flood Insurance Rate Map (FIRM) Community-Panel Number 09109 - 0001B effective date June 1, 1981.
 - Wetlands exist on the property but are not within 200 feet of the proposed site development.
 - A relatively new 5,625 sq-ft office building and existing 20,000 sq-ft light manufacturing building lie to the north of the proposed building addition.

- An existing 38-space paved parking lot lies to the west of the proposed addition. The office building entrance has a smaller, 6-space paved parking lot.
- Mature woods surround the developed site on three sides (Boston Turnpike / Route 44 borders on the north). Maintained lawns and landscaping separates the woods from the buildings and parking lots.
- The terrain generally slopes down from northeast to southwest, with most of the stormwater flowing above elevation 658.00 captured in a series of yard drains and directed to the existing detention basin, which was designed to handle all the overland flow from this sloping terrain, the existing building roofs and impervious paved surfaces. The new building roof shall drain to the new detention basin with connections to the new 15" HDPE gasketed storm pipe.
- There is no change to the existing flow due to the proposed site development. Even though the existing 8" storm drain system can handle the peak discharge of a 100-year storm, provisions for an emergency overflow pipe are planned at the new catch basin where the new building connects to the existing building in the event of a blockage by debris or ice/snow. This 15" diameter 250-ft long belled and gasketed spigot HDPE N-12 pipe will run under the new building at 1% slope and daylight into a grassed swale at elevation 662.52. The emergency flow would eventually empty into the new detention basin on the south end of the proposed parking lot.
- Impervious area will increase by 13,467 sq-ft of pavement, including a new 40-space parking lot to the southwest of the new building. This area shall drain to the new detention basin.
- Footing drains from the new building will connect to the existing stormwater drainage system. Roof drains from the new building will connect to the new stormwater system.
- Site soils as defined by USDA NRCS soil surveys consist of Type 73C Charlton-Chatfield complex, 3 -15% slopes, very rocky, gently sloping to very steep, well-drained and somewhat excessively drained, loamy soils on glacial till uplands. The soils in this map unit make up about 10 percent of the state. The landscape is predominantly upland hill and ridges landscapes. The coarse, loamy soils formed in melt-out till. Stones and boulders are common on the surface in most places, and many areas have outcrops of bedrock. Depth to seasonal water table is greater than 6 feet. Charlton soils make up about 45 percent of this map unit. They are very deep, well drained, loamy soils with moderate or moderately rapid permeability in the substratum. Charlton soils are gently sloping to steep and are on hills. Chatfield soils make up about 30 percent of this map unit. They are moderately deep to bedrock, well drained, loamy soils with moderate or moderately rapid permeability in the substratum. Chatfield soils are gently sloping to steep and are on bedrock-controlled hills and ridges. Minor components make up about 25 percent of the map unit, including areas of moderately well drained Sutton soils and poorly drained Leicester soils. Sutton soils are in slight depressions in the landscape. Leicester soils are in depressions and drainageways. Also included are small areas of shallow, somewhat excessively drained Hollis soils where bedrock is 10 to 20 inches below the surface.
- Moderate depth to bedrock, rock outcrops, slope, frost action, and thin soil layer are major limiting factors of Chatfield soils. Large stones are a limitation of Charlton soils, although the depth to bedrock is very deep. Most areas of this map unit are in woodland and some areas are in community development. The soils of this map unit are suited to forestry and wildlife habitat. Stones and boulders need to be removed from the surface in some areas. Ledge is present on site and, if encountered while excavating, must be removed in an approved manner. The proposed building will be constructed into the slope with the finished floor 4 feet above the exterior front grade to accommodate a loading dock.
- Stormwater discharges from this site may carry negligible amounts of pollutants such as oil, dirt, chemicals, and lawn fertilizers to streams and rivers, and will not seriously harm water quality.

- To protect surface water quality and groundwater resources, the proposed development is designed to be built to minimize increases in runoff. The post-development drainage patterns will be the same as the pre-development drainage patterns on this project. The only difference is the new pavement area and building area have an increased runoff coefficient as opposed to the existing lawn in these areas.
- This development does not adversely affect critical areas, buffers, and setbacks established by the local, state, and federal regulatory authorities.
- The DEEP Water Quality Classification Map for Bolton indicates an on-site groundwater classification of GA. Class GA designated uses are existing private and potential public or private supplies of water suitable for drinking without treatment and baseflow for hydraulically-connected surface water bodies. Surface waters which are not specifically classified (as in this case) shall be considered as Class A. Class A designated uses are habitat for fish and other aquatic life and wildlife; potential drinking water supplies; recreation; navigation; and water supply for industry and agriculture.
- None of the on-site or adjacent waterbodies to this property (i.e. Lower Bolton Lake, Bolton Pond Brook, Hop River) are included on the Connecticut 303(d) 2020 List of Impaired Waters for Connecticut (EPA Category 5).

Potential stormwater impacts

- Potential pollution sources – Erosive soils, moderately steep slopes, vehicle fueling, vehicle washing, stockpiling of materials, and hazardous chemicals.
- Summary of calculated pre- and post-development peak flows
- Summary of calculated pre- and post-development groundwater recharge

Critical on-site resources

- Wells, aquifers – Existing onsite private well.
- Wetlands, streams, ponds – None within 200 feet of the development.
- Public drinking water supplies – None.

Critical off-site (adjacent to or downstream of site) resources

- Neighboring land uses – Residential, Commercial
- Wells, aquifers – Existing onsite private wells.
- Wetlands, streams, ponds – Lower Bolton Lake to the north (not in drainage area). Bolton Pond Brook to the east and Hop River to the south.
- Public drinking water supplies – None.

Proposed stormwater management practices

- Source controls and pollution prevention – Pollution potential is very limited on this site since erosive soils and moderately steep slopes are stabilized with lawns, curbs, pavement, or walls, no fueling or vehicle washing is anticipated, no stockpiling is anticipated, and no hazardous chemicals will be used outdoors.
- Alternative site planning and design – Emergency overflow pipe is being installed.

- Stormwater treatment practices – Catch basin will have a sump for collecting sediment and debris, to be maintained by the Owner. Rip-rap plunge pool surrounds the catch basin. New detention basin collects stormwater from added impervious pavement and the rip-rap level spreader prevents scouring downslope.
- Flood control and peak runoff attenuation management practices – Emergency overflow pipe is being installed in the new catch basin to prevent flooding at the lower inside corner where the buildings connect if and when debris or snow/ice covers the 8" pipe in the catch basin. Grassed swale is provided from the outfall of this pipe to the detention basin. Detention basin is oversized for the peak flow.

Site plan (See Drawing C-1 for existing and proposed conditions)

- Topography to determine drainage patterns, drainage boundaries, and flow paths
- Locations of stormwater discharges
- Perennial and intermittent streams, if any
- USDA soil types
- Vegetation and proposed limits of clearing and disturbance
- Resource protection areas such as wetlands, lakes, ponds, and other setbacks (stream buffers, drinking water well setbacks, septic setbacks, etc.)
- Roads, buildings, and other structures
- Utilities and easements
- Temporary and permanent conveyance systems (grass channels, swales, ditches, storm drains, etc.) including grades, dimensions, and direction of flow
- Location of floodplain and floodway limits and relationship of site to upstream and downstream properties and drainage systems
- Location, size, maintenance access, and limits of disturbance of proposed structural stormwater management practices
- Final landscaping for structural stormwater management practices and site revegetation
- Locations of non-structural stormwater management practices (i.e., source controls)
- Construction Schedule

3. Calculations for 13,467 Sq-Ft (0.31 Acre) Additional Pavement, 15,000 Sq-Ft Building (0.34 Acre), and 7,340 Sq-Ft (0.17 Acre) Lawn Area Below Elevation 658.00 (No change to existing drainage system above that elevation)

Pollutant Reduction

- **Calculate Water Quality Volume (WQV)** = the volume of runoff (in acre-ft) generated by 1" of rainfall on the site; the amount that should be captured & treated in order to remove pollutants.
- $WQV = (1")(R)(A)/12$ $A = \text{area} = 35,807/43,560 = 0.82 \text{ Acre}$

- $R = \text{volumetric runoff coefficient} = 0.05 + 0.009(I)$, where $I = \% \text{ Impervious cover} = 28,467/35,807 = 80\%$
 $R = 0.05 + 0.009(I) = 0.05 + 0.009(80) = 0.77$
- $WQV = (1)(0.77)(0.82)/12 = 0.0526 \text{ Ac-ft} = 2,292 \text{ cu ft}$ stormwater to be treated with post-construction BMP's
- **Calculate Water Quality Flow (WQF)** = the peak flow rate associated with the water quality design storm
- Runoff depth, Q (in watershed inches) = $[(WQV \text{ (in Ac-ft)} \times 12 \text{ inches/ft})] \div \text{Drainage area (Ac)}$
 $= (0.0526 \text{ Ac-ft} \times 12) / 0.82 \text{ Ac} = 0.77 \text{ watershed inches}$
- $CN = 1000 / [10 + 5P + 10Q - 10(Q^2 + 1.25QP)^{1/2}]$
- Water Quality Design Storm Precipitation, $P = 1.0 \text{ inch}$
- NRCS Runoff Curve Number, $CN = 1000 / [10 + 5(1) + 10(0.770) - 10((0.77)^2 + 1.25(0.77))]^{1/2}$
 $CN = 1000 / 10 + 5 + 7.70 - 10(1.2472) = 1000 / 10.228 = 98$
Initial Abstraction, $I_a = 0.041 \text{ in}$ (from Table 4-1 TR55)
 $I_a/P = 0.041 \text{ in} / 1 \text{ in} = 0.041$ Type III Rainfall from NRCS (SCS)
- Slope = 0.0567 ft/ft Longest Flow Length = 250 ft $R = 0.77$
- $T_c = 2.39 \text{ min. (minimum)} = 0.040 \text{ hr}$ (from Chapter 3 of TR55), but use $10 \text{ min.} = 0.167 \text{ hr}$
- Velocity, $V = 104.42406 \text{ ft/min}$
- Total area, $A = 35,807 \text{ sq-ft} = 0.82 \text{ Acre} = 0.00128 \text{ mi}^2$
- $q_u = \text{unit peak discharge (cfs/mi}^2/\text{inch)} = 600 \text{ csm/in}$ (from Exhibit 4-III TR55)
- Substituting the WQV, in watershed inches, for Runoff Depth, Q :
- $WQF = (q_u)(A)(Q) = (600)(0.00128 \text{ mi}^2)(0.77) = 0.591 \text{ cfs}$

Groundwater Recharge

- Groundwater Recharge Volume (GRV) = $(D)(A)(I)/12$
- Type 73C Charlton-Chatfield complex, 3 -15% slopes, very rocky
- Hydrologic Soil Group B (from NRCS National Cooperative Soil Survey)
- Type III Rainfall Distribution in Connecticut
- Groundwater Recharge Depth = 0.25 in (Table 7-4)
- $I = \text{Pre-development site imperviousness (decimal, not \%)} = 0.25$

- $I = \text{Post-development site imperviousness (decimal, not \%)} = 0.77$
- $\text{Compute increase in imperviousness} = I (\text{proposed}) - I (\text{existing}) = 0.77 - 0.25 = 0.52$
- $A = 35,807 \text{ sq-ft} = 0.82 \text{ Acre}$
- $\text{Groundwater Recharge Volume (GRV)} = (D)(A)(I)/12 = (0.25)(0.82)(0.52)/12 = 0.0089 \text{ Ac-ft}$
 $= 388 \text{ cu ft}$

Calculate Post-Development Flow and Detention Basin Size (for new 13,467 sq-ft of pavement area, 7,340 sq-ft of lawn area, plus the new 15,000 sq-ft building)

- Rational Formula $Q = C \times i \times A$
- Description of design storm frequency, intensity, & duration (100-year, 0.322 in/hr, 24-hr duration)
- Intensity, $i = (0.322 \text{ in/hr})(24 \text{ hrs}) = 7.72 \text{ in}$ (for 100-year storm)
- Pavement area = 13,467 sq-ft = 0.31 Acre = 0.000483 mi²
- Building area = 15,000 sq-ft = 0.34 Acre = 0.000538 mi²
- Lawn Area = 7,340 sq-ft = 0.17 Acre = 0.000263 mi²
- Total area, $A = 35,807 \text{ sq-ft} = 0.82 \text{ Acre} = 0.012846 \text{ mi}^2$
- Surface Coefficient, $C = 0.25$ (pre-development); $C = 0.77$ (post-development, 80% impervious area)
 - Pre-Development Peak runoff rates, volumes, and velocities (24-hour storm):
 - 1-year frequency: $i = 2.56 \text{ in}$; $Q = 0.022 \text{ cfs}$
 - 2-year frequency: $i = 3.15 \text{ in}$; $Q = 0.027 \text{ cfs}$
 - 10-year frequency: $i = 4.92 \text{ in}$; $Q = 0.042 \text{ cfs}$
 - 50-year frequency: $i = 6.83 \text{ in}$; $Q = 0.058 \text{ cfs}$
 - 100-year frequency: $i = 7.72 \text{ in}$; $Q = 0.066 \text{ cfs}$
 - Post-Development Peak runoff rates, volumes, and velocities (24-hour storm):
 - 1-year frequency: $i = 2.56 \text{ in}$; $Q = 0.067 \text{ cfs}$
 - 2-year frequency: $i = 3.15 \text{ in}$; $Q = 0.083 \text{ cfs}$
 - 10-year frequency: $i = 4.92 \text{ in}$; $Q = 0.129 \text{ cfs}$
 - 50-year frequency: $i = 6.83 \text{ in}$; $Q = 0.180 \text{ cfs}$
 - 100-year frequency: $i = 7.72 \text{ in}$; $Q = 0.203 \text{ cfs}$
- Stormwater peak discharge following development cannot exceed the runoff peak discharge prior to development. Detention basin storage is being incorporated into this development to reduce the peak stormwater runoff discharge. Prior to development, the peak runoff from a 100-year storm is 0.066 cfs. Post-development, due to the increased surface coefficient, the peak runoff is 0.203 cfs. Enough detention storage must be incorporated to reduce the predicted stormwater runoff peak discharge to the pre-development flow of 0.066 cfs.
- Inflow = 0.203 cfs
- Outflow = 0.066 cfs

- Outflow/Inflow = $0.066/0.203 = 0.32512315$
- Runoff Depth, $Q = 0.77$ in
- Runoff Volume, $V_r = 0.5275424$ Ac-Ft = 22,980 cu ft.
- Storage Volume, $V_s = 0.19139185$ Ac-Ft = 8,337 cu ft. (TR-55 Method)
- V_s/V_r ratio = 0.326799
- Rational Method (check): Rainfall Intensity, $i = 3.44$ in. (100-year storm, 2-hr duration)
- Peak Flow = $0.77 \times 3.44 \text{ in.} \times 0.82 = 2.172$ cfs
- Minimum capacity of the new detention basin is $2.172 \text{ cfs} \times 60 \text{ min.} \times 60 \text{ sec.} = 7,819$ cu ft.
- Using TR-55 calculation, the minimum capacity of the new detention basin = 8,337 cu ft.
- Detention Basin Capacity provided = $1,692 \text{ sq-ft average area per foot depth} \times 5 \text{ ft depth} = 8,460$ cu ft. to Elevation 640.00, allowing 1-foot of freeboard to Elevation 641.00.
- Capacity to Elevation 641.00 = 9,585 cu ft
- Water Quality Volume = 2,292 cu ft.

4. Design Drawings and Specifications

- Recommended size (no larger than 24" x 36" and no smaller than 8-1/2" x 11")
- Recommended scale (maximum scale of 1" = 40', larger scales up to 1" = 100' may be used to represent overall site development plans or for conceptual plans)
- Design details (cross-sections, elevation views, and profiles as necessary)
- Specifications
- Construction materials
- Reference to applicable material and construction standards
- Title block
- Legend
- North arrow
- Property boundary of subject property (including parcels, or portions thereof, of abutting land and roadways within one hundred feet of the property boundary)
- Site locus map (recommended scale 1" = 1,000') with a north arrow
- Seals of a licensed professionals (original design plans, calculations, and reports)
- Survey plan prepared according to the *Minimum Standards for Surveys and Maps in Connecticut*
- The class of survey represented on the plan

- Stamped by a professional land surveyor
- Depict topography at contour intervals of two feet
- The referenced or assumed elevation datum
- Two (2) benchmarks on the site within one hundred feet of the proposed construction
- Outside limits of disturbances
- Plan references

5. Construction Erosion and Sediment Controls

- Erosion and sediment control plan that complies with the requirements of the current version of *Connecticut Guidelines for Soil Erosion and Sediment Control, DEP Bulletin 34*.

6. Supporting Documents and Studies

- Provide other sources of information used in the design of construction and post-construction stormwater controls for the site development, as applicable.

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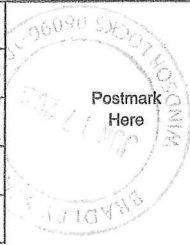
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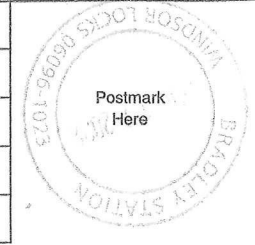
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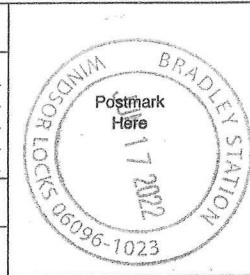
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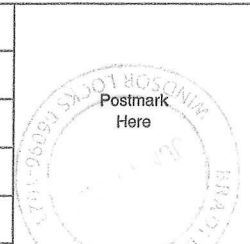
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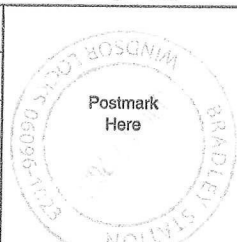
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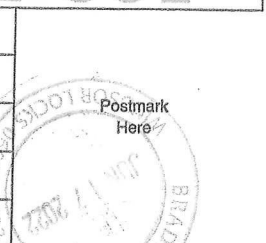
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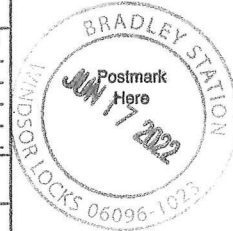
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Raymond & Janice Dzen
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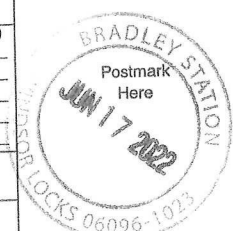
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Silvio & Sylvia Maieli
 38 Stonehedge Lane
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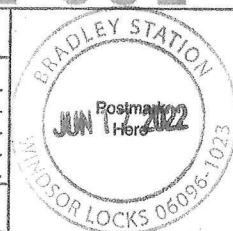
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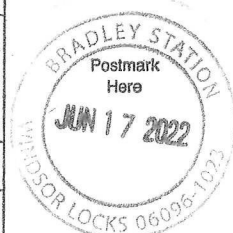
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Howard Road Realty LLC
 25 Howard Road
 Bolton, CT 06043

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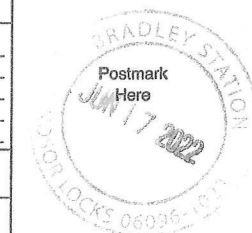
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Thomas & Carla Robbins
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 Bolton, CT 06043

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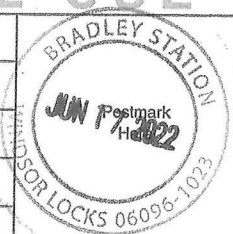
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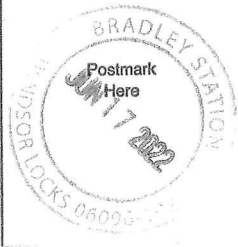
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Stavens Brothers Inc
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Bolton, CT 06043

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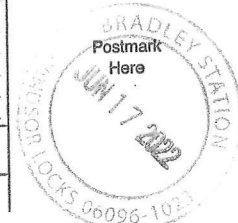
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Kenneth Verrastro
13013 Michael Callin Alley
Bolton, CT 06043

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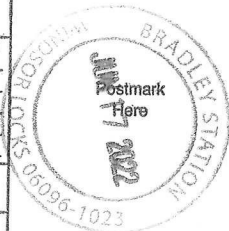
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<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	.53
Total Postage and Fees	4.28



Robert Domenico
18 Notch Road Ext
Bolton, CT 06043

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

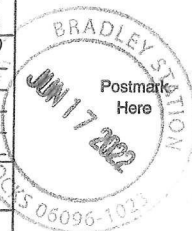
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Postage	.53
Total Postage and Fees	4.28



Joseph & Yolande Faulkner
12 Notch Road
Bolton, CT 06043

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

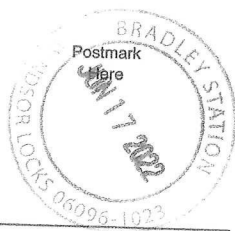
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<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	.53
Total Postage and Fees	4.28



Domenic & Fofana Perito
15 Vernon Road
Bolton, CT 06043

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

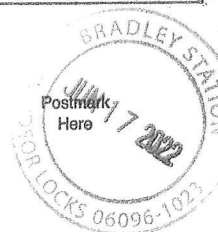
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Postage	.53
Total Postage and Fees	4.28



State of Connecticut
79 Elm
Hartford, CT 06106

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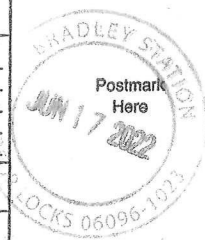
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<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$.53
Total Postage and Fees	\$ 4.28



Richerd & Catharine Peacock
23 Quarry Road
Bolton, CT 06043

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Postage	\$.53
Total Postage and Fees	\$ 4.28



Steven Calhoun
674 Boston Tpk
Bolton, CT 06043

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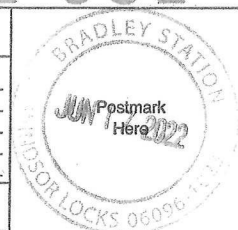
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Postage	\$.53
Total Postage and Fees	\$ 4.28



Wayne Morganson
50 Stony Road
Bolton, CT 06043

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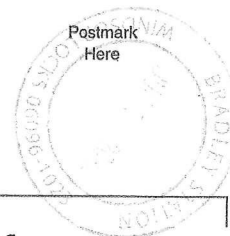
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AAL ONLY LLC
P.O. Box 9585
Bolton, CT 06043

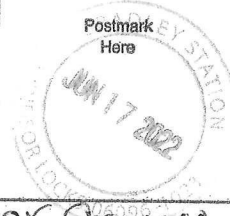
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Postage	\$.53
Total Postage and Fees	\$ 4.28



Sent To Joyce Muisener Crapco
Street and Apt. No., or PO Box No. 153 Boston Tpk
City, State, ZIP+4 Bolton, CT 06043

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

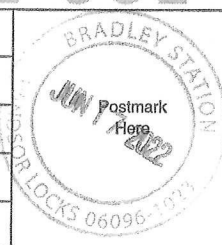
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Street, Apt. No., or PO Box No. 222 Bolton Center
City, State, ZIP+4 Bolton, CT 06043

PS Form 3800, August 2006 See Reverse for Instructions

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☐ Return Receipt (electronic) \$
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☐ Adult Signature Restricted Delivery \$

Postage

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 Total Postage and Fees

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David & Sandra Deblais

Street and Apt. No., or PO Box No.

753 Boston Tpk

City, State, ZIP+4®
 Bolton, CT 06043

PS Form 3800, April 2015 PSN 7530-02-000-9047

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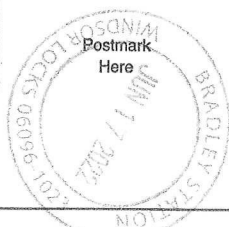
Sent To

Paul & Shirley Toomey

38 Toomey Lane.

Bolton, CT 06043

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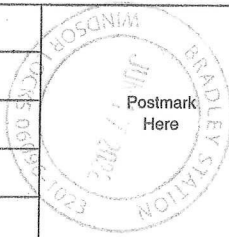
Parker & Wendyanne Grant

51 Stonehedge Lane

Bolton, CT 06043

PS Form 3800, August 2006

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7012 1970 0001 7502 3162

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Postage

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\$ 4.28

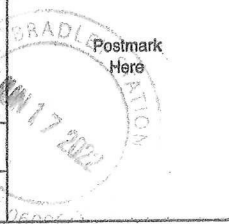
Deborah Ann Bassett

8 Howard Road

Bolton, CT 06043

PS Form 3800, April 2015 PSN 7530-02-000-9047

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Restricted Delivery Fee
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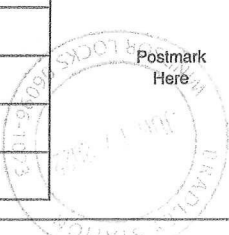
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Sent To

Daniel Bryk

61 Stonehedge Lane

Bolton, CT 06043



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Restricted Delivery Fee
 (Endorsement Required)

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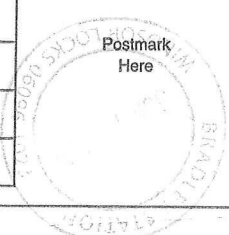
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Bolton Notch Self Storage LLC

220 Hartford Tpk

Vernon, CT 06066

See Reverse for Instructions

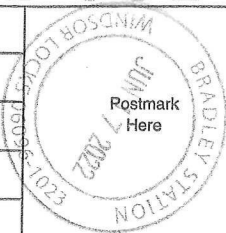


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Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.28



Sent To

Christopher Lapenta
382 Hop River Road
Bolton, CT 06043

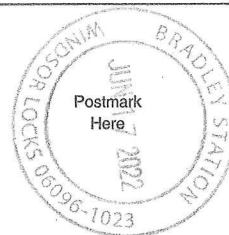
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Bolton Self Storage LLC
131 Old Andover Road
Hebron, CT 06248

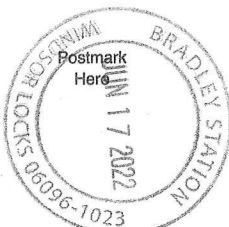
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Postage	\$.53
Total Postage and Fees	\$ 4.28



Sent To

WEI Ruling
345 Bull Cap Rd
Bolton, CT 06043

PS Form 3800, April 2015 PSN 7530-02-000-9047

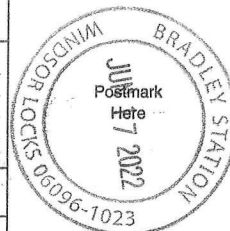
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David + Ashley margues
44 Stonehead Ln
Bolton, CT 06043

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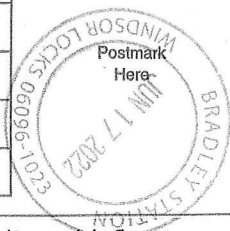
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Restricted Delivery Fee (Endorsement Required)	
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Eagles Nest Holdings LLC
10 Quarry Road, Ste C
Bolton, CT 06043

PS Form 3800, August 2006

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7021 1970 0001 7499 9246

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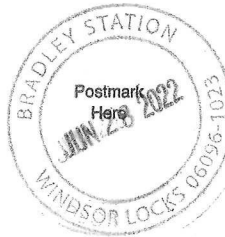
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Certified Mail Fee \$ **3.75**
 Extra Services & Fees (check box, add fee as appropriate)
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☐ Certified Mail Restricted Delivery \$ _____
☐ Adult Signature Required \$ _____
☐ Adult Signature Restricted Delivery \$ _____

Postage \$ **.53**

Total Postage and Fees \$ **4.28**



Sent To **WEI Ruling**
 Street and Apt. No., or PO Box No. **345 Burr Cap Rd**
 City, State, ZIP+4® **Tolland, CT 06084**

PS Form 3800, April 2015 PSN 7530-02-000-9047

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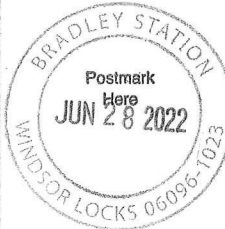
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☐ Adult Signature Restricted Delivery \$ _____

Postage \$ **.53**

Total Postage and Fees \$ **4.28**



Sent To **Kenneth Verrastro**
 Street and Apt. No., or PO Box No. **13013 Michael Callin Alley**
 City, State, ZIP+4® **Orlando, FL 32828**

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions



**PDS ENGINEERING &
CONSTRUCTION, INC**

July 13, 2022

Town of Bolton
222 Bolton Center Road
Bolton, CT 06043

Attention: Patrice L. Carson, AICP, Consulting Director of Community Development

Reference: **Howard Road Realty, LLC / Able Coil & Electronics, Inc., 837 Boston Turnpike**
Proposed 15,000 Sq. Ft. Light Manufacturing Pre-Engineered Metal Building

Subject: **Response to Special Permit #PL-22-4 Site Plan Review Comments**

Dear Patrice:

PDS Engineering & Construction, Inc. has received the staff review comments of June 24 & July 12, has added the requested information, and is providing the responses below for each, which we trust will be satisfactory:

A. ADDITIONAL INFORMATION NEEDED BY THE PZC

- 1. Warranty Deed** – See attached Schedule A's for: "Portion of Lot 2 To Be Combined With 837 Boston Turnpike", "Portion of Lot 1 To Be Combined With 837 Boston Turnpike", and "Revised Lot 1". These are being uploaded online into ViewPoint in the #PL-22-5 Zone Change application.
- 2. Site Plan Checklist** – See attached completed "Checklist for Site Plan Review".
- 3. Stormwater Management Report** – See attached Stormwater Management Report with drainage calculations and Water Quality Volume capacity. Refer to Drawings C-1 Proposed Site Plan, C-2 Site Details, and ES-1 Erosion & Sedimentation Control Plan for grading and drainage design, notes and details.
- 4. Landscaping Plans & Details (N/A)** – The existing natural and built landscaping on this site is quite attractive and will remain as-is. No new landscaping is planned because the new 1-story light manufacturing building will hardly be visible from the street or abutting lots. It shall be located behind and connected to the existing light manufacturing building. It will be built into a slope, with existing woods behind and to the sides. New lawn shall be established around the new building up to the woods and/or parking lot in all areas disturbed from construction. Refer to Drawing ES-1 for lawn restoration information.
- 5. Lighting Details** – Refer to Drawing SL-1 Site Lighting Plan, which includes catalog cuts of recommended light fixtures and a photometric map of the site. This plan is being uploaded online into ViewPoint.
- 6. Approval from BLRWPCA for Sewer Use / EDU Adjustment** – BLRWPCA approval to connect and discharge into the existing lateral will be applied for and granted *after the Special Permit is obtained*. The proposed design is based on 25 employees occupying the new building. An Equivalent Dwelling Unit, or EDU, is a unit of sewage flow equal to 200 GPD. Per the BLRWPCA Sewer Benefit Assessment Policy, an Industrial Plant classification is assigned 1.0 EDU for the first 10 employees or less, plus 0.1 EDU for each additional employee (Total 2.5 EDUs). Per CTDPH Technical Standards, the design flow of a manufacturing building is 25 gallons per day per person, or 625 GPD (Total 3.125 EDUs). For commercial properties, a revised EDU value may be assigned based on water meter data, current sewage assessment, or other pertinent information presented by the Owner to the BLRWPCA.

7. Copy of Referral to CTDOT for Work Proposed Within the CTDOT R.O.W. (N/A) – There is no work proposed in the CTDOT Right-Of-Way (State Route 44) for this project. The existing 2-inch HDPE pipe service connection (lateral / stub) extends into the Owner's property (modified lot for 837 Boston Turnpike) for tie-in to the 1.5-inch force main from the new duplex grinder pump station. See BLRWPCA Sheet RD-206 for location of connection.

RESPONSE TO ADDITIONAL COMMENTS OF JULY 12, 2022:

1. Snow Removal – In the proposed development area, snow can be pushed into piles in designated areas in the parking lot or onto adjacent lawn areas as needed.

2. Lot Line Revisions and Zone Change – Will be executed and filed separately prior to the execution of the final Special Use Permit plans. Understood.

3. Landscaping – No new landscaping, other than lawn restoration, is planned at this time. The existing large, wooded areas on the property provide natural landscaping behind the new building, which will hardly be visible from the street or abutting lots. The nearest abutting property line is over 200 feet away through dense woods. It sits behind the existing light manufacturing building, with only a small amount of side exposure. It is being built into a slope, so not all of it will be exposed. The existing lot around the existing buildings is very well landscaped. For safety, we are adding two site downlights, to match the existing fixtures, and wall packs will light the building entries.

4. Parking Spaces – All standard parking spaces are 9' x 18'. The existing parking spaces in question have not been a problem for the truck dock access to-date. It is anticipated that larger vehicles will not park there so as to block the truck lane

B. COMMENTS FROM THE FIRE MARSHAL AND FIRE CHIEF

3. Fire Department Access – There is reasonable Fire Department access to the side facing the rear parking lot. A striped fire lane has been identified along the edge of the existing parking lot adjacent to the detention basin.

4. To Mitigate Loss in the Event of a Fire – To access the other three sides of the building, trees will be cleared approximately 25' to 35' around the building for construction and egress purposes. Lawn will be established and maintained in this area, although the grade slopes upward to the east (towards the back of the building). Emergency apparatus can potentially access close to the new building from either Boston Turnpike or the existing parking lot if they drove on these grassed areas.

5. Identify and Differentiate Between Structures in the Event of an Emergency – All buildings on site are considered 837 Boston Turnpike. The office building in the front is obvious. The Owner has agreed to furnish and install exterior signs on the two manufacturing buildings. Building "A" will be the existing 20,000 SF manufacturing building behind the office building. Building "B" will be the new 15,000 SF manufacturing building in the back. A sign with arrows will be located at the entrance drive to direct emergency vehicles to the appropriate building.

C. COMMENTS FROM THE INLAND WETLANDS AGENT

1. No Wetland Permit Application Will Be Needed – The proposed building construction or lot line and zone changes are outside the wetlands upland review area and unlikely to impact more distant wetlands.

D. COMMENTS FROM THE EHHD SANITARIAN

1. None – The plan was reviewed. They are on central sewer and a public water supply. No comments.

E. COMMENTS FROM THE TOWN'S ENGINEER

- 1. Show Location of Rock Outcrops, Tree Lines, and Clearing Limits** – All shown on the revised drawings.
- 2. Outdoor Lighting Plan Should Be Prepared** – See Drawing SL-1 Site Lighting Plan which includes catalog cuts of recommended light fixtures and a photometric map of the site.
- 3. Landscaping Plan Should Be Prepared (N/A)** – It was agreed that the existing natural and built landscaping on this site is quite attractive and will remain as-is. No new landscaping is planned because the new 1-story light manufacturing building will hardly be visible from the street or abutting lots. It shall be located behind and connected to the existing light manufacturing building. It will be built into a slope, with existing woods behind and to the sides. New lawn shall be established around the new building up to the woods and/or parking lot in all areas disturbed from construction. Refer to Drawing ES-1 for lawn restoration information.
- 4. Show Limits of Disturbance and Contours Within the Limits** – All shown on the revised drawings.
- 5. Relocate the Existing 15" HDPE Drainage Pipe Beneath the Building** – It was agreed that this proposed storm overflow drain was satisfactorily relocated inside the building footprint away from any axial column loads. Minimum pipe cover is 12 inches below the building slab, so no point loading will damage the pipe. LINK-SEAL (or equal) will be utilized at the foundation wall penetrations. There is no access to the pipe from the inside of the building, and it is completely underground. This straight pipe is large enough to self-clean and will only be used during notable rain events as an overflow pipe or when ice or snow prevents water flow to the existing storm drainage system. It is insurance that no flooding or ponding will occur on the north side of the new connector, where substantial overland flow occurs and is collected by the existing yard drains.
- 6. Identify Abutting Property Owners on Plans** – The revised Zone Change Plans, Site Plan, and E&S Plan now show the Abutters.
- 7. Drainage Computations** - See attached Stormwater Management Report with drainage calculations and Water Quality Volume and Flow. Refer to Drawings C-1 Proposed Site Plan, C-2 Site Details, and ES-1 Erosion & Sedimentation Control Plan for grading and drainage design, notes and details. With the added detention basin, stormwater peak discharge following development will not exceed the runoff peak discharge prior to development.

RESPONSE TO ADDITIONAL COMMENTS OF JULY 12, 2022:

- 1. Rainfall Intensities and Detention Basin Size** – See revised Stormwater Management Report dated July 13, 2022 for corrections. The rainfall intensities used are for 100-year storm 24-hour duration. Water Quality Volume, Water Quality Flow, Groundwater Recharge, and detention basin sizing have been revised accordingly. The calculated Time of Concentration T_c is 2.39 minutes, but 10 minutes was used to determine unit peak discharge (TR-55). The detention basin size increased from 3,091 CF capacity to 8,460 CF capacity, plus room for 1 ft. of freeboard.
- 2. Pre and Post Development Flow Calculations** – The pre and post development flow calculations now include the entire area for proposed development, which includes the proposed building roof, the new parking lot, and adjacent lawn area.
- 3. Proposed Grading Behind Building** – Proposed grading should be shown around the east side of the proposed building to demonstrate that runoff will be properly conveyed away from the building. A grassed swale was added behind the building (east side) to promote drainage away from the building.
- 4. 15" HDPE Pipe Under Building** – Rather than sleeving the 15" HDPE, it was agreed to provide belled and gasketed spigot HDPE N-12 pipe. This pipe has minimum 1 foot of cover below the slab. The gaskets prevent water leaking in or out of the pipe. Additionally, the 6" and 8" Schedule 40 PVC roof drains connect to this HDPE pipe in two places with ADS Inserta Tee lateral connections.

I hope that this additional information and these responses are acceptable to you and your staff. PDS has been working very closely with the Owner and the Town of Bolton on the Zoning Change Application and Special Permit Application approval process. I really appreciate the guidance and feedback from your staff. I believe that we are well-prepared for the Public Hearing on July 13, 2022. If you should need additional information, please do not hesitate to contact me.

Sincerely,

PDS ENGINEERING & CONSTRUCTION, INC.



Randy J. Becker, P.E.

Senior Construction Manager

Cell (860) 978-6316

Email: randyb@pdsec.com

cc: Steven Rockefeller, President, Able Coil & Electronics, Inc.
Bill Jodice, President, PDS Engineering & Construction, Inc.
Jim Rupert, Bolton Fire Marshal
Bruce Dixon, Bolton Fire Chief
Barbara Kelly, Inland Wetlands Commission
Thad King, EHHD
Joe Dillon, P.E., Jacobson

Attachments

June 13, 2022

Planning and Zoning Meeting

(Zoom)

RE: expansion of 837 Boston Turnpike, Bolton

Good Evening- Thank you for giving us time to meet with you and share our concerns regarding the proposed expansion and changes being reviewed at tonight's meeting for 837 Boston Turnpike, Bolton.

I am Jim Bombria, resident of 60 Stonehedge Lane, Bolton for the past 30+ years. During this time my wife and I have raised our family in this quiet and rural community. Over the past several years we have noticed a direct effect to our peaceful surroundings. We are requesting the committee to take into consideration our neighborhood and residence as you make your decisions. Several years ago 837 Boston Turnpike expanded the said property - while the business has grown and adds to our town of Bolton and is aesthetically pleasing to Route 44, this expansion included taking down many trees and opening up space that exposed our property to more lights, and noises from Route 44 and reduced our privacy.

We are now addressing yet another expansion that raises our concerns with the same issues.

I have reviewed the proposed plan from PDS Engineering and Construction regarding 837 Boston Turnpike and have concerns regarding the increase of noises, lights, and expansion. These areas include:

- a. Increase in lights flooding into our property (both building, parking, and traffic from 44.)
- b. Increase in noise- (sirens, trucks, car traffic on 44, vehicles entering/exiting 837 Boston Turnpike)
- c. Multiple shifts- increase in traffic throughout the day/night, business hours of operation (lights, noise, exhaust)
- d. Warehouse vs manufacturing (will manufacturing increase waste, exhaust, etc)
- e. Could parking be incorporated closer to the business building as opposed to residential properties? (other side of building has a flatter grade-and is away from our homes)
- f. To protect our privacy and prevent the noise and lights from interfering with our properties we request that berms, barriers, fences, screenings, evergreens, and trees be strategically and aesthetically placed in all areas of the business property that expose homes on Stonehedge Lane to the lights, and noises of business and traffic. In addition, we request that sizes, dimensions, and materials be specified to assure that it meets the purpose of reducing lights, noises and serves as an effective barrier.
- g. Skyline impacted by height of building. (24 feet tall)
- h. Although the proposal indicates the allowed 100 feet clearance from the wetlands -please consider parking/pavement be placed closer to the proposed building to ensure better care of the wetlands being impacted
- i. Wild life being impacted

We are requesting that the Planning and Zoning Committee please table a decision at this time in order to review these concerns and consider recommendations in order to ensure a decision that is definitive with wording and actions that will protect our privacy, home, property value, and wildlife, while allowing growth to Bolton that maintains rural living with minimal impact to us and neighbors as homeowners.

Sincerely,

James C. Bombria
60 Stonehedge Lane
Bolton,CT 06043

.



PL-22-7

Planning Permit

Status: Active

Date Created: Jul 5, 2022

Applicant

Asim Etem
asimetem@gmail.com
60 Villa Louisa Rd
Bolton , CT 06043
8609850744

Location

60 VILLA LOUISA RD
BOLTON, CT 06043

Owner:

Asim Etem
60 60 VILLA LOUISA RD Bolton, Connecticut 06043-7540

Permit Info

Permit For

Special Permit Application

Building Type

Business

Development Title

--

Occupancy Type

Commercial

Project Cost

600,000

Project Description

bed & breakfast

Is this a modification of a previously approved application?

No, this is a new application.

Comments

--

Additional Applicant Info

Applicant Type

Owner

Application Contact Name

Asim Etem

Additional Project Info

Date of Receipt

--

Hearing Not Required

☐

Legal Notice Date 1

Legal Notice Date 2

--	--
Hearings Commencement Deadline	Hearings Completion Deadline
--	--
Decision Deadline	Extended
--	<input type="checkbox"/>
Existing Gross Sqft	Proposed Gross Sqft
--	4,000
Existing Parking Spaces	Proposed Parking Spaces
--	6
Total Acreage / Sqft	Linear Feet of Frontage
--	--
Distance to Town Line	
--	

Internal Use	
Conditions	
--	
Petition Received?	
--	
Date of Newspaper Publication for Public Hearing	
--	
Date of Newspaper Publication of Planning and Zoning Commission Action	
--	
Summary of Planning and Zoning Commission Action	
--	
Bond Required?	Legal/Technical Review NOT Required
--	<input type="checkbox"/>
Date of Planning and Zoning Commission Action	
--	
Date Application Received by Inland/Wetlands Commission (if applicable)	
--	
Date in Inland/Wetlands Commission Action (if applicable)	
--	

Construction Progress	
Construction Progress	Time Spent (hrs)
0	--

Setbacks	
Front Required	Front Provided
--	--
Back Required	Back Provided
--	--
Left Required	Left Provided
--	--
Right Required	Right Provided
--	--
Open Space Required	Open Space Provided
--	--
Lot Coverage Required	Lot Coverage Provided
--	--

Engineer Information

Company Name	Engineer Name
Barton & Loguidice	--
Address	City
--	--
State	Zip
--	--
Phone	Registration #
--	--
Insurance Expiration	AOR
--	--
Email	
--	

Architect Information

Company Name	Architect Name
Simona Tudor	Simona Tudor
Registration #	License Expiration
--	--
Address	City
--	--
State	Zip
Connecticut	--

Phone	Email
--	--
AOR	
--	

Attorney Info

Name	Address
Bob Martino	--
City	State
HArtford	--
Zip	Phone
--	--
Email	
--	

Zoning Site Plan and Special Permit Checklist

All draft deeds for any roads, road widenings and easements for drainage, conservation, driveways, utilities

--

Evidence of request for approval by the Health District and/or Sewer Authority for review, as appropriate

--

Evidence of submission of application to the Inland Wetlands Commission if it is within that Commission’s jurisdiction

--

Evidence of submission of a request for review and approval by the Fire Marshal and Fire Chief of the water supply for fire protection

--

Copies of any required applications to other local, state or federal regulatory approvals

--

Written evidence of applicant’s legal interest in the subject property (deed, lease option to purchase, bond for deed, etc.)

--

List of mailing address of all current property owners within 500 feet of the subject property, from the Town Assessor records (for special permit only)

Included

List of all hazardous or potentially hazardous materials which will be present on the property with a full description of procedures that will be used to assure safety with the material safety data sheets

--

Digital copy of plans in DXF or DGN format if available

Included

Paper and digital copies of all reports including hydrology, hydraulic and drainage computations and

--

14 sets of complete stamped and signed site plans measuring 24” x 36

--

A-2 boundary survey of the subject property showing all existing and proposed boundary lines and markers, easements, adjoining property lines and the names of all current abutting property owners

Included

Names of abutting lot owners

USDA Soils boundaries and types

Included

--

Plan title block in the extreme lower right corner (not sideways) to include the name of the town of Bolton

--

All plan sheets numbered with the format “sheet x of y”

--

Clear legible plans with all lines, symbols and features readily identifiable

Included

North arrow on each plan including the reference meridian

--

Graphic bar scale on each plan sheet, not smaller than 1”= 40’ unless otherwise approved by the Commission

--

Overall plan of site at a smaller scale, with sheet index, if the site does not fit on one sheet at a scale of 1”=40’

--

Key map at a scale of 1”= 500’ showing the relation of the site to abutting properties and streets, shown on plan and zoning district boundaries within 500’ of site

--

Original and revision plan dates and revision explanations shown on the affected plan sheets

--

Existing and proposed grading with two foot contours to T-2 standards, for all ground surfaces, shown on plan

--

Existing and proposed structures and features, their uses and those to be removed, shown on the plan

--

HVAC equipment located outside the building(s)

--

Existing and proposed driveway entrances to street, parking, loading areas, fire lanes, sidewalks and construction detail drawings, shown on plan

--

Sight distances from property entrances along public roads shown on plan and on profile if grading is needed

--

Soil test locations and soil test results shown on plan

--

Existing and proposed sewage disposal systems and design information, shown on plan

--

Outside Storage Areas\tField

--

Underground / overhead utilities, existing and proposed

--

Existing and proposed water supply shown on plan

--

Existing wells and sewage disposal systems on other properties that could conflict with proposed site improvements, shown on plan

--

Existing and proposed footing drains, curtain drains and dry wells, shown on plan

--

Existing and proposed drainage systems, any affected floodway or floodplain and construction detail drawings, shown on plan, including base flood elevation and floor elevation data.

--

Existing and proposed bridges and culverts on or adjacent to the site, shown on plan

--

Existing and proposed signs with dimensions and construction detail drawings, shown on plan

--

Existing and proposed fences and walls with dimensions and construction detail drawings, shown on plan

--

Zoning district boundaries affecting the site, shown on plan

--

Table shown on plan of zoning dimensions required and provided for lot area, street frontage, lot width, yard setbacks, impervious area, building coverage and the height and floor area of each building

--

Table on plan of parking / loading spaces required / provided

--

Fire lanes

--

New Sidewalks and other pedestrian waysField

--

Off-site traffic improvements

--

Limits of wetlands as delineated by a certified soil scientist with the soil scientist’s signed certification, shown on plan or a certification signed by a soil scientist that no wetlands are within 100 feet

--

Natural features including 100 year flood plain areas, ponds, vernal pools, aquifers, slopes steeper than 25% and potential areas of endangered species, shown on plan

--

Landscaping plan including the locations, numbers, installed sizes, anticipated mature sizes, species and common names of proposed plants plus cost estimate based on published Connecticut DOT unit prices

--	
Existing trees of 6” caliper or greater	Significant archaeological sites
--	--
Lighting plan including the location, size, height, light intensity coverage areas and manufacturer’s product descriptions for each light type	
--	
Erosion and Sedimentation Control Plan, with narrative and construction detail drawings, in accordance with the latest Connecticut Guidelines for Soil Erosion and Sediment Control	
--	
Best management practices to remove contaminants, including sediments and oils, from runoff water, shown on plan, in construct detail drawings, and explained in a report by a qualified professional	
--	
Architectural elevation drawings of proposed buildings	
--	
Architectural floor plans of existing and proposed buildings	
--	
Perspective color drawings or digital views of the site as seen from adjacent roads and from abutting property lines showing the proposed conditions including buildings, landscaping and appurtenant features	
--	
Traffic Impact Report for applicable sites as described in Zoning Regulations Section 16A.2.k.	
--	
Thorough, well organized drainage design report for before and after development conditions, that conforms to the latest Conn. Dept. of Transportation and Conn. Dept. of Environmental Protection guidelines and requirements with appropriate calculations, maps, graphics and narrative descriptions of hydrology, hydraulics, assumptions, erosion controls, drainage paths and systems for the 1, 2, 10, 50 and 100 year storm events	
--	
Thorough, well organized drainage design report for before and after development conditions, that conforms to the latest Conn. Dept. of Transportation and Conn. Dept. of Environmental Protection guidelines and requirements with appropriate calculations, maps, graphics and narrative descriptions of hydrology, hydraulics, assumptions, erosion controls, drainage paths and systems for the 1, 2, 10, 50 and 100 year storm events	
--	
Statement in drainage report that the after development flows for all storm events do not exceed the before development flows	
--	
Sanitary Waste Disposal Plan (if community sewerage system)	
--	
Evaluation of the impact of proposed development upon existing and potential public surface and ground drinking water supplies, pursuant to CGS, Section 8-2	
--	
Certified copy of Certificate of Public Convenience and Necessity in connection with a “water company”, in accordance with CGS, Section 8-25a	
--	
Existing and proposed Covenants or Restrictions	
--	

--

Engineer's itemized cost estimate for public improvements based on published Connecticut DOT unit prices as basis for the establishment of a performance bond.

--

Engineer's itemized cost estimate in connection with any restoration guarantee required pursuant to Section 12

--

Application Submission and Certification

I hereby certify that I am the owner of the record of the named property or that the proposed work is authorized by the owner of record and I have been authorized to make this application as agent, and we agree to conform to all applicable laws, regulations, and ordinances. All information contained within is true and accurate to the best of my knowledge.





Electronic Signature

Asim Etem
07/05/2022

Applicant Name

Asim Etem

Attachments










-  Home Plan.pdf
Uploaded by Asim Etem on Jul 5, 2022 at 2:40 pm
-  Site_Plan_Tue_Jul_5_2022_14-40-47.pdf
Uploaded by Danielle Palazzini on Jul 5, 2022 at 4:03 pm
-  list of abutters.500 ft.pdf
Uploaded by Danielle Palazzini on Jul 5, 2022 at 4:10 pm
-  Applicant Owners Application Signature.pdf
Uploaded by Danielle Palazzini on Jul 5, 2022 at 4:22 pm

History

Date	Activity
Jul 5, 2022 at 2:18 pm	Asim Etem started a draft of Record PL-22-7
Jul 5, 2022 at 2:19 pm	Asim Etem altered Record PL-22-7, changed ownerEmail from "" to "asimetem@gmail.com"
Jul 5, 2022 at 2:19 pm	Asim Etem altered Record PL-22-7, changed ownerName from "" to "Asim Etem"
Jul 5, 2022 at 2:19 pm	Asim Etem altered Record PL-22-7, changed ownerPhoneNo from "" to "8609850744"
Jul 5, 2022 at 2:19 pm	Asim Etem altered Record PL-22-7, changed ownerPostalCode from "06043" to "06043-7540"
Jul 5, 2022 at 2:19 pm	Asim Etem altered Record PL-22-7, changed ownerState from "CT" to "Connecticut"
Jul 5, 2022 at 2:19 pm	Asim Etem altered Record PL-22-7, changed ownerStreetNo from "" to "60 "
Jul 5, 2022 at 2:41 pm	Asim Etem submitted Record PL-22-7
Jul 5, 2022 at 2:42 pm	completed payment step Permit Fee on Record PL-22-7
Jul 5, 2022 at 2:42 pm	approval step Application Review was assigned to Danielle Palazzini on Record PL-22-7
Jul 5, 2022 at 4:03 pm	Danielle Palazzini added attachment Site_Plan_Tue_Jul_5_2022_14-40-47.pdf to Record PL-22-7
Jul 5, 2022 at 4:03 pm	Danielle Palazzini removed attachment Hearing Files from Record PL-22-7
Jul 5, 2022 at 4:10 pm	Danielle Palazzini added attachment list of abutters.500 ft.pdf to Record PL-22-7
Jul 5, 2022 at 4:22 pm	Danielle Palazzini added attachment Applicant Owners Application Signature.pdf to Record PL-22-7

Date	Activity
Jul 5, 2022 at 4:24 pm	Danielle Palazzini changed List of mailing address of all current property owners within 500 feet of the subject property, f from "" to "Included" on Record PL-22-7
Jul 5, 2022 at 4:24 pm	Danielle Palazzini changed Digital copy of plans in DXF or DGN format if available from "" to "Included" on Record PL-22-7
Jul 5, 2022 at 4:24 pm	Danielle Palazzini changed A-2 boundary survey of the subject property showing all existing and proposed boundary lines and from "" to "Included" on Record PL-22-7
Jul 5, 2022 at 4:25 pm	Danielle Palazzini changed Names of abutting lot owners from "" to "Included" on Record PL-22-7
Jul 5, 2022 at 4:25 pm	Danielle Palazzini changed Clear legible plans with all lines, symbols and features readily identifiable from "" to "Included" on Record PL-22-7

Timeline

Label		Status	Activated	Completed	Assignee	Due Date
	Permit Fee	Paid	Jul 5, 2022 at 2:41 pm	Jul 5, 2022 at 2:42 pm	-	-
	Application Review	Active	Jul 5, 2022 at 2:42 pm	-	Danielle Palazzini	-
	Legal/Technical Review	Inactive	-	-	-	-
	Engineering Approval	Inactive	-	-	-	-
	Fire Marshal Approval	Inactive	-	-	-	-
	Planning Approval	Inactive	-	-	-	-
	Application Approval	Inactive	-	-	-	-
	Bond Received	Inactive	-	-	-	-
	Legal/Technical Review Release	Inactive	-	-	-	-

13. Project Engineer: _____
Address _____ Zip _____
Phone # _____ Fax # _____ E-mail _____

14. Project Architect: _____
Address _____ Zip _____
Phone # _____ Fax # _____ E-mail _____

15. Other Experts Retained by Applicant: _____

16. Briefly describe the proposed use of the subject property. Provide greater detail in Project Narrative.

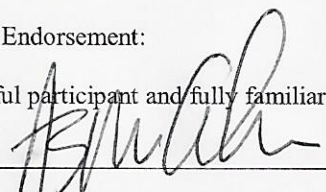
17. Square footage of new / expanded space: _____ # of new parking spaces _____

18. List the Section(s) of the Zoning Regulations under which application is made: _____

19. Provide all the applicable items for a complete application including a completed Checklist for Site Plan Review and Special Permit Applications. A completed checklist must be provided to comprise a complete application.

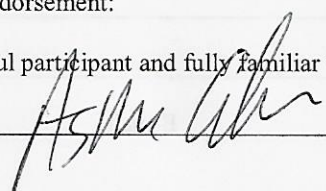
20. Applicant's Endorsement:

I am a willful participant and fully familiar with the contents of this application.

Signature  Date 7-5-2022

21. Owner's Endorsement:

I am a willful participant and fully familiar with the contents of this application.

Signature  Date 7-5-2022

NOTE: If there are any material changes to this application, the Applicant shall immediately notify the Town Staff in writing.

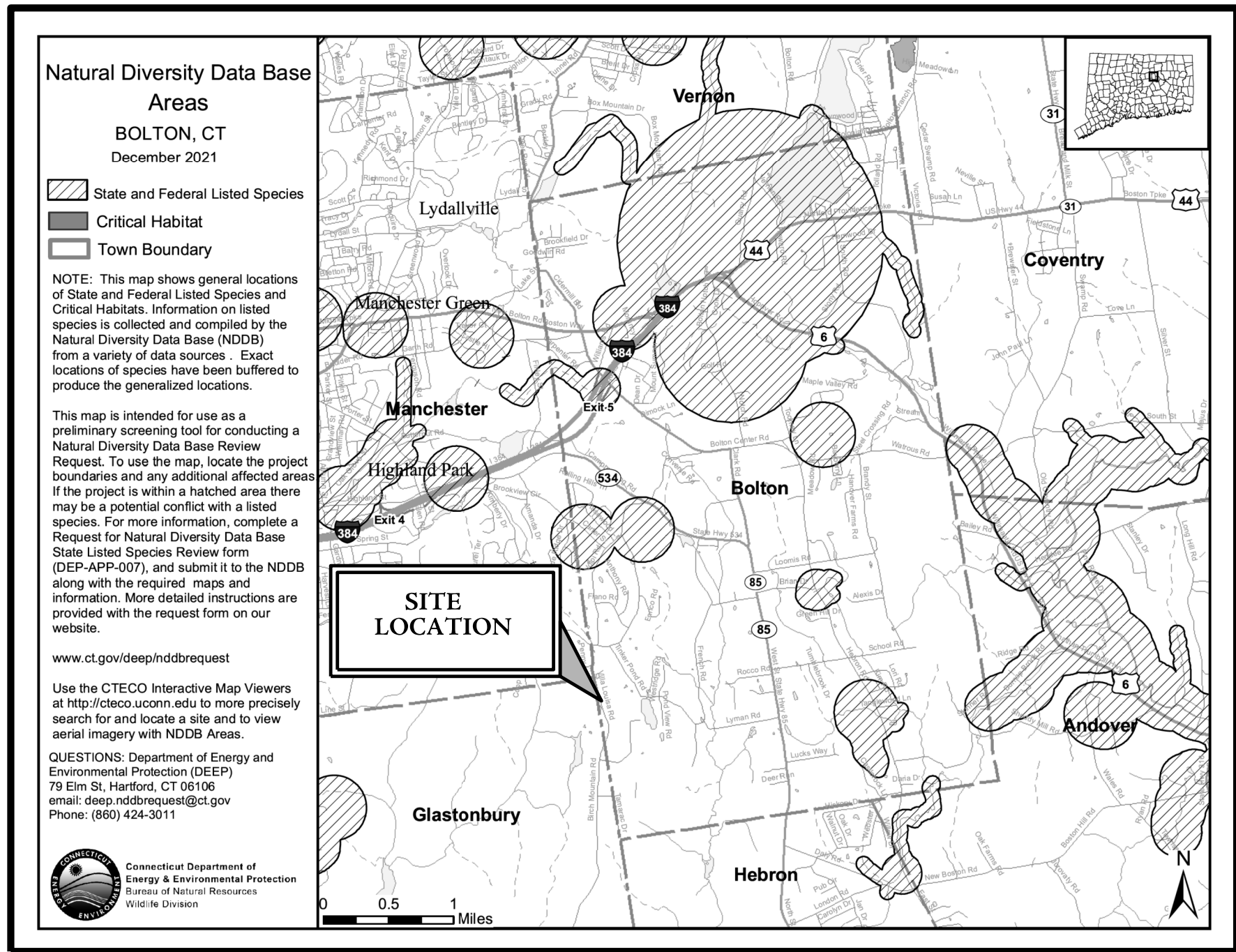
Applicants may be subject to Supplemental Review fees to defray the cost of Professional Review Services such as engineering or legal reviews.

SITE DEVELOPMENT PLAN

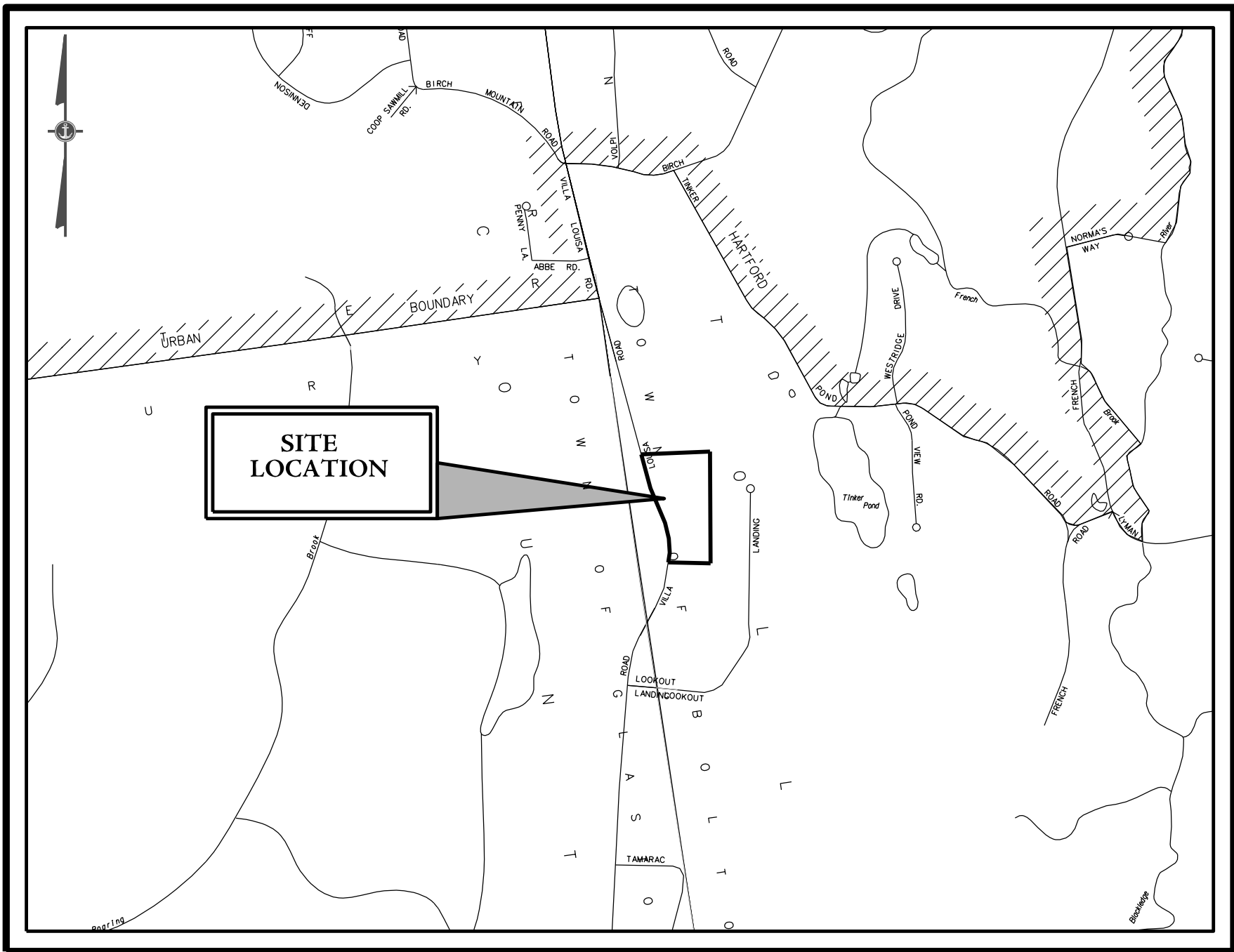
PREPARED FOR:

60 VILLA LOUISA ROAD, LLC
60 VILLA LOUISA ROAD - BOLTON, CT

DATE: JANUARY 31, 2022
REVISIONS:



NATURAL DIVERSITY DATA BASE AREAS
BOLTON
NOT TO SCALE



LOCATION MAP
NOT TO SCALE

APPLICANT / OWNER:

60 VILLA LOUISA ROAD, LLC
60 VILLA LOUISA ROAD
BOLTON, CT 06043

PREPARED BY:

Barton & Loguidice

41 Sequin Drive
Glastonbury, CT 06033
Phone: (860) 633-8770
Fax: (860) 633-5971
www.bartloguidice.com

Civil Engineering • Environmental Consulting • Land Surveying • Construction Management

LIST OF SHEETS

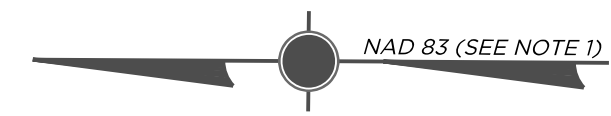
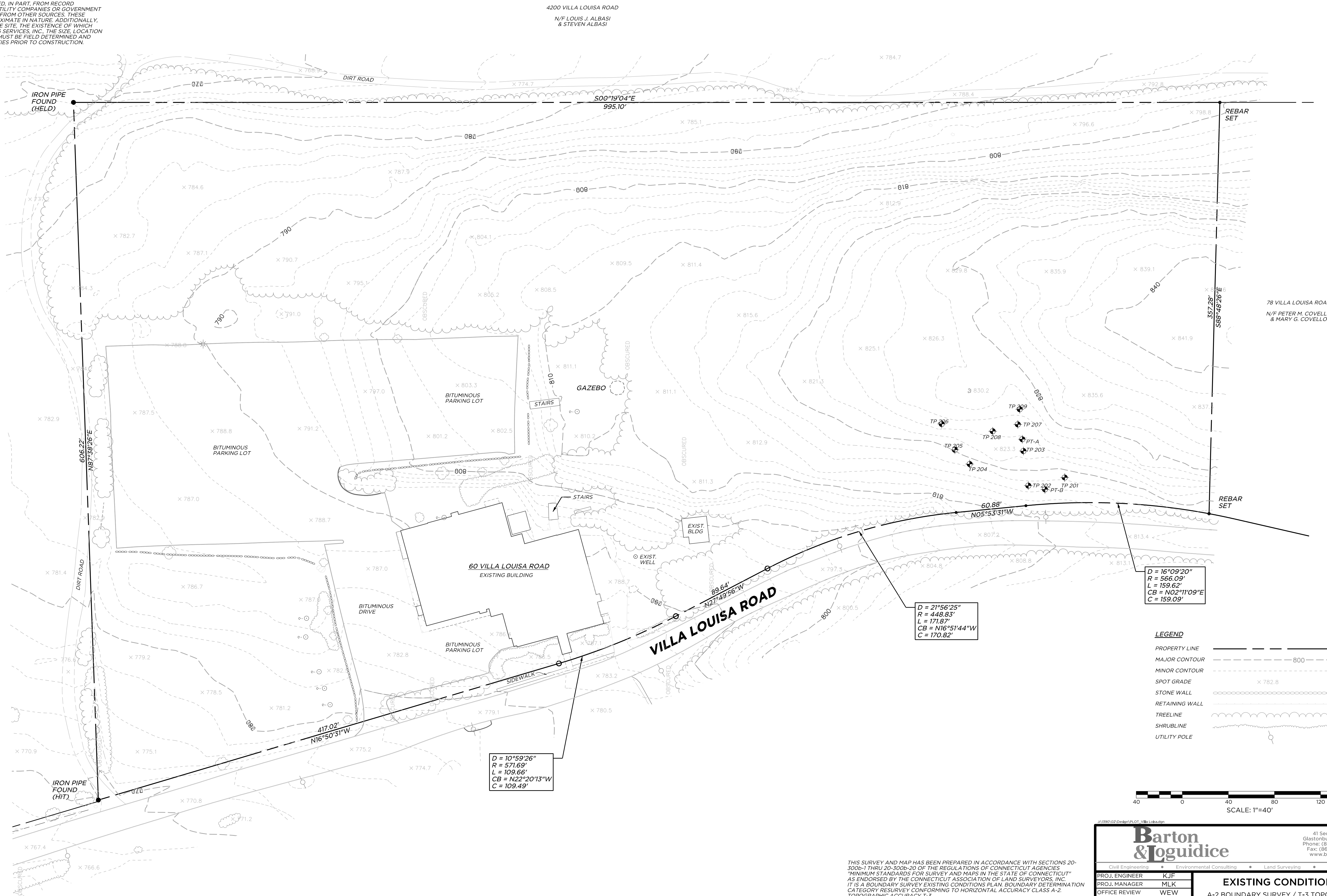
EXISTING CONDITIONS PLAN	1
OVERALL SITE LAYOUT	2
SITE DESIGN & GRADING PLAN	3
CONSTRUCTION DETAILS	4

NOTES

- 1) BEARINGS, COORDINATES AND ELEVATIONS SHOWN ARE BASED UPON HORIZONTAL DATUM NAD 83 AND VERTICAL DATUM NAVD 1988 OBTAINED VIA RTK GPS THROUGH THE SUPERIOR VRS NETWORK.
- 2) FIELD SURVEY WAS CONDUCTED BY ANCHOR ENGINEERING SERVICES, INC. IN MAY 2018.
- 3) TOPOGRAPHY SHOWN HEREON IS BASED UPON AERIAL MAPPING PROVIDED BY EASTERN TOPOGRAPHICS, COMPILATION DATE: JUNE 4, 2018. GROUND CONTROL WAS ESTABLISHED BY ANCHOR ENGINEERING SERVICES, INC.
- 4) UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENT AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO ANCHOR ENGINEERING SERVICES, INC., THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG: 1-(800) 922-4455.

MAP REFERENCES

- 1) PROPERTY OF MARY FACCHETTI, VILLA LOUISA ROAD, BOLTON, CONNECTICUT. SCALE: 1"=50'. DATE: APRIL 1968. BY: DOUGLAS PRIOR L.S.#6095.
- 2) PROPOSED ZONE CHANGE MAPPING, GENERAL LOCATION MAP, PREPARED FOR MIKE COVELLO, PROPERTY LOCATION NO. 78 VILLA LOUISA ROAD, BOLTON, CONNECTICUT. SCALE: 1"=40'. DATE: MARCH 13, 2002. BY: JOEL M. FULLER, L.S.#1497.



LOT AREA
446,493 SQ. FT.
10.25 ACRES

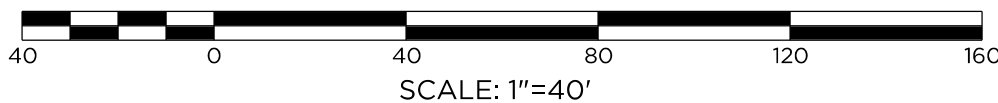
$D = 16^{\circ}09'20''$
 $R = 566.09'$
 $L = 159.62'$
 $CB = N02^{\circ}11'09''E$
 $C = 159.09'$

$D = 21^{\circ}56'25''$
 $R = 448.83'$
 $L = 171.87'$
 $CB = N16^{\circ}51'44''W$
 $C = 170.82'$

$D = 10^{\circ}59'26''$
 $R = 571.69'$
 $L = 109.66'$
 $CB = N22^{\circ}20'13''W$
 $C = 109.49'$

LEGEND

- PROPERTY LINE
- MAJOR CONTOUR
- MINOR CONTOUR
- SPOT GRADE
- STONE WALL
- RETAINING WALL
- TREELINE
- SHRUBLINE
- UTILITY POLE



THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT AGENCIES "MINIMUM STANDARDS FOR SURVEY AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A BOUNDARY SURVEY EXISTING CONDITIONS PLAN, BOUNDARY DETERMINATION CATEGORY RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2, TOPOGRAPHIC ACCURACY T-3.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

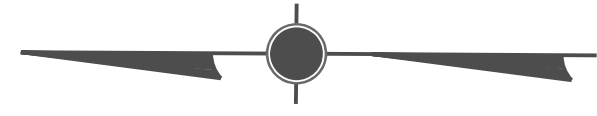
MAREK L. KEMENT, CT. P.E., L.S. #21694

ANY ORIGINAL OR DUPLICATE OF THIS MAP IS NOT VALID UNLESS IT BEARS THE EMBOSSED SEAL OF THE SURVEYOR WHOSE REGISTRATION APPEARS ABOVE. NO OTHER CERTIFICATION OR WARRANTY IS EXPRESSED OR IMPLIED.

Barton & Loguidice

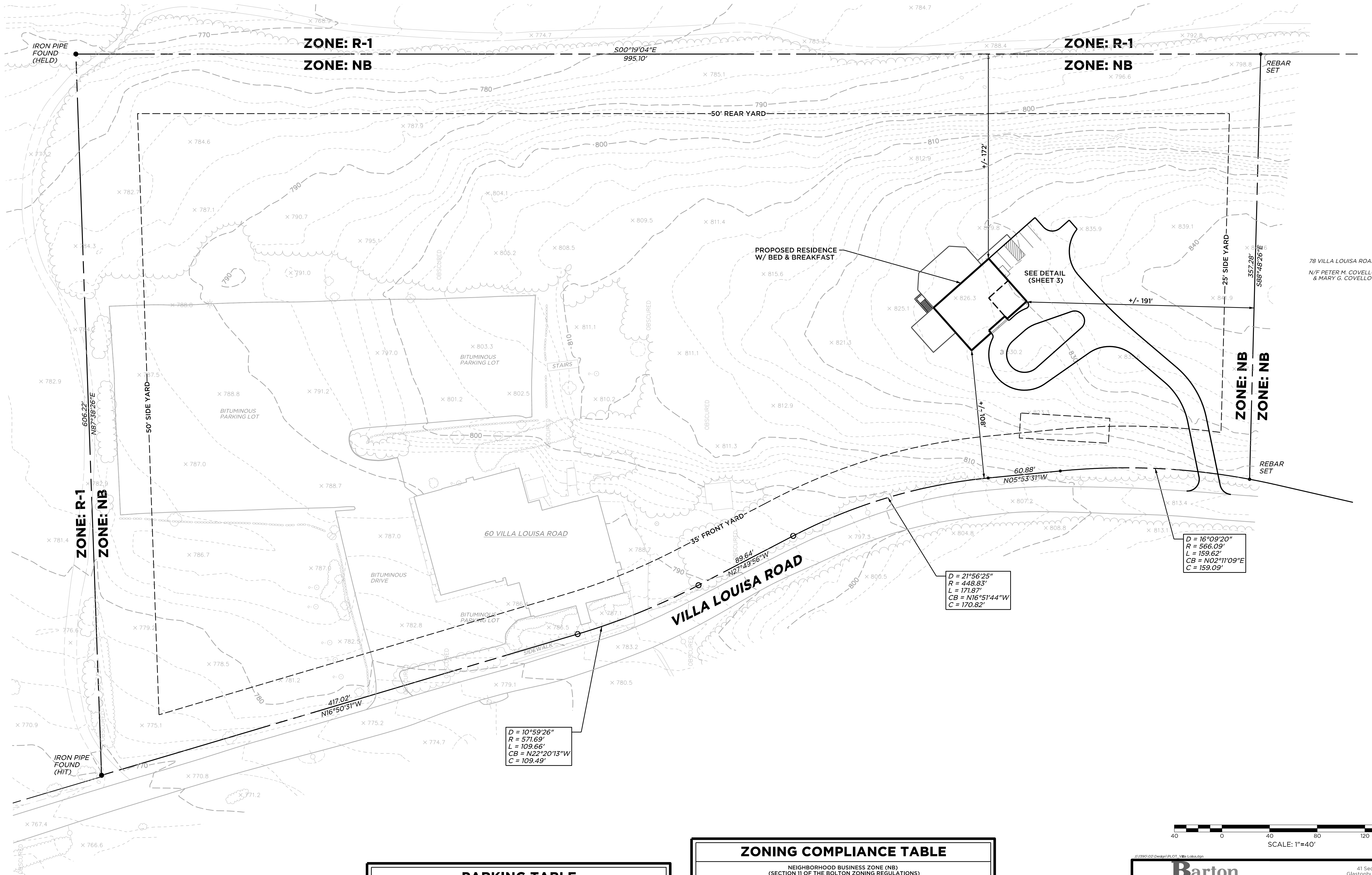
41 Sequin Drive
Glastonbury, CT 06033
Phone: (860) 633-8770
Fax: (860) 633-5971
www.bandict.com

PROJ. ENGINEER	KJF	EXISTING CONDITIONS PLAN			
PROJ. MANAGER	MLK	A-2 BOUNDARY SURVEY / T-3 TOPOGRAPHY SURVEY			
OFFICE REVIEW	WEW	PREPARED FOR			
REVISIONS		60 VILLA LOUISA ROAD LLC			
		60 VILLA LOUISA ROAD			
		BOLTON, CT			
		PROJECT	DATE		
		4390-002	1/31/22		
SCALE: 1"=40'		SHEET NO. 1		OF 4	



4200 VILLA LOUISA ROAD
N/F LOUIS J. ALBASI
& STEVEN ALBASI

4200 VILLA LOUISA ROAD
N/F LOUIS J. ALBASI
& STEVEN ALBASI



D = 10°59'26"
R = 571.69'
L = 109.66'
CB = N22°20'13"W
C = 109.49'

D = 21°56'25"
R = 448.83'
L = 171.87'
CB = N16°51'44"W
C = 170.82'

D = 16°09'20"
R = 566.09'
L = 159.62'
CB = N02°11'09"E
C = 159.09'

PARKING TABLE	
PARKING REQUIREMENTS PER TOWN OF BOLTON ZONING REGULATIONS SECTION 15.0	
SINGLE-FAMILY RESIDENCE (3 BEDROOMS)	BED & BREAKFAST (2 GUEST ROOMS)
2 SPACES PER DWELLING UNIT (D.U.)	1.2 SPACES PER GUEST ROOM OR SUITE (MAX.) 1 SPACE PER GUEST ROOM OR SUITE (MIN.)
PARKING REQUIRED:	
2 SPACES (X) 1 D.U. = 2	MAXIMUM = 1.2 (X) 2 = 2.4 MINIMUM = 1.0 (X) 2 = 2.0
TOTAL PARKING REQUIRED = 2 (+) 2 = 4 SPACES	
4 TOTAL PARKING SPACES PROVIDED (INCLUDING 1 HANDICAPPED SPACE)	

ZONING COMPLIANCE TABLE			
NEIGHBORHOOD BUSINESS ZONE (NB) (SECTION 11 OF THE BOLTON ZONING REGULATIONS)			
	REQUIREMENTS	EXISTING	PROPOSED
MIN. LOT AREA:	40,000 SF	446,493 SF	NO CHANGE
MIN. LOT FRONTAGE:	150 FT	1,008.69 FT	NO CHANGE
MIN. FRONT YARD:	35 FT	N/C**	+/- 108 FT
MIN. SIDE YARD:	25 & 50 FT*	+/- 270 FT	+/- 191 FT
MIN. REAR YARD:	25 & 50 FT*	+/- 347 FT	+/- 172 FT
MAX. BUILDING HEIGHT:	35 FT (OR 2.5 STORIES)	< 35 FT	35 FT
MIN. LOT COVERAGE:	20%	3.1%	3.7%
MAX. IMPERVIOUS COVERAGE:	50%	18.2%	22.3%**
*MINIMUM SIDE AND REAR YARDS SHALL BE 25 FT; EXCEPT BOTH YARDS SHALL BE 50 FT MINIMUM WHERE ABUTTING A RESIDENTIAL ZONE. **MAX. IMPERVIOUS COVERAGE INCLUDES ENTIRE LOT. ***EXISTING BANQUET HALL IS NON-CONFORMING (N/C) TO CURRENT FRONT YARD SETBACK.			



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Barton & Loguidice

Civil Engineering • Environmental Consulting • Land Surveying • Construction Management

PROJ. ENGINEER	MJP
PROJ. MANAGER	MLK
OFFICE REVIEW	MLK

REVISIONS	

SCALE:	1"=40'
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OVERALL SITE LAYOUT
PREPARED FOR

60 VILLA LOUISA ROAD LLC

PROJECT	DATE
4390-002	1/31/2022

SHEET NO.	2	OF	4
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GENERAL NOTES

- PARCEL DETAILS:
 - PARCEL ID: MAP/BLOCK/LOT 19-12
 - LOT AREA: 446,493 SQUARE FEET (OR) 10.25 ACRES.
- ZONING:
 - THE ZONING DISTRICT OF THIS PARCEL IS NEIGHBORHOOD BUSINESS (NB).
 - USE OF LAND: BANQUET FACILITY/RESIDENTIAL/BE& BREAKFAST
 - USE OF LAND AND STRUCTURES SHALL COMPLY WITH THE APPLICABLE STANDARDS OF THE TOWN'S ZONING REGULATIONS. SEE ZONING COMPLIANCE TABLE, FOR THE MINIMUM LOT AND BULK REQUIREMENTS ASSOCIATED WITH THIS ZONE.
- UTILITIES/CBYD:
 - UNDERGROUND UTILITIES, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENT AGENCIES, FROM PAROL'S TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO ANCHOR ENGINEERING SERVICES, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES.
 - THE CONTRACTOR SHALL CALL "CALL BEFORE YOU DIG" 1-800-922-4455 (OR) #811 AND HAVE ALL UTILITIES MARKED ON THE GROUND PRIOR TO CONSTRUCTION.
 - ALL UTILITY SERVICES ARE TO BE UNDERGROUND, UNLESS OTHERWISE SHOWN ON THIS PLAN. THE EXACT LOCATION AND SIZE OF ELECTRIC, TELEPHONE, CABLE TELEVISION, GAS, OR OTHER ARE TO BE DETERMINED BY THE RESPECTIVE UTILITY COMPANIES.
- REGULATIONS/PERMITTING:
 - THE CONTRACTOR AND/OR DEVELOPER SHALL CONFORM TO ALL REQUIREMENTS OF THE ZONING REGULATIONS, BUILDING CODE, AND OF ALL AGENCIES OF THE TOWN AND STATE OF CONNECTICUT.
 - ALL MATERIALS AND METHODS OF CONSTRUCTION WITHIN THE TOWN OR STATE RIGHT-OF-WAY SHALL CONFORM TO THE LATEST PUBLIC IMPROVEMENT STANDARDS.
 - THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED TOWN AND/OR STATE PERMITS PRIOR TO ANY CONSTRUCTION ACTIVITY.
- FOUNDATION/ARCHITECTURE:

SEE ARCHITECTURAL BUILDING PLANS FOR ACCURATE BUILDING DIMENSIONS AND DETAILS. PROPOSED BUILDING ELEVATIONS AND FOUNDATION LOCATION SUBJECT TO CHANGE AS FIELD CONDITIONS WARRANT. ALL DIMENSIONS AND BUILDING ELEVATIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.
- GRADING/ELEVATIONS:
 - PROPOSED CONTOURS ARE SHOWN IN AREAS OF PROPOSED CONSTRUCTION AND FINISH GRADING SHALL BE ACCOMPLISHED AS INDICATED BY THE PROPOSED CONTOURS.
 - ALL ELEVATIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER. DRAINAGE SWALES SHALL BE CONSTRUCTED AS INDICATED TO DIVERT SURFACE WATER RUNOFF AWAY FROM ANY STRUCTURE AND SEPTIC SYSTEM.
- SEDIMENT & EROSION CONTROL:

SEDIMENT AND EROSION CONTROL MEASURES AS DEPICTED ON THESE PLANS SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT COVER AND STABILIZATION ARE ESTABLISHED. ALL EROSION & CONTROL MEASURES SHALL CONFORM TO THE "2002 CONNECTICUT GUIDELINES FOR SOIL AND SEDIMENT CONTROL" AND IN ALL CASES BEST MANAGEMENT PRACTICES SHALL PREVAIL. ANY ADDITIONAL SEDIMENT & EROSION CONTROL MEASURES DEEMED NECESSARY BY TOWN STAFF OR THE DESIGN ENGINEER SHALL BE INSTALLED BY THE SITE CONTRACTOR. ALL EROSION CONTROLS ARE TO BE INSPECTED BEFORE, DURING, AND AFTER EVERY STORM EVENT AND REPAIRED OR REPLACED AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANING OF NEARBY STREETS, AS ORDERED BY THE TOWN OR STATE, OF ANY DEBRIS ASSOCIATED WITH THIS SITE'S CONSTRUCTION ACTIVITIES.
- WATER SUPPLY:
 - THE PROPOSED STRUCTURE IS TO BE CONNECTED TO A PRIVATE DOMESTIC WATER WELL. LOCATION AS SHOWN. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.
 - MINIMUM SEPARATING DISTANCE TO THE POTABLE WATER SUPPLY WELL OF 75 FEET FROM ANY PART OF ANY SUBSURFACE SEWAGE DISPOSAL SYSTEM (ON SITE OR OFF); AND 25 FEET FROM A FOUNDATION DRAIN SHALL BE MAINTAINED.
 - INSTALLATION OF THE PRIVATE DOMESTIC WATER WELL AND CONSTRUCTION MATERIALS USED SHALL COMPLY WITH THE LATEST REVISIONS OF THE CONNECTICUT PUBLIC HEALTH CODE.
- WASTEWATER DISPOSAL SYSTEM:
 - THE PROPOSED STRUCTURE IS TO BE CONNECTED TO AN ON-SITE SUBSURFACE SEWAGE DISPOSAL SYSTEM.
 - INSTALLATION OF AND MATERIALS USED FOR THE CONSTRUCTION OF THE SUBSURFACE DISPOSAL SYSTEM AND ITS COMPONENTS SHALL COMPLY WITH ALL RESPECTS WITH THE LATEST REVISION OF THE STATE OF CONNECTICUT PUBLIC HEALTH CODE. SEE SEPTIC SYSTEM NOTES FOR ADDITIONAL INFORMATION REGARDING DESIGN AND INSTALLATION.
- GUTTERS/ROOF DRAINS:

GUTTERS AND ROOF DRAINS SHALL BE TIED INTO THE TOWN STORM DRAINAGE SYSTEM WHERE FEASIBLE. WHERE REQUIRED, ROOF LEADERS ARE TO DISCHARGE TO SPLASH PADS AT GRADE AND BE DIRECTED AWAY FROM THE FOUNDATION.
- FOOTING PERIMETER DRAINS:

DUE TO SOIL CONDITIONS AND BASEMENT ELEVATIONS, A FOOTING PERIMETER DRAIN IS RECOMMENDED. THE FOOTING DRAIN SHALL BE CONSTRUCTED OF TIGHT PIPE AND INSTALLED NO LESS THAN 35 FT UPGRADIENT OR 50 FEET DOWN GRADIENT OF ANY SUBSURFACE DISPOSAL SYSTEM. THE FOOTING DRAIN SHALL DISCHARGE TO DAYLIGHT OR CONNECT TO THE TOWN'S STORM DRAINAGE SYSTEM WHENEVER POSSIBLE. DESIGN OR LOCATION DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER PRIOR TO INSTALLATION.
- RETAINING WALL:

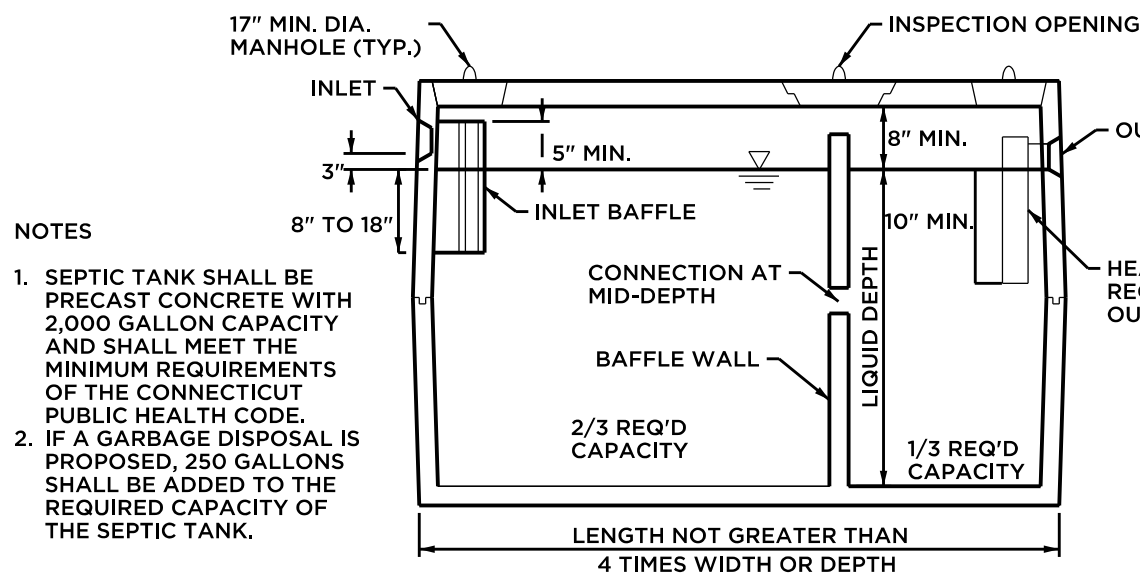
ANY RETAINING WALL OR DECORATIVE LANDSCAPING WALL EXCEEDING FOUR (4) FEET IN HEIGHT SHALL REQUIRE A BUILDING PERMIT. THE WALL DESIGN AND STRUCTURAL CALCULATIONS IN COMPLIANCE WITH THE REQUIREMENTS OF THE BUILDING CODE SHALL BE SUBMITTED FOR APPROVAL.
- DISTURBED AREAS/SEEDING:

ALL AREAS, EXCEPT SIDEWALKS AND DRIVEWAYS, DISTURBED DURING CONSTRUCTION MUST BE RESTORED WITH 4" MINIMUM OF TOPSOIL AND STABILIZED WITH VEGETATION AS SOON AS POSSIBLE AFTER THE FOUNDATION IS COMPLETED TO PREVENT EROSION. ALL AREAS ARE TO BE RAKED, SEEDED, AND FERTILIZED. LAWN AND ANY OTHER LANDSCAPING MUST BE PLANTED PRIOR TO A CERTIFICATE OF OCCUPANCY. RECOMMENDED SEEDING DATES ARE FROM MARCH 15 TO JUNE 15 AND FROM SEPTEMBER 15 TO OCTOBER 15.
- LOT CORNERS/PINNING:

WHEN A CERTIFICATE OF OCCUPANCY IS REQUESTED, ALL LOT (AND EASEMENT) CORNERS MUST BE FLAGGED FOR FIELD IDENTIFICATION. ANY LOT CORNER MISSING OR DAMAGED MUST BE RE-ESTABLISHED BY A LICENSED CONNECTICUT LAND SURVEYOR.
- RECORD DRAWINGS/AS-BUILT:

WHEN A CERTIFICATE OF OCCUPANCY IS REQUESTED, RECORD DRAWINGS OF THE ENTIRE SITE SHALL BE SUBMITTED TO THE TOWN UPON COMPLETION OF THE WORK AND SHALL BE IN THE FORM ACCEPTABLE TO THE TOWN. THE CONTRACTOR/DEVELOPER/OWNER SHALL BE RESPONSIBLE FOR PROCURING ALL INFORMATION NECESSARY TO GENERATE SAID DRAWINGS.

SEPTIC TANK CROSS SECTION



SEPTIC SYSTEM DESIGN

DESIGN PARAMETERS			
NUMBER OF BEDROOMS:	6	EFFECTIVE LEACHING AREA (ELA) REQ.:	742.5 SF
PERCOLATION RATE (MIN/INCH):	4 MIN./IN	GARBAGE DISPOSAL PROPOSED:	NO
SEPTIC TANK SIZE REQUIRED (MIN):	2,000 GAL.	LARGE CAPACITY TUB (>100 GAL):	NO
MINIMUM LEACHING SYSTEM SPREAD (MLSS)			
RESTRICTIVE LAYER: (TEST PIT #201)	39 INCHES	HYDRAULIC GRADIENT/SLOPE:	> 15%
HYDRAULIC FACTOR (HF):	16	MLSS (REQUIRED):	= (HF) x (FF) x (PF)
FLOW FACTOR (FF):	2.25		= (16) x (2.25) x (1.0)
PERCOLATION FACTOR (PF):	1.0		= 36 LINEAR FEET
LEACH FIELD DESIGN			
LEACHING SYSTEM USED:	MANTIS DW-58 (LOW-PRO)	CENTER-TO-CENTER SPACING:	14 LINEAR FEET
PRODUCT DIMENSIONS:	72"W x 60"L x 12"H	CONFIGURATION (AS SHOWN):	1 ROWS AT 65 LF
EFFECTIVE LEACHING RATIO:	11.6 SF/LF	NUMBER OF UNITS:	13 UNITS TOTAL
ELA (PROVIDED) = (1) x (65 LF) x (11.6 SF) =	754 SF	MLSS (PROVIDED) =	65 LINEAR FEET

SEPTIC SYSTEM NOTES

- GENERAL PROVISIONS:
 - INSTALLATION OF AND MATERIALS USED FOR THE CONSTRUCTION OF THE SUBSURFACE SEWAGE DISPOSAL SYSTEM (SSDS) AND ALL ITS COMPONENTS SHALL COMPLY WITH THE LATEST REVISION OF THE STATE OF CONNECTICUT PUBLIC HEALTH CODE, AS AMENDED.
 - PRIOR TO THE START OF CONSTRUCTION, THE SSDS IS TO BE STAKED BY A LICENSED LAND SURVEYOR AND A BENCHMARK MUST BE SET WITHIN 40 FEET OF THE SEPTIC SYSTEM LEACHING AREA.
 - A ONE HUNDRED PERCENT (100%) SEPTIC RESERVE AREA HAS BEEN PROVIDED, AS SHOWN.
 - IF THE CONTRACTOR FINDS CONDITIONS DIFFERENT THAN THOSE NOTED ON THE PLANS OR IF CONDITIONS ARE ADVERSE TO CONSTRUCTION, THEN THE CONTRACTOR MUST STOP WORK IMMEDIATELY AND NOTIFY THE DESIGN ENGINEER.
 - THE SEPTIC SYSTEM SHOULD NOT BE CONSTRUCTED DURING WET WEATHER CONDITIONS OR IF THE SUBSOIL IS SATURATED. CARE MUST BE TAKEN TO PROTECT LEACHING SYSTEM FROM ANY ACTIVITY THAT MAY RESULT IN SEDIMENTATION OR COMPACTION OF THE SOILS.
- SEWER PIPE:
 - THE SEWER PIPE FROM THE HOUSE TO THE SEPTIC TANK SHALL BE 4" DIAMETER PVC SCHEDULE 40 ASTM D 1785 PRESSURE WATER PIPE OR APPROVED EQUAL. THE MINIMUM SLOPE SHALL BE 1/4 INCH PER FOOT.
 - PIPING AFTER THE SEPTIC TANK TO THE DISTRIBUTION BOX (D-BOX) SHALL BE A 4" DIAMETER PVC SDR-35 ASTM 3034 PIPE OR APPROVED EQUAL.
 - ALL CHANGES OF PIPE DIRECTION SHALL BE MADE WITH PROPER FITTINGS. PIPE LEADING INTO AND OUT OF THE SEPTIC TANK AND D-BOXES SHALL BE PROPERLY SECURED INTO PLACE AFTER THE PIPE INSTALLATION IS COMPLETE. INSTALLED PIPING SHALL BE PROTECTED DURING CONSTRUCTION AND FINAL GRADING TO AVOID CRUSHING OR DISPLACING.
- SEPTIC TANK AND DISTRIBUTION BOXES:
 - THE SEPTIC TANK AND D-BOXES SHALL BE PRECAST CONCRETE OR APPROVED EQUAL AND SHALL BE STANDARD PRODUCTS OF A SUPPLIER REGULARLY ENGAGED IN THE MANUFACTURE OF SUCH UNITS.
 - THE SEPTIC TANK SHALL BE SET LEVEL ON A FIRM BED OF NATIVE SOIL OR SAND FILL AND ALL D-BOXES SHALL BE SET LEVEL IN A FULLY EXCAVATED TRENCH AFTER BACKFILLING WITH STONE.
 - SEPTIC TANK ACCESS PORTS LOCATED MORE THAN 12 INCHES (12") BELOW GRADE SHALL REQUIRE RISERS ON ALL ACCESS PORTS.
- LEACHING SYSTEM INSTALLATION:

THE AREA WHERE THE PROPOSED LEACHING SYSTEM IS TO BE INSTALLED SHALL BE PROPERLY PREPARED PRIOR TO PERFORMING ANY ACTUAL INSTALLATION OF THE SUBSURFACE DISPOSAL SYSTEM. THE AREA FOR THE PROPOSED LEACHING SYSTEM SHALL MEAN THE ENTIRE AREA WITHIN THE PERIMETER 15 FEET OUTSIDE THE ENDS AND SIDES OF THE PRIMARY LEACHING SYSTEM SHOWN.

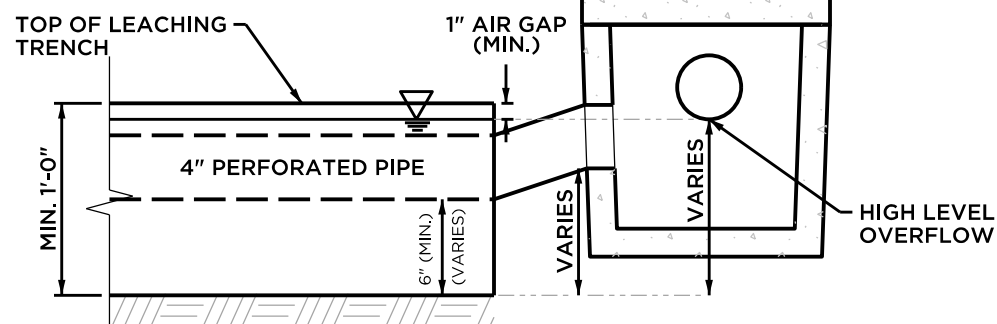
SELECT FILL (IF APPLICABLE):

 - WHERE PLAN INDICATES THAT FILLING SHALL OCCUR, ALL VEGETATION SHALL BE REMOVED AND TOPSOIL CAREFULLY STRIPPED AND STOCKPILED FOR LATER REPLACEMENT OVER THE FILL AREA.
 - THE AREA TO BE FILLED SHALL BE ROUGHENED BY HAND OR MACHINE, IN A DIRECTION PARALLEL TO THE PROPOSED LEACHING TRENCHES, TO ALLOW PROPER UNITING WITH THE PROPOSED FILL. AFTER PREPARATION, THIS AREA SHALL BE PROTECTED FROM TRAFFIC.
 - THE FILL MATERIAL SHALL CONFORM TO THE FILL SPECIFICATIONS OUTLINED IN SECTION VIII.A OF THE LATEST REVISION TO THE CONNECTICUT PUBLIC HEALTH CODE REGULATIONS AND TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS. ALL FILL SHALL BE ACCEPTABLE TO THE HEALTH DISTRICT.

SIEVE SIZE	PERCENT PASSING	
	(WET SIEVE)	(DRY SIEVE)
#4	100	100
#10	70 - 100	100
#40	10 - 50*	10 - 75
#100	0 - 20	0 - 5
#200	0 - 20	0 - 5
#200	0 - 5	0 - 2.5

*PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%

- THE FILL MATERIAL SHALL BE DUMPED ON THE UPHILL SIDE OF THE PROPOSED LEACHING AREA AND SPREAD TOWARD THE DOWNHILL SIDE WITH A BULLDOZER, TAKING CARE THAT MACHINERY RIDES ONLY ON NEW FILL.
 - THE FILL SHALL BE SPREAD OVER THE ENTIRE AREA IN 12 INCH (12") LIFTS AND COMPACTED BY HEAVY MACHINERY TO A POINT WHERE IT IS FIRM UPON COMPLETION OF THE SPREADING AND COMPACTING. THE ENTIRE FILLED AREA SHALL BE BACKLADDED AND SPECIAL CARE SHALL BE TAKEN TO ENSURE THAT THE ENTIRE FILL AREA, AND TOE OF SLOPE, IS EVENLY AND ADEQUATELY COMPACTED.
 - AFTER THE AREA FOR THE PROPOSED LEACHING SYSTEM HAS BEEN PROPERLY FILLED, THE LEACHING SYSTEM SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
- SPECIAL RECOMMENDATIONS:
 - LOW FLOW SANITARY FIXTURES AND FLOW RESTRICTIVE SHOWER HEADS ARE RECOMMENDED FOR INSTALLATION IN PROPOSED HOUSE.
 - GARBAGE GRINDERS ARE NOT RECOMMENDED FOR USE WITH SUBSURFACE DISPOSAL SYSTEMS. IF A GARBAGE DISPOSAL IS TO BE INSTALLED, THEN THE SIZE OF THE SEPTIC TANK SHALL BE INCREASED BY A MINIMUM OF 250 GALLONS.
 - IF A LARGE CAPACITY (100 GALLON OR GREATER) TUB IS INSTALLED THEN THE SIZE OF THE SEPTIC TANK SHALL BE INCREASED BY A MINIMUM OF 250 TO GALLONS. SEE THE CONNECTICUT PUBLIC HEALTH CODE FOR CAPACITY INCREASE REQUIREMENTS.
 - INSPECTION/AS-BUILT:
 - AFTER CONSTRUCTION AND PRIOR TO COVERING, THE SEPTIC SYSTEM INSTALLER SHALL NOTIFY THE HEALTH DISTRICT THAT THE SITE IS READY FOR INSPECTION. THE HEALTH DISTRICT SHALL INSPECT ALL COMPONENTS OF THE SEPTIC SYSTEM FOR COMPLIANCE WITH THE STATE OF CONNECTICUT PUBLIC HEALTH CODE AND APPROVED PLANS PRIOR TO COVERING.
 - A RECORD PLAN (AS-BUILT) OF THE SEWAGE DISPOSAL SYSTEM AND ITS COMPONENTS SHALL BE PREPARED BY THE INSTALLER AND BE SUBMITTED TO THE HEALTH DISTRICT.



D-BOX CONNECTION DETAIL

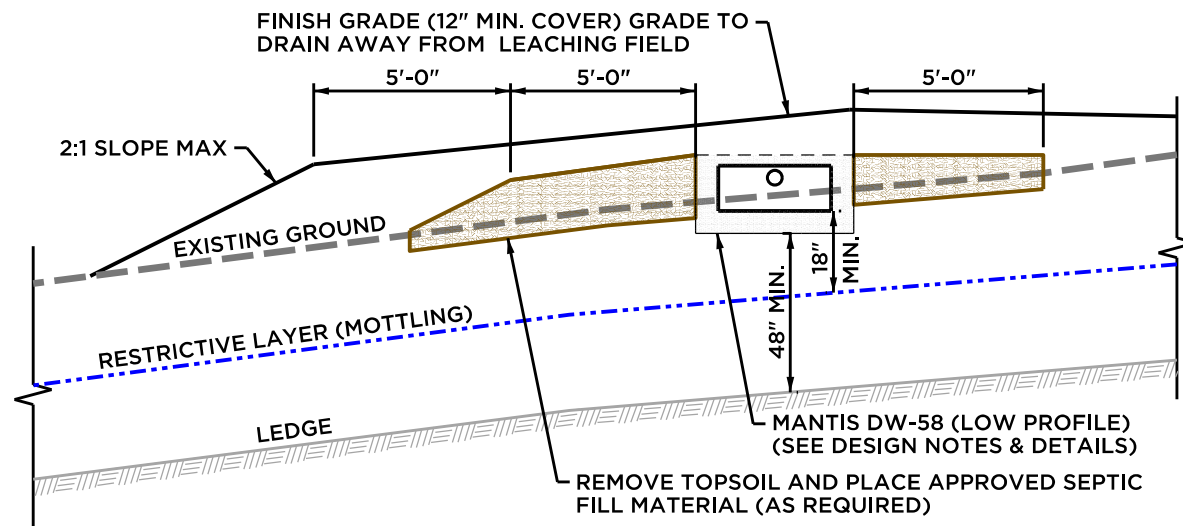
SOIL TEST OBSERVATION RESULTS

SOIL TESTING PERFORMED BY: WITNESSED BY HEALTH DISTRICT: EXCAVATION PERFORMED BY:		BARTON & LOGUIDICE, LLC (MAREK KEMENT, PE/LS) ON APRIL 30, 2018 EASTERN HIGHLANDS HEALTH DISTRICT (HOLLY HOOD, RS). KEMENT & SON CONSTRUCTION, INC.	
TEST PIT: TP-201		TEST PIT: TP-202	
DEPTH (INCHES)	SOIL DESCRIPTION	DEPTH (INCHES)	SOIL DESCRIPTION
0 - 5 5 - 26 26 - 39	TOPSOIL ORANGE BROWN RED BROWN SAND TILL	0 - 4 4 - 20 20 - 29	TOPSOIL ORANGE BROWN RED BROWN SAND TILL
GROUNDWATER OBSERVED AT: N/A SEEPAGE OBSERVED AT: N/A MOTTLING OBSERVED AT: N/A ROOTS OBSERVED AT: 26" LEDGE OBSERVED AT: 39" RESTRICTIVE LAYER AT: 39"		GROUNDWATER OBSERVED AT: N/A SEEPAGE OBSERVED AT: N/A MOTTLING OBSERVED AT: N/A ROOTS OBSERVED AT: 20" LEDGE OBSERVED AT: 29" RESTRICTIVE LAYER AT: 29"	
STANDPIPE INSTALLED: NO TOP OF PIPE ELEVATION: N/A		STANDPIPE INSTALLED: NO TOP OF PIPE ELEVATION: N/A	
TEST PIT: TP-204		TEST PIT: TP-205	
DEPTH (INCHES)	SOIL DESCRIPTION	DEPTH (INCHES)	SOIL DESCRIPTION
	UNSUITABLE SOIL		UNSUITABLE SOIL
GROUNDWATER OBSERVED AT: N/A SEEPAGE OBSERVED AT: N/A MOTTLING OBSERVED AT: N/A ROOTS OBSERVED AT: N/A LEDGE OBSERVED AT: 16" RESTRICTIVE LAYER AT: 16"		GROUNDWATER OBSERVED AT: N/A SEEPAGE OBSERVED AT: N/A MOTTLING OBSERVED AT: N/A ROOTS OBSERVED AT: N/A LEDGE OBSERVED AT: 12" RESTRICTIVE LAYER AT: 12"	
STANDPIPE INSTALLED: NO TOP OF PIPE ELEVATION: N/A		STANDPIPE INSTALLED: NO TOP OF PIPE ELEVATION: N/A	
TEST PIT: TP-207		TEST PIT: TP-208	
DEPTH (INCHES)	SOIL DESCRIPTION	DEPTH (INCHES)	SOIL DESCRIPTION
0 - 5 5 - 24 24 - 40	TOPSOIL ORANGE BROWN RED BROWN SAND TILL (FIRM)		UNSUITABLE SOIL
GROUNDWATER OBSERVED AT: N/A SEEPAGE OBSERVED AT: N/A MOTTLING OBSERVED AT: N/A ROOTS OBSERVED AT: 24" LEDGE OBSERVED AT: 40" RESTRICTIVE LAYER AT: 40"		GROUNDWATER OBSERVED AT: N/A SEEPAGE OBSERVED AT: N/A MOTTLING OBSERVED AT: N/A ROOTS OBSERVED AT: N/A LEDGE OBSERVED AT: 12" RESTRICTIVE LAYER AT: 12"	
STANDPIPE INSTALLED: NO TOP OF PIPE ELEVATION: N/A		STANDPIPE INSTALLED: NO TOP OF PIPE ELEVATION: N/A	
TEST PIT: TP-209		TEST PIT: TP-209	
DEPTH (INCHES)	SOIL DESCRIPTION	DEPTH (INCHES)	SOIL DESCRIPTION
0 - 2 2 - 6 6 - 18 18 - 28	LEAF LITTER TOPSOIL ORANGE BROWN SILTY VERY FINE SANDY LOAM LOAMY SAND TILL GRAY		
GROUNDWATER OBSERVED AT: N/A SEEPAGE OBSERVED AT: N/A MOTTLING OBSERVED AT: N/A ROOTS OBSERVED AT: 18" LEDGE OBSERVED AT: 28" RESTRICTIVE LAYER AT: 28"		GROUNDWATER OBSERVED AT: N/A SEEPAGE OBSERVED AT: N/A MOTTLING OBSERVED AT: N/A ROOTS OBSERVED AT: 18" LEDGE OBSERVED AT: 28" RESTRICTIVE LAYER AT: 28"	
STANDPIPE INSTALLED: NO TOP OF PIPE ELEVATION: N/A		STANDPIPE INSTALLED: NO TOP OF PIPE ELEVATION: N/A	

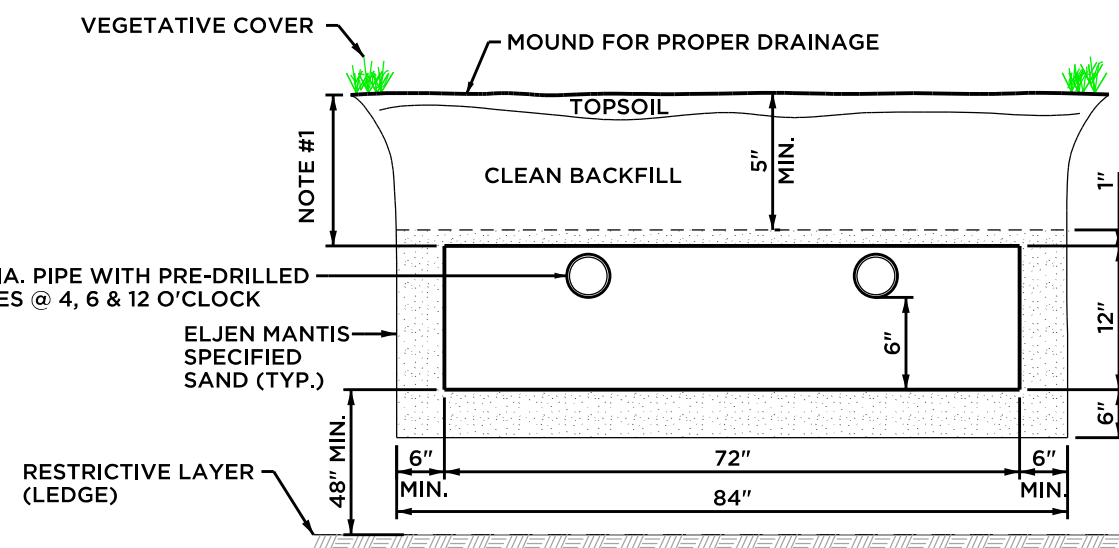
PERC TEST RESULTS

PERC TEST PERFORMED ON 5/30/2018
BY BARTON & LOGUIDICE
(HOLES WERE PRE-PAVED PRIOR TO TESTING)

PERC TEST - A DEPTH @ 20"	PERC TEST - B DEPTH @ 19"
RATE = 4 MIN/INCH	RATE = 4 MIN/INCH



LEACHING SYSTEM CROSS-SECTION (TYP.)



MANTIS DW-58 (LOW PROFILE) SAND FILL CROSS SECTION

EROSION & SEDIMENTATION CONTROL PLAN:

- ALL EROSION AND CONTROL MEASURES WILL BE INSTALLED AT THE PROJECT SITE PRIOR TO CONSTRUCTION WHEREVER POSSIBLE.
- AN ANTI-TRACKING APRON WILL BE INSTALLED AT THE ENTRANCE TO THE CONSTRUCTION SITE IN ORDER TO PREVENT THE TRANSPORT OF SEDIMENTS OFF THE CONSTRUCTION SITE BY TRUCK AND CONSTRUCTION EQUIPMENT TRAFFIC.
- AN EROSION CONTROL SYSTEM SHALL BE INSTALLED AROUND ALL ON-SITE STOCKPILES OF SOIL.
- DUST CONTROL MEASURES SHALL BE APPLIED THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- DUST CONTROL MEASURES WILL BE APPLIED DURING THE CONSTRUCTION PERIOD UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED, AS REQUIRED BY FIELD CONDITIONS.
- TEMPORARY SEDIMENT TRAPS WILL BE INSTALLED AS NECESSARY DURING CONSTRUCTION ACTIVITIES. ALL TEMPORARY STORMWATER DISCHARGE WILL BE DIRECTED TO THESE TRAPS.

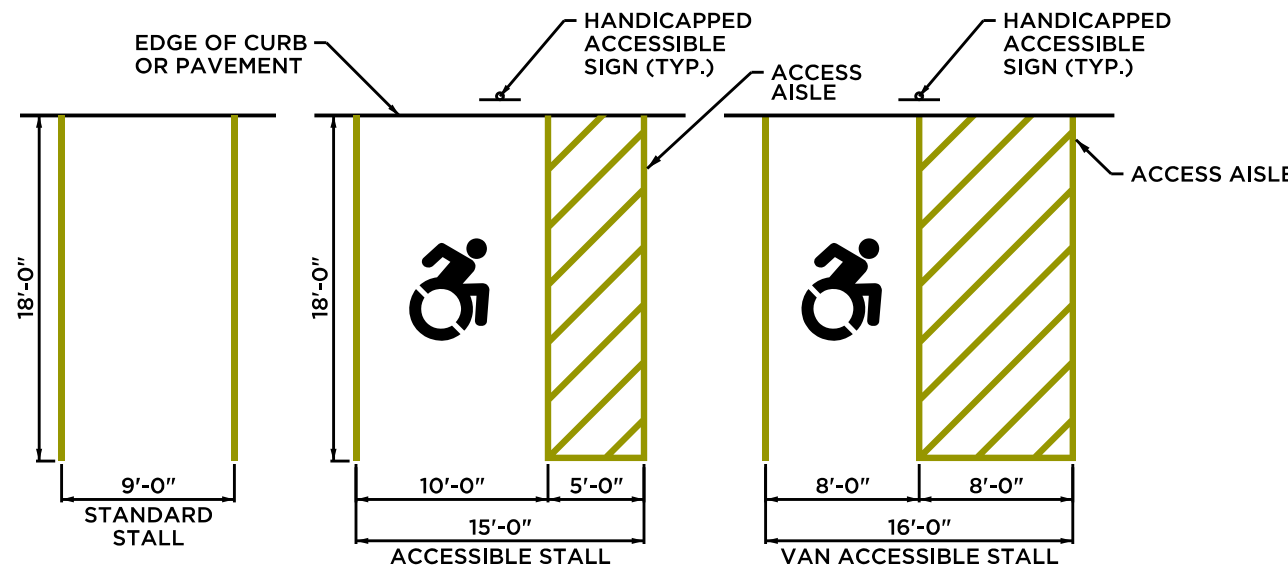
EROSION & SEDIMENTATION CONTROL NOTES:

- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS, OR AS DIRECTED BY THE TOWN PRIOR TO CONSTRUCTION.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", DATED 2002, AS AMENDED AND THE TOWN REGULATIONS.
- ALL EROSION CONTROL DEVICES SHALL BE MAINTAINED OR REPLACED BY THE CONTRACTOR DURING THE CONSTRUCTION PERIOD AS NECESSARY OR AS REQUIRED BY THE ENGINEER OR TOWN.
- ALL ON-SITE EROSION AND SEDIMENT CONTROLS ARE REQUIRED TO BE INSPECTED WITHIN 24-HOURS AFTER A RAIN EVENT OF AT LEAST A HALF-INCH, AND MAINTAINED, REPLACED OR INCREASED AS REQUIRED BY SPECIFIC FIELD CONDITIONS.
- SEDIMENT REMOVED FROM ANY CONTROL STRUCTURES SHALL BE DISPOSED OF IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN.
- ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF DEEMED NECESSARY OR REQUIRED BY THE ENGINEER OR TOWN.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR IMPLEMENTING ALL EROSION AND SEDIMENTATION CONTROL DEVICES AS SHOWN ON THESE PLANS OR AS ORDERED BY THE ENGINEER.
- ALL DISTURBED AREAS ARE TO BE RAKED, SEEDED AND FERTILIZED PER "TURF ESTABLISHMENT" SPECIFICATION IN CT017 818, AT THE COMPLETION OF PROJECT.
- AREAS OUTSIDE OF PAVED AREAS, WALKS, AND BUILDINGS ARE TO RECEIVE A MINIMUM 4" OF TOPSOIL.
- THE FOLLOWING DATES FOR SEEDING SHALL BE USED:

SPRING: APRIL 15 TO JUNE 15
FALL: AUGUST 15 TO SEPTEMBER 15
- THE FOLLOWING GRASS SEED MIXTURES SHALL BE APPLIED AT A RATE NO LESS THAN 100 LBS. PER ACRE:

SPECIES	PROPORTION BY WEIGHT (POUNDS)	MINIMUM PURITY (PERCENT)	MINIMUM GERMINATION (PERCENT)
VELVET BENTGRASS, (AGROSTIS CANADENSIS)	25	96	85
RED FESCUE (FESTUCA RUBRA L. SSP. RUBRA)	35	97	80
PARTRIDGE PEA (CHAMAECRISTA FASCICULATA)	10	95	90
INDIAN GRASS (SORGHASTRUM NUTANS)	15	95	90
CANADA WILD RYE (ELYMUS CANADENSIS)	5	95	90
KENTUCKY BLUE GRASS (POA PRATENSIS)	10	95	90

- TEMPORARY GRASS SEEDING, IF NECESSARY, SHALL BE PERENNIAL RYE GRASS (LOLIUM PERENNE) APPLIED AT A RATE OF 100 LBS. PER ACRE.



PARKING STALL DETAILS

- GENERAL NOTES:
- ACCESS AISLES SHALL ADJOIN AN ACCESSIBLE ROUTE.
 - ACCESS AISLES (CROSS HATCH) SERVING CAR PARKING SPACES SHALL BE 60 INCHES (1525 mm) MINIMUM IN WIDTH. ACCESS AISLES SERVING VAN PARKING SPACES SHALL BE 96 INCHES (2440 mm) MINIMUM IN WIDTH. TWO PARKING SPACES SHALL BE PERMITTED TO SHARE A COMMON ACCESS AISLE. IF A CAR AND A VAN SPACE SHARE A COMMON ACCESS AISLE, THAT AISLE SHALL BE 96 INCHES MINIMUM IN WIDTH.
 - PARKING SPACES MAY HAVE ACCESS AISLES PLACED ON EITHER SIDE OF THE CAR OR VAN PARKING SPACE. VAN PARKING SPACES THAT ARE ANGLED SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACE.
 - ACCESSIBLE PARKING SPACES SHALL BE IDENTIFIED BY ABOVE GRADE SIGNS IN ACCORDANCE WITH DETAILS.

4/30/2019 02:26 Design/PLT/01 VLB Ldkm.dgn

Barton & Loguidice

Civil Engineering • Environmental Consulting • Land Surveying • Construction Management

PROJ. ENGINEER: MJP
PROJ. MANAGER: MLK
OFFICE REVIEW: MLK

CONSTRUCTION NOTES

PREPARED FOR

60 VILLA LOUISA ROAD LLC

60 VILLA LOUISA ROAD

BOLTON, CT

PROJECT: 4390-002

DATE: 1/31/2022

SHEET NO. 4 OF 4

Issued For	Date
Proposed Plans Review	XXXX.XXXX
Proposed Plans Review	XXXX.XXXX
CD	5.1.2022
FOR PERMIT	4.5.2022



PROPOSAL FOR 60 VILLA LOUISA ROAD,
BOLTON, CONNECTICUT

FOR PERMIT

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60 VILLA
LOUISA RD.

Title: PROPOSED
PLANS
Job No.: 60 VL
Date: 11.22.21
Scale: AS NOTED
Drawn by: SwagSB
Dwg #: A-0

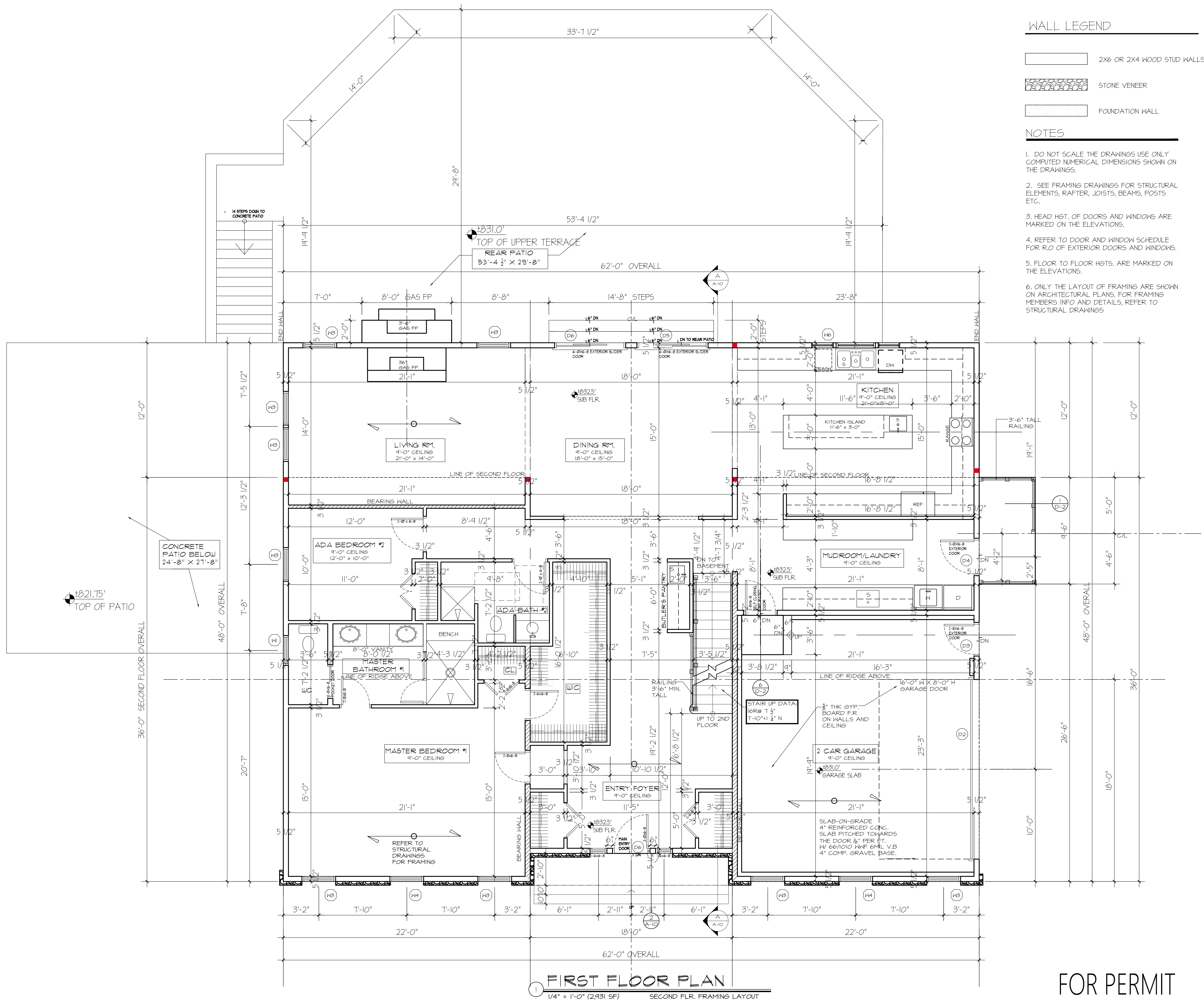
WALL LEGEND

	2X6 OR 2X4 WOOD STUD WALLS
	STONE VENEER
	FOUNDATION WALL

NOTES

- DO NOT SCALE THE DRAWINGS USE ONLY COMPUTED NUMERICAL DIMENSIONS SHOWN ON THE DRAWINGS.
- SEE FRAMING DRAWINGS FOR STRUCTURAL ELEMENTS, RAFTER, JOISTS, BEAMS, POSTS ETC.
- HEAD HGT. OF DOORS AND WINDOWS ARE MARKED ON THE ELEVATIONS.
- REFER TO DOOR AND WINDOW SCHEDULE FOR R.O. OF EXTERIOR DOORS AND WINDOWS.
- FLOOR TO FLOOR HGTS. ARE MARKED ON THE ELEVATIONS.
- ONLY THE LAYOUT OF FRAMING ARE SHOWN ON ARCHITECTURAL PLANS. FOR FRAMING MEMBERS INFO AND DETAILS, REFER TO STRUCTURAL DRAWINGS

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Title:
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PLANS**

Job No.: 60 VL

Date: 11.22.21

Scale: AS NOTED

Drawn by: SnagSB

Dwg #: A-1

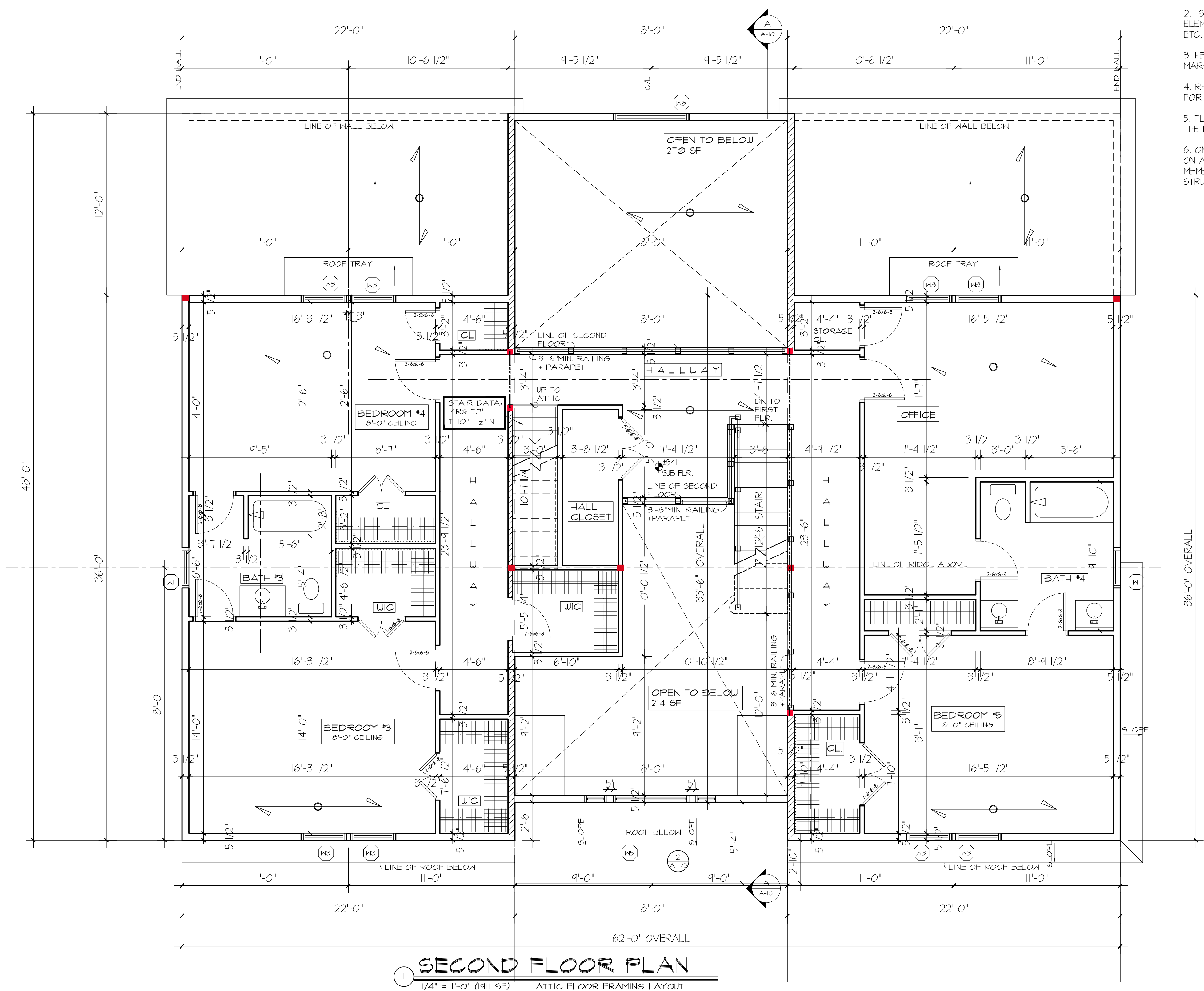
FOR PERMIT

WALL LEGEND

	2X6 OR 2X4 WOOD STUD WALLS
	STONE VENEER
	FOUNDATION WALL

NOTES

- DO NOT SCALE THE DRAWINGS USE ONLY COMPUTED NUMERICAL DIMENSIONS SHOWN ON THE DRAWINGS.
- SEE FRAMING DRAWINGS FOR STRUCTURAL ELEMENTS, RAFTER, JOISTS, BEAMS, POSTS ETC.
- HEAD HGT. OF DOORS AND WINDOWS ARE MARKED ON THE ELEVATIONS.
- REFER TO DOOR AND WINDOW SCHEDULE FOR R.O. OF EXTERIOR DOORS AND WINDOWS.
- FLOOR TO FLOOR HGTS. ARE MARKED ON THE ELEVATIONS.
- ONLY THE LAYOUT OF FRAMING ARE SHOWN ON ARCHITECTURAL PLANS. FOR FRAMING MEMBERS INFO AND DETAILS, REFER TO STRUCTURAL DRAWINGS



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60 VILLA
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Title:
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Job No.: 60 VL

Date: 11.22.21

Scale: AS NOTED

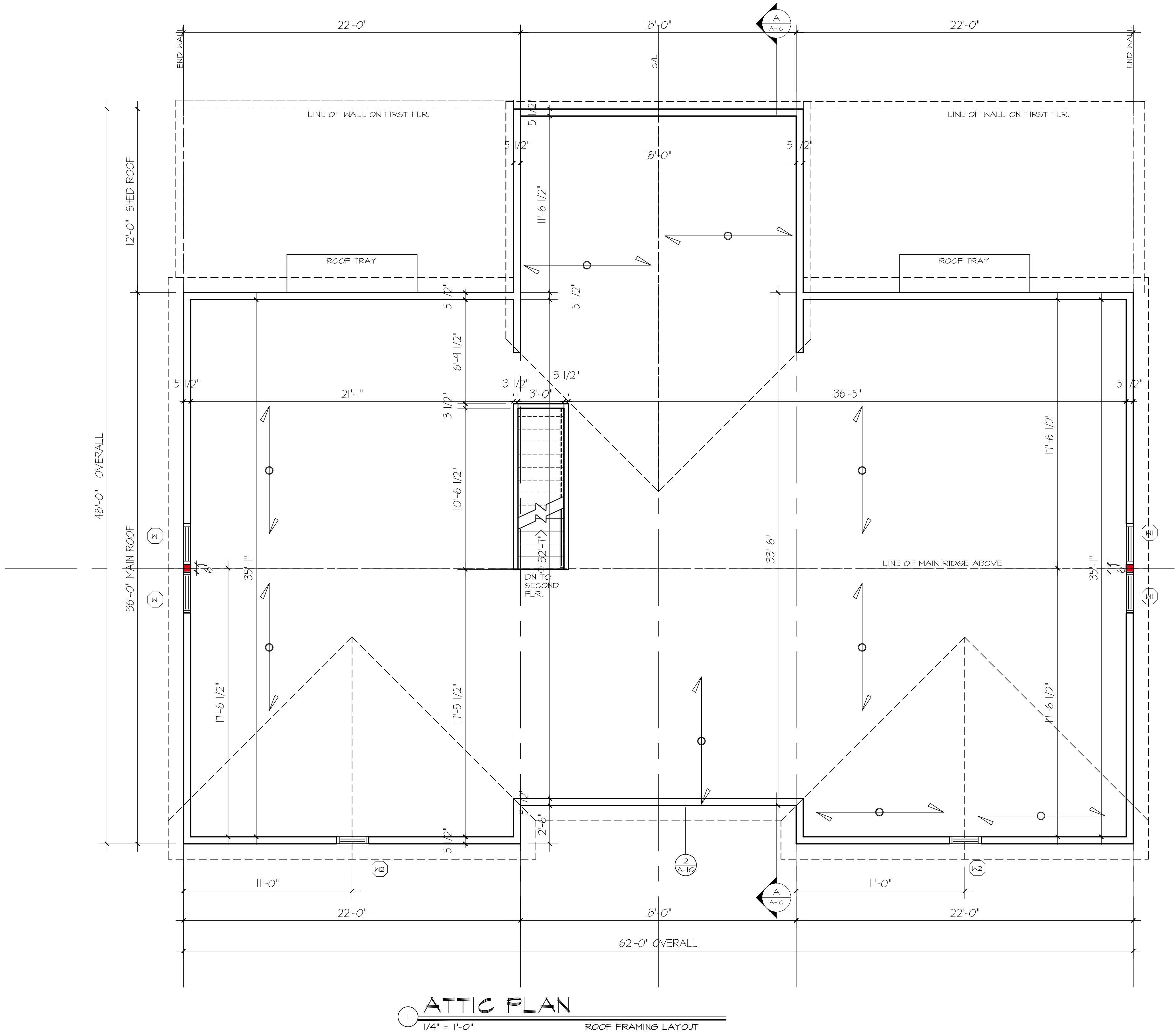
Drawn by: SS

Fig #: A-2

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Title:
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Job No.: 60 VL

Date: 11.22.21

Scale: AS NOTED

Drawn by: Swagata

Dwg #: A-3

Drawn by Swagata Sharma

FOR PERMIT

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Proposed Plans Review	XX.XX.XXXX
CD	5.7.2022
FOR PERMIT	5.21.2022

NOTES

-
- WALL LEGEND**
- 2X6 OR 2X4 WOOD STUD WALLS
 - STONE VENEER
 - FOUNDATION WALL
- NOTES**
- DO NOT SCALE THE DRAWINGS USE ONLY COMPUTED NUMERICAL DIMENSIONS SHOWN ON THE DRAWINGS.
 - SEE FRAMING DRAWINGS FOR STRUCTURAL ELEMENTS, RAFTER, JOISTS, BEAMS, POSTS ETC.
 - HEAD HGT. OF DOORS AND WINDOWS ARE MARKED ON THE ELEVATIONS.
 - REFER TO DOOR AND WINDOW SCHEDULE FOR R.O. OF EXTERIOR DOORS AND WINDOWS.
 - FLOOR TO FLOOR HGTs. ARE MARKED ON THE ELEVATIONS.
 - ONLY THE LAYOUT OF FRAMING ARE SHOWN ON ARCHITECTURAL PLANS, FOR FRAMING MEMBERS INFO AND DETAILS, REFER TO STRUCTURAL DRAWINGS
- FOUNDATION PLAN**
- 1/4" = 1'-0"
- FIRST FLOOR FRAMING LAYOUT
- FOR PERMIT**

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Dwg #: A-4

FOR PERMIT

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Proposed Plans Review	XXXXXXXXXX
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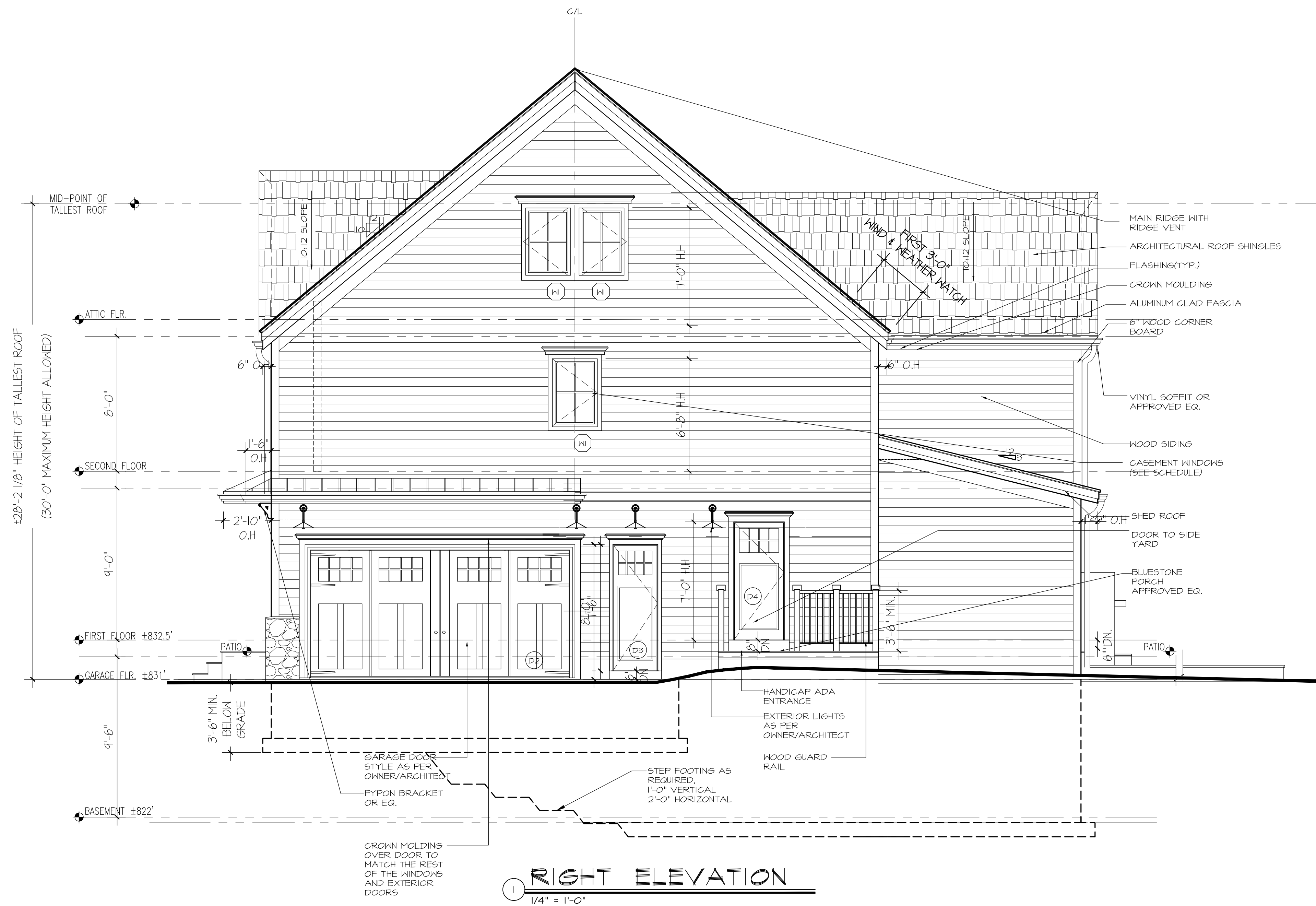
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60 VILLA
LOUISA RD.

Title:
PROPOSED
ELEVATIONS
Job No.: 60 VL
Date: 11.22.21
Scale: AS NOTED
Drawn by: SwagatB
Dwg #: A-5

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Proposed Plans Review	XXXXXX
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60 VILLA
LOUISA RD.

Title:
PROPOSED
ELEVATIONS

Job No.: 60 VL

Date: 11.22.21

Scale: AS NOTED

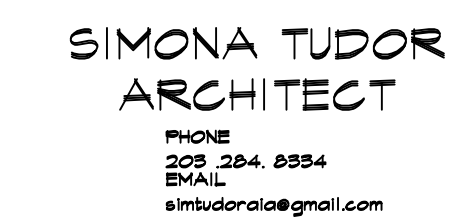
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Dwg #: A-6

Drawn by Swagata Sharma

FOR PERMIT

Issued For _____ Date _____



Title: _____

PROPOSED
ELEVATIONS

Job No.: 60 VL

Date: 11.22.21

Scale: AS NOTED

Drawn by: SwagSE

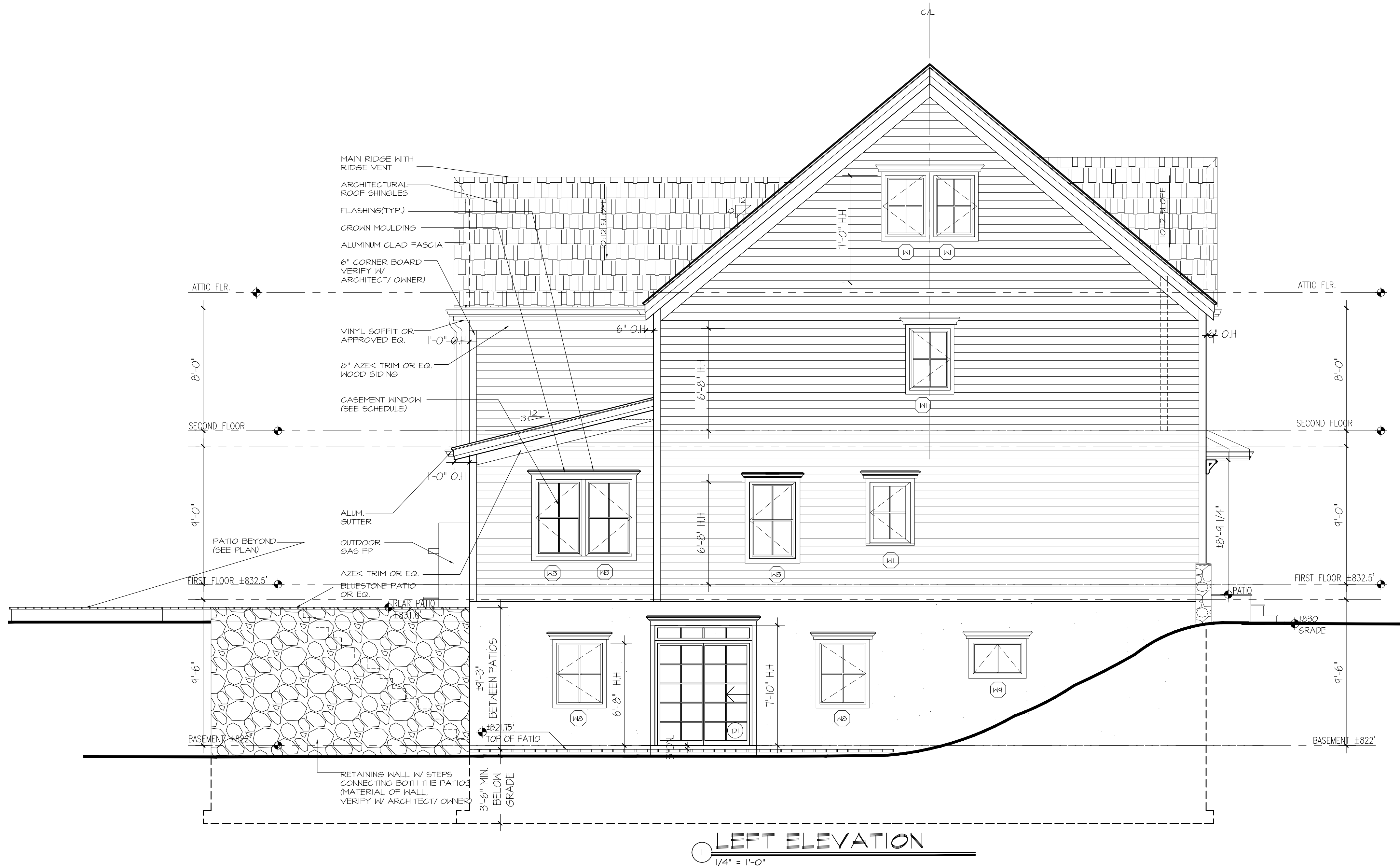
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Drawn by Swagata Sharma

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FOR PERMIT	5.21.2022



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60 VILLA
LOUISA RD.

Title:
PROPOSED
ELEVATIONS

Job No.: 60 VL

Date: 11.22.21

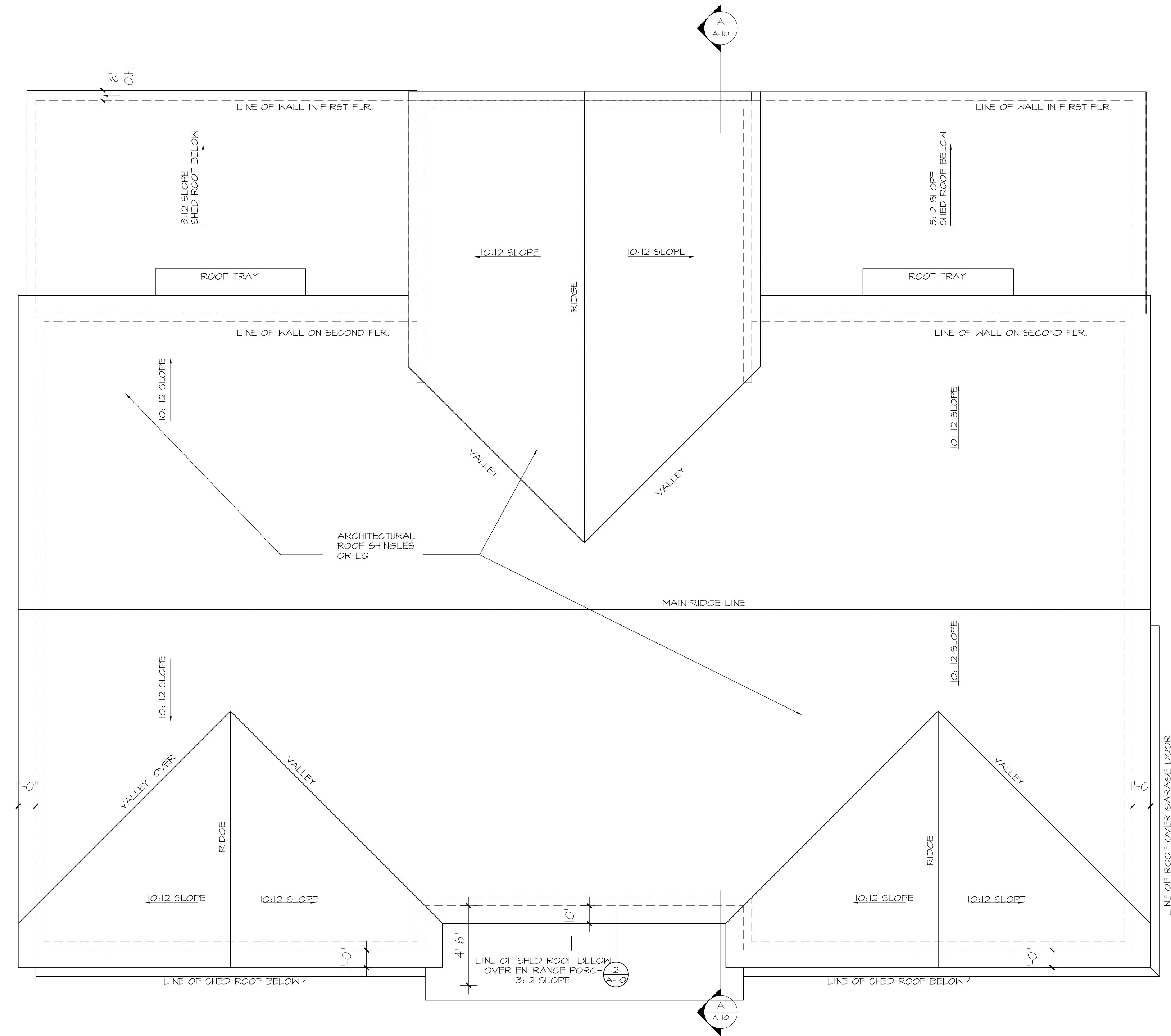
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Dwg #: A-8

FOR PERMIT

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Proposed Plans Review	XXXXXXX
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1 ROOF PLAN
1/4" = 1'-0"

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60 VILLA
LOUISA RD.

Title:
PROPOSED
ROOF

Job No.: 60 VL

Date: 11.22.21

Scale: AS NOTED

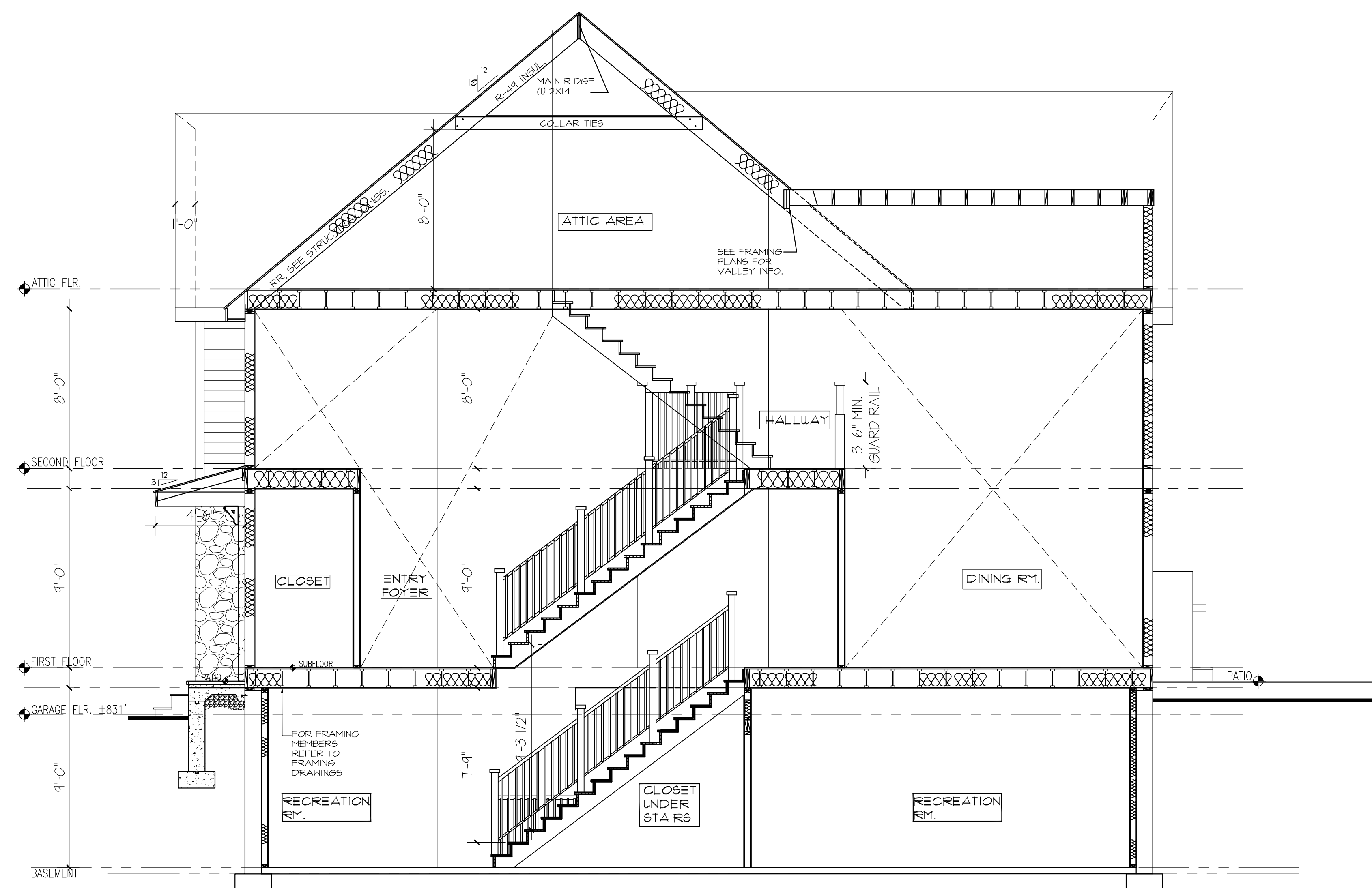
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Dwg #: A-9

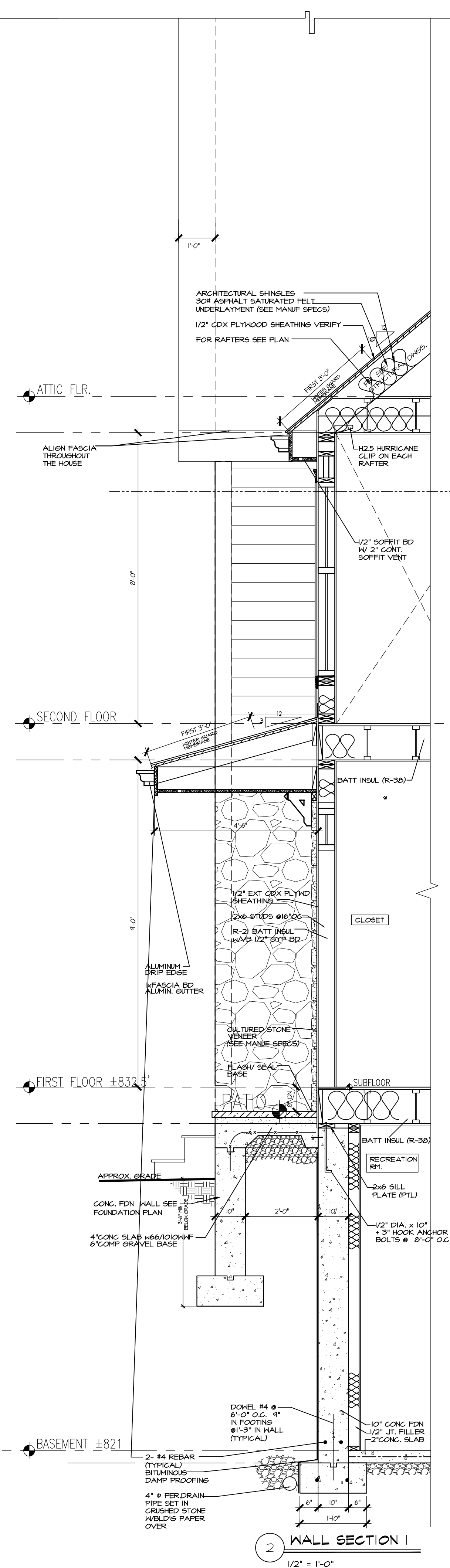
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SECTION AA
1/4" = 1'-0"



2 WALL SECTION
1/2" = 1'-0"

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60 VILLA
LOUISA RD.

Title: PROPOSED
SECTION AND
WALL SECTION

Job No.: 60 VL

Date: 11.22.21

Scale: AS NOTED

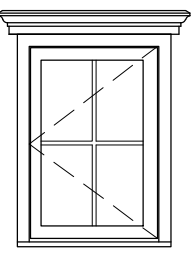
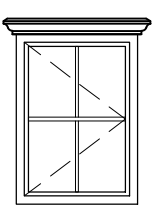
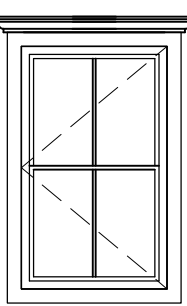
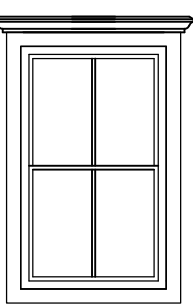
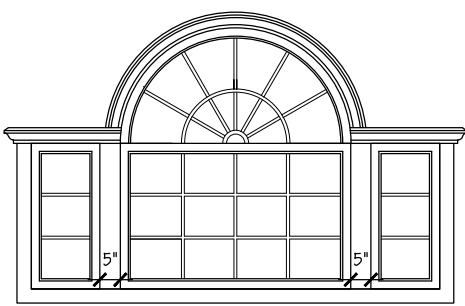
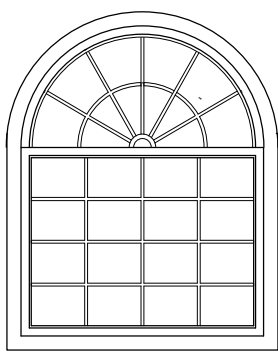
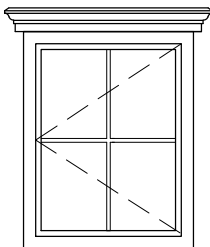
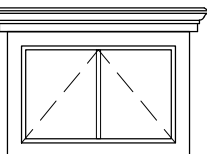
Drawn by: SwagSB

Dwg #: A-10

DWG #: A-10

Drawn by Swagata Sharma

Windows Schedule:

								
FOR SWING, REFER TO ELEVATIONS	FOR SWING, REFER TO ELEVATIONS	FOR SWING, REFER TO ELEVATIONS						
W1	W2	W3	W4	W5	W6	W7	W8	W9

General Notes:

- 1) GC TO PROVIDE SHOP DRAWINGS FOR ARCHITECTS/OWNER APPROVAL PRIOR TO PLACING WINDOW ORDER.
- 2) ALL WINDOWS TO BE MARVIN ELEVATE OR APPROVED EQUAL.
- 3) ALL PATIO DOORS TO BE MARVIN ELEVATE OR APPROVED EQUAL.

1010.4 Emergency escape and rescue: Every sleeping room below the fourth story in occupancies in Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency escape or rescue. Each emergency escape and rescue window shall have a minimum net clear opening of 5.7 square feet. The net clear opening shall be at least 24 inches in height and at least 20 inches in width. The net clear opening dimensions shall be obtained by the normal operation of the window from the inside. Where windows are provided for emergency escape and rescue, the windows shall have the bottom of the clear opening not more than 44 inches above the floor.

Bars, grilles or screens placed over emergency escape windows shall be releaseable or removable from the inside without use of a key, tool or force greater than that which is required for normal operation of the window.

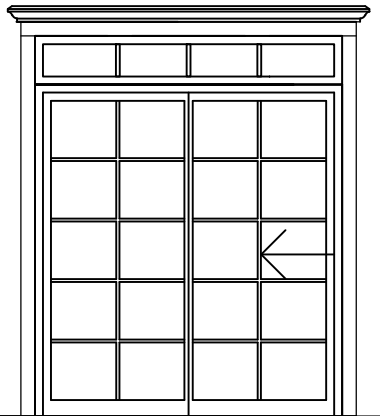
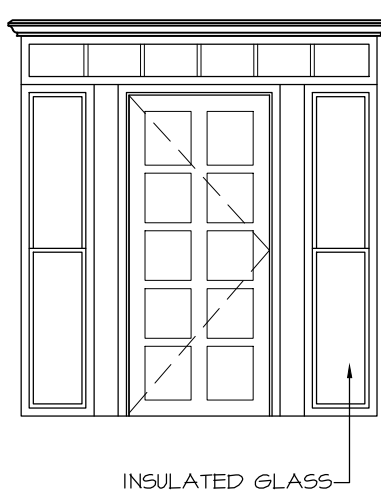
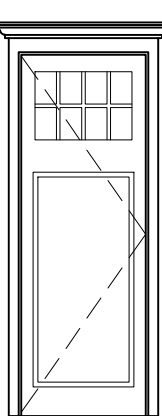
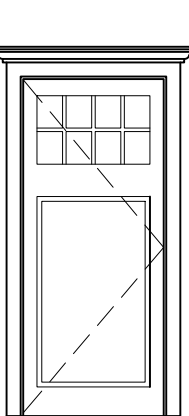
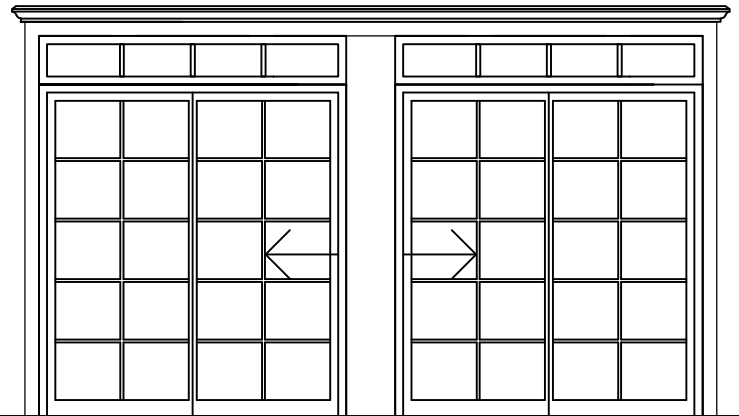
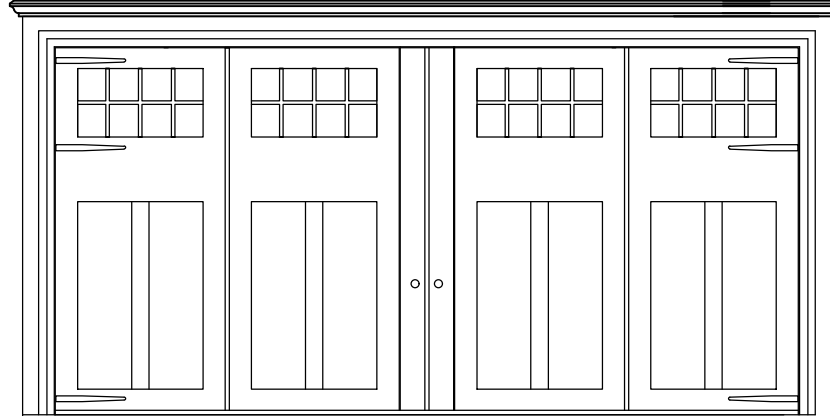
Exceptions:

- 1) The minimum net clear opening for grade floor windows shall be 5 square feet.

Unit Schedule:

Unit:	Cat. No.	Product:	Frame Size	Rough Opening	U-Factor	Remarks
W1	ELCA 3347 E	Casement	2'-8" X 3'-11-1/8"	2'-9" X 3'-11 5/8"	0.300	6'-8" HH, Egress size
W2	ELCA 2539	Casement	2'-0" X 3'-3-1/8"	2'-1" X 3'-3 5/8"	0.300	5'-1 1/2" HH
W3	ELCA 3759 E	Casement	3'-0" X 4'-11-1/8"	3'-1" X 4'-11 5/8"	0.300	6'-8" HH, Egress Window
W4	ELCAP 3759	Casement Picture	3'-0" X 4'-11-1/8"	3'-1" X 4'-11 5/8"	0.300	6'-8" HH
W5	ELCAP 5735 ELCAP 1735	Casement Picture Casement Picture Direct glaze round tops	4'-8" X 2'-11-1/8" 1'-4" X 2'-11-1/8" 4'-8" X 2'-4"	4'-9" X 2'-11-5/8" 1'-5" X 2'-11-1/8" 4'-9"X2'-4 1/2"	0.300 0.300 0.300	6'-8" HH, Units are milled together.
W6	ELCAP 5747	Casement Picture Direct glaze round tops	4'-8" X 3'-11-1/8" 4'-8" X 2'-4"	4'-9" X 3'-11-5/8" 4'-9"X2'-4 1/2"	0.300 0.300	7'-8" HH, Units are milled together.
W7						
W8	ELCA 3347 E	Casement	3'-0" X 3'-11-1/8"	3'-1" X 3'-11 5/8"	0.300	6'-8" HH, Egress size
W9	ELAWN 3723	Awning	3'-0" X 2'-11-1/8"	3'-1" X 2'-11 5/8"	0.300	6'-8" HH, Egress size

Door Schedule. Garage doors:

						
D1	D6	D3	D4	D5	D6	D2

General Notes:

- 1) GC to provide shop drawings of doors for Architects/Owner approval prior to placing door order.

Unit Schedule:

Unit:	Cat. No.	Product:	Door Size	Hardware:	Remarks
D1	xxxx w/ Transoms	Exterior Door	6'-0" X 6'-8" sliders w/ transom 1'-0" H X 6'-0" W	XXXX	2 panel Sliders patio door 1'-0"h X 6'-0"w Transom
D2	xx	Garage Door	16'-0" x 7'-0"	XXXX	Insulated
D3	XXX	Exterior Door	2'-8" X 7'-6"	XXXX	Insulated Solid Door w/ lights
D4	xx	Exterior Door	3'-0" x 6'-8"	XXXX	Insulated Solid Door w/ lights
D5	xx w/ Transoms	Exterior Door	6'-0" X 6'-8" sliders w/ transoms 1'-0" H X 6'-0" W	XXXX	Hollow Masonite
D6	xx w/ Transoms	Interior Door	6'-0" X 6'-8" sliders w/ transoms 1'-0"H X 6'-0" W	XXXX	Hollow Masonite

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Date

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CD 5.7.2022

FOR PERMIT 5.27.2022

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60 VILLA
LOUISA RD.

Title:

DOOR & WINDOW
SCHEDULE

Job No.: 60 VL

Date: 11.22.21

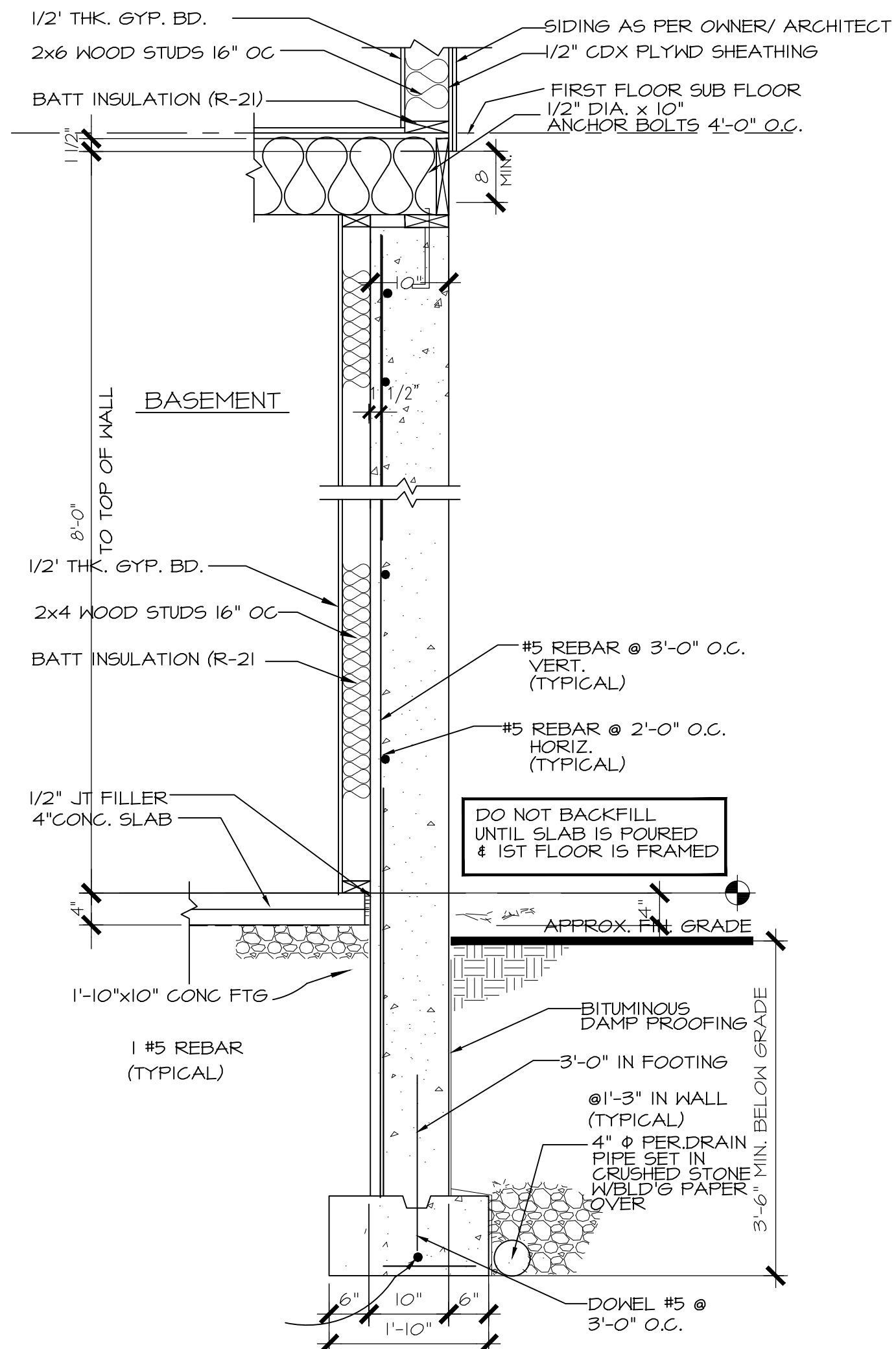
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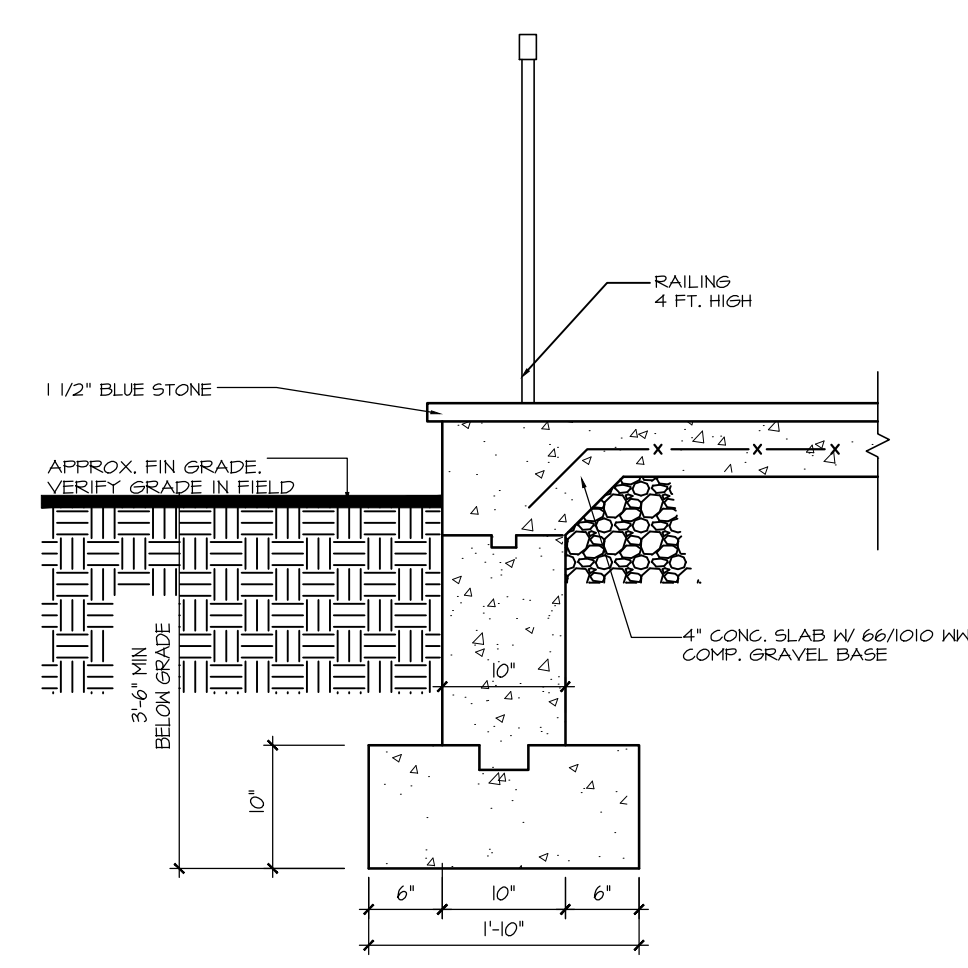
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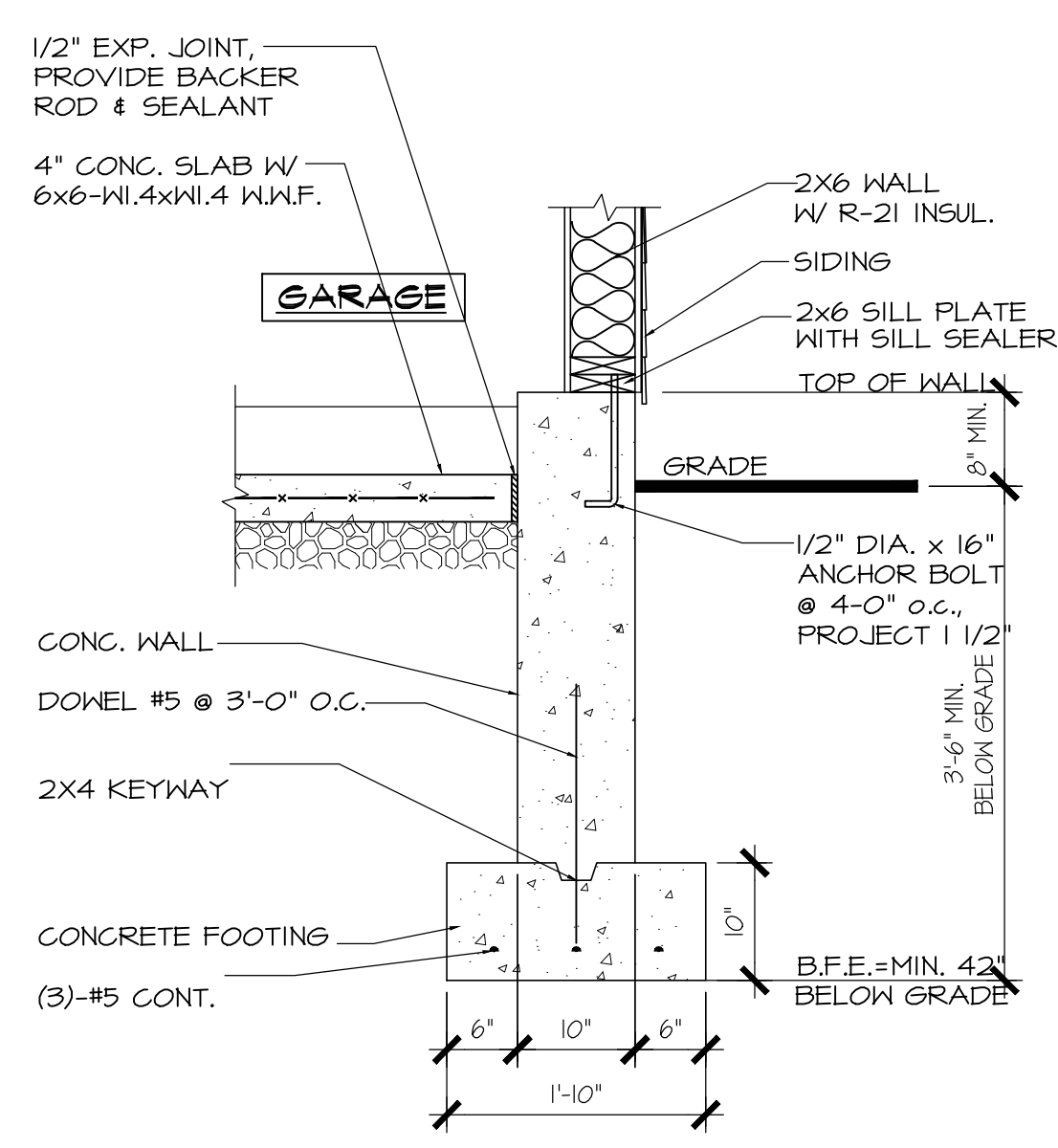
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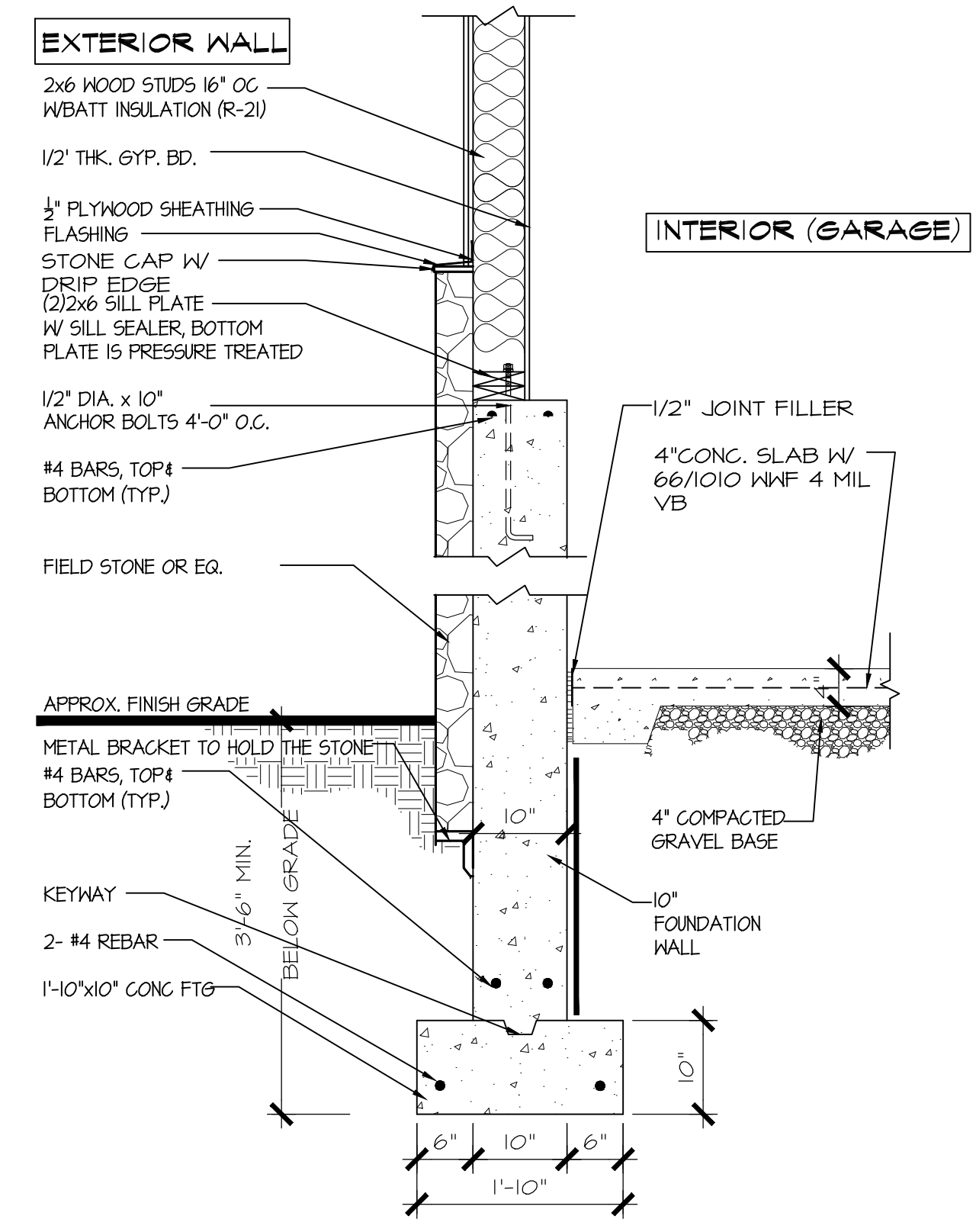
3 TYP. FOUNDATION WALL DETAIL
3/4" = 1'-0"



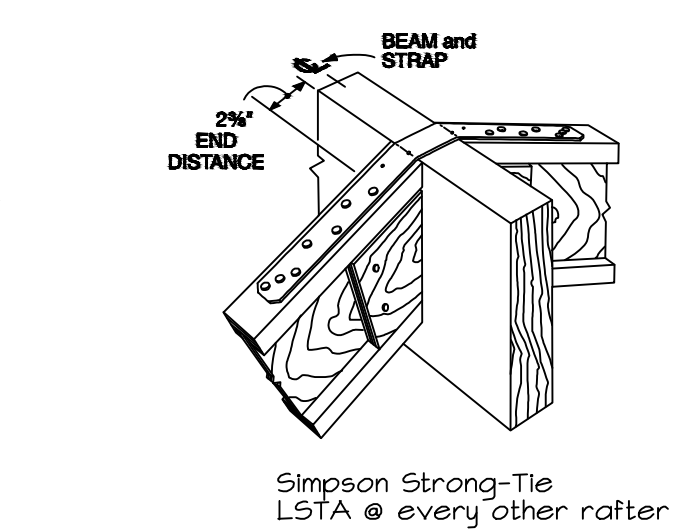
1 SECTION AT SIDE PATIO
3/4" = 1'-0"



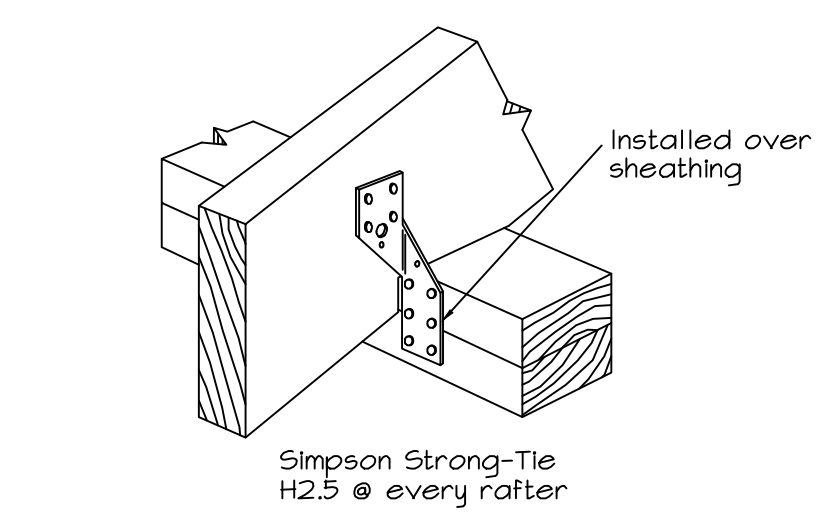
4 FOUNDATION WALL SECTION AT GARAGE SIDE
3/4" = 1'-0"



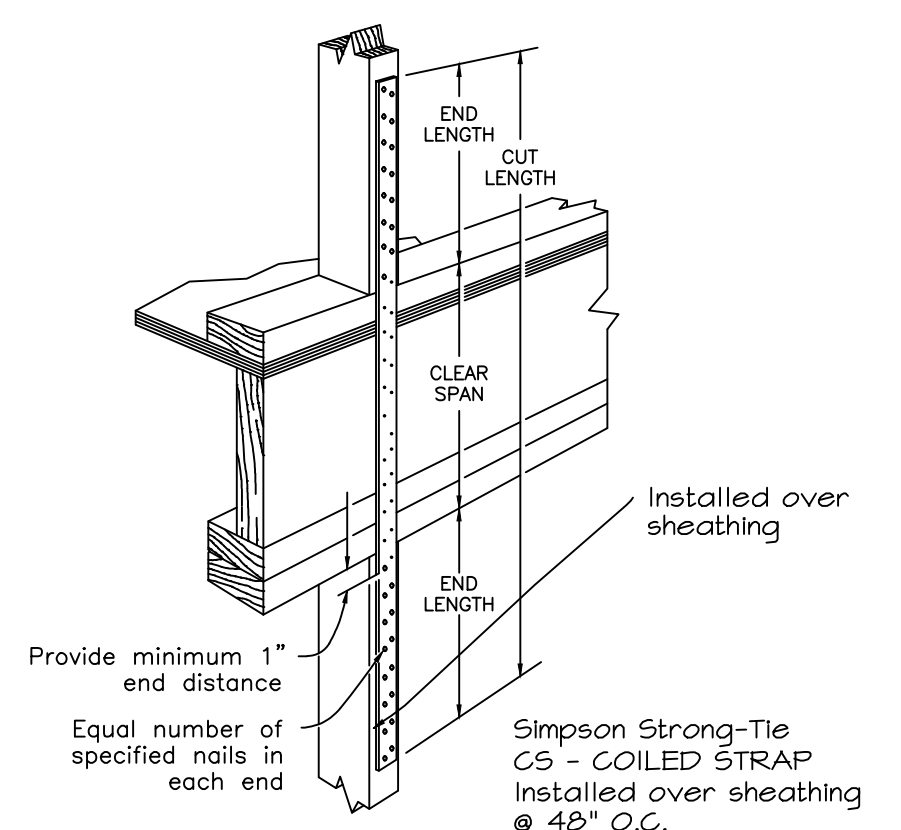
2 SECTION AT GARAGE SIDE WALL
3/4" = 1'-0"



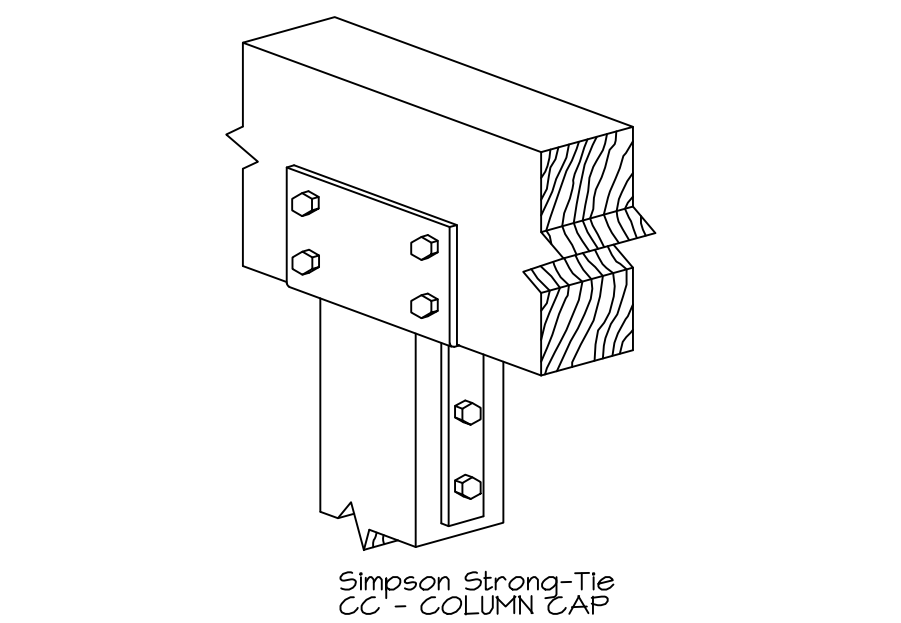
A RIDGE STRAP DETAIL
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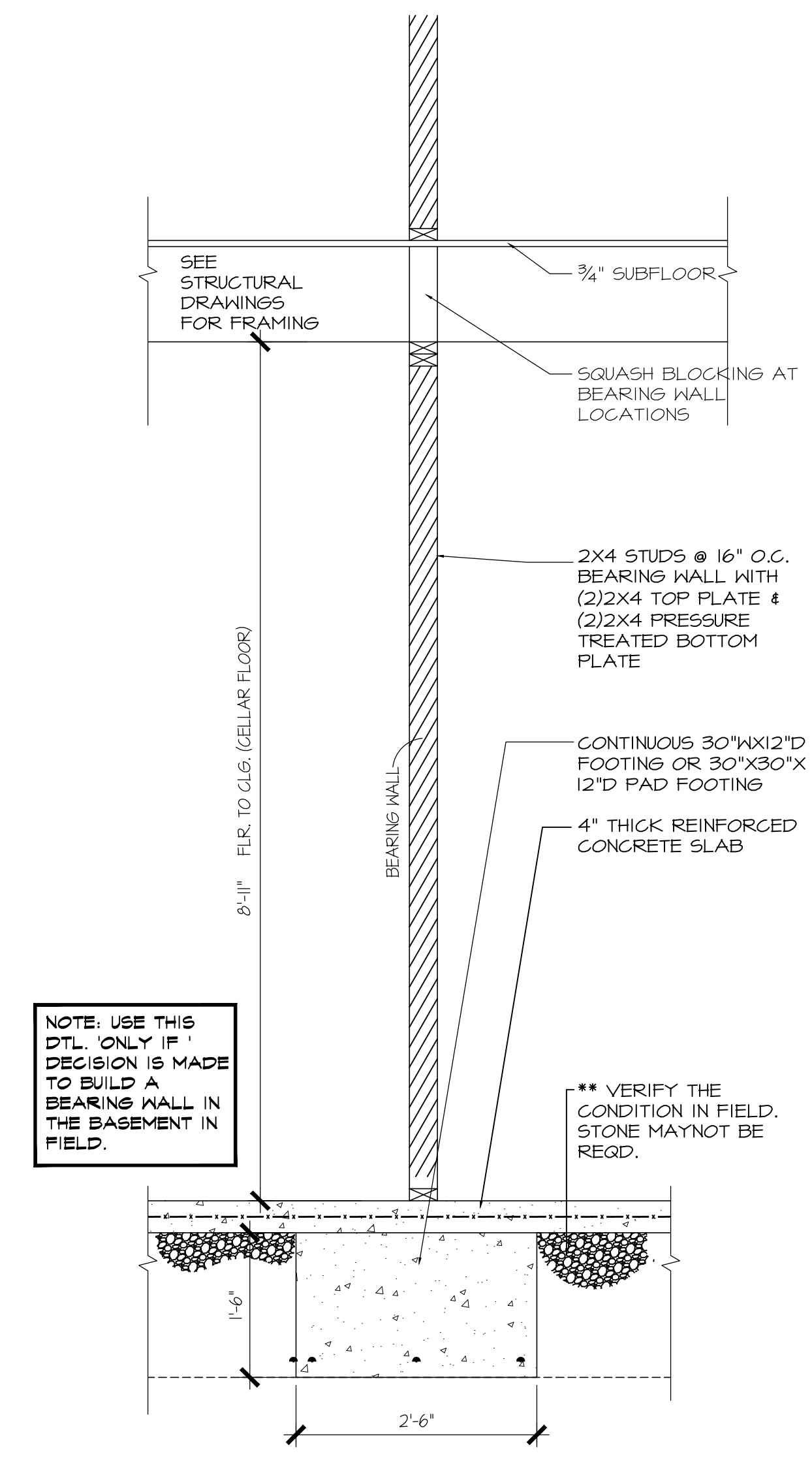
B HURRICANE CLIP
D-2 NOT TO SCALE



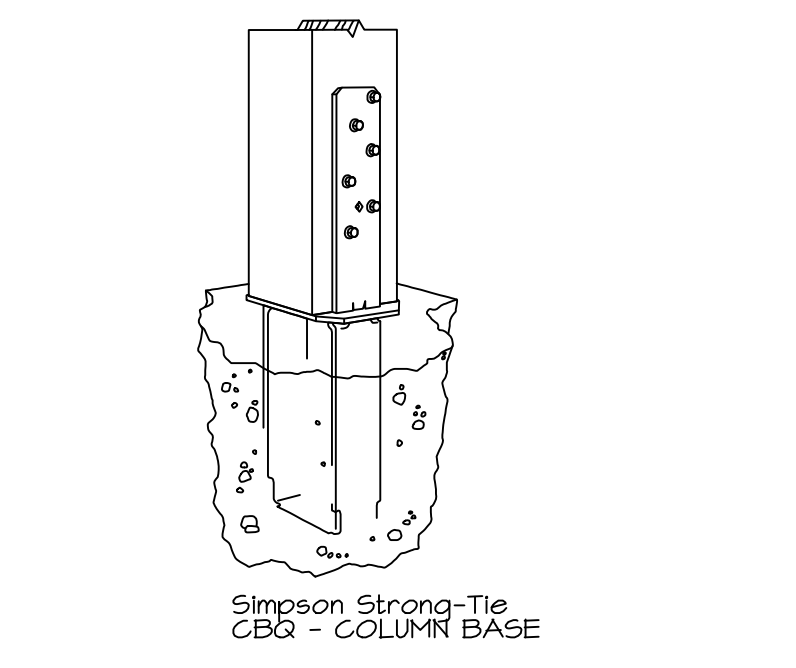
C FLOOR STRAP DETAIL
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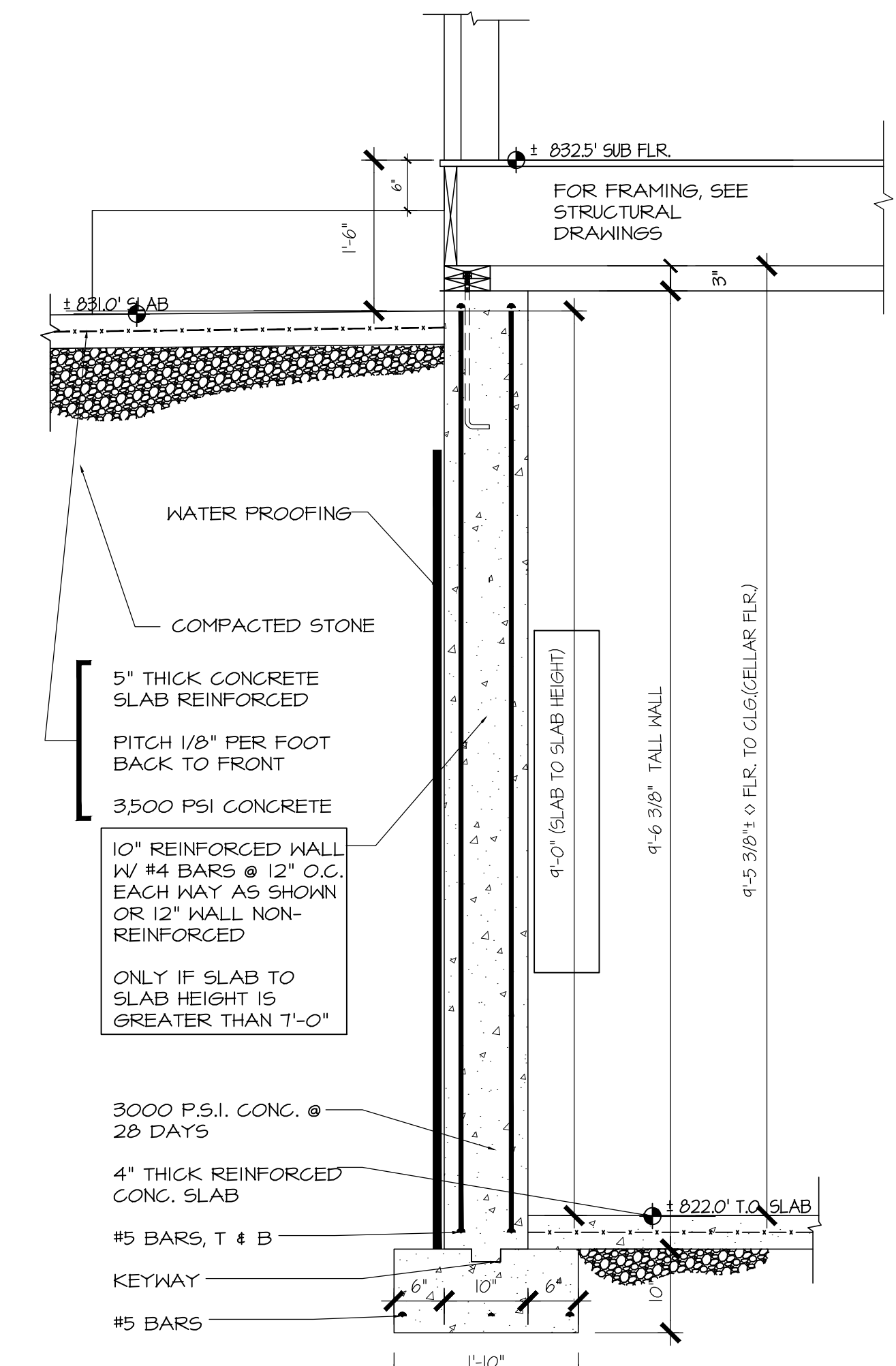
D COLUMN CAP DETAIL
D-2 NOT TO SCALE



5 TYP. INTERIOR FOOTING
SCALE 3/4" = 1'-0"



E COLUMN BASE DETAIL
D-2 NOT TO SCALE



6 FOUNDATION DETAIL AT GARAGE AND GARAGE
SCALE 3/4" = 1'-0"

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Issued For	Date
Proposed Plans Review	XXXXXX
Proposed Plans Review	XXXXXX
CD	5.1.2022
FOR PERMIT	5.21.2022

SIMONA TUDOR ARCHITECT
PHONE 202.284.8954
EMAIL simonatorale@gmail.com

60 VILLA LOUISA RD.

Title: DETAILS
Job No.: 60 VL
Date: 11.22.21
Scale: AS NOTED
Drawn by: SnagSB
Dwg #: D-2

FOR PERMIT

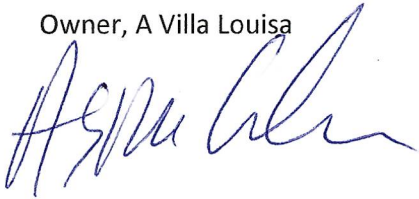
Drawn by Swagata Sharma

To Town of Bolton,

Hello, my name is Asim Etem, owner of A Villa Louisa at 60 Villa Louisa Rd, Bolton, CT 06043. This letter is to inform you of my intent to build a Bed & Breakfast at this location. The B & B will be about 4000 square feet, six bedrooms, walk-out basement, potentially swimming pool, two car garage, handicap accessible bathroom and bedroom. Parking for up to six cars. If you have any additional questions, feel free to contact me at 860-985-0744. Thank you.

Asim Etem

Owner, A Villa Louisa

A handwritten signature in blue ink, appearing to read 'Asim Etem', written over the printed name and title.

From: Carson, Patrice

Sent: Monday, July 18, 2022 2:50 PM

To: Asim@avillalouisa.com; asimetem@gmail.com

Subject: Process for Your Special Use Permit Application #PL-22-7, 60 Villa Louisa Road, Bolton, CT

Asim, As the listed applicant, PLEASE ACKNOWLEDGE RECEIPT OF THIS EMAIL BY REPLYING "RECEIVED", thank you.

Dear Applicant:

Please find attached the legal notice for the public hearing at which your special permit application will be heard. This notice needs to be sent to all abutters within 500 feet of your property at least ten (10) days prior to the date of the public hearing. For purposes of notice, (1) proof of mailing shall be evidenced by a certificate of mailing, and (2) the person who owns land shall be the owner indicated on the property tax map or on the last-completed grand list as of the date such notice is mailed. Below are the requirements from Section 16B.3.g. & h. of the Bolton Zoning Regulations:

16B.3.g. Notice to Abutting Owners The applicant shall also notify all Abutting landowners of record within 500 feet of the subject property, as disclosed by the Assessor's records, of the date, time and place of the public hearing of the Commission at which said Special Permit is to be considered no less than ten (10) days preceding the date of said hearing, and shall submit proof to the Zoning Enforcement Officer of such notification. No notice shall be required for the continuation of a public hearing once it has been opened.

The Zoning Regulations also require you to post a sign(s) on the property at least seven (7) days prior to the date of the public hearing (see below). You can obtain the signs from Danielle Palazzini in the Land Use Department. There is a \$26 fee per sign.

16B.3.h. Posting of Sign No less than seven (7) days prior to the opening of any public hearing, the applicant shall post a sign on the property which is the subject of any application for Special Permit. The face of such sign shall be as provided by the Commission, and shall set forth the date, time and place of the public hearing, and the telephone number to call for additional information. It shall be the obligation of the applicant to post such sign(s) on the property in a location which is plainly visible from each abutting public street, and to maintain the sign(s) until the opening of the public hearing. No sign need be posted for the continuation of a public hearing once it has opened. If the Commission provides a mount for the sign, such sign mount shall be returned to the Commission's offices within three (3) days after the close of the hearing. The Commission may require a cash deposit to assure such return.

If you have any questions, please don't hesitate to contact:

Patrice

Patrice L. Carson, AICP

Consulting Director of Community Development

Town of Bolton
860.359.1454

Bolton Planning & Zoning Commission
Notice of Public Hearing

The Bolton Planning & Zoning Commission will hold a public hearing on Wednesday, August 10, 2022 at 7:45pm virtually through Zoom for:

- 1 Asim Etem's appl. for a Special Permit for Bed & Breakfast at 60 Villa Louisa Rd (#PL-22-7)
- 2 Consider the adoption of an update to the 2015 Town of Bolton Plan of Conservation & Development to incorporate the 2022 Affordable Housing Plan in accordance with Section 8-23 of the Connecticut General Statutes.

Said proposals are on file for review in the Bolton Land Use Department and on the Town's Website at:

<https://town.boltonct.org/boards-commissions/planning-and-zoning>

The 2022 Affordable Housing Plan and Plan of Conservation & Development are available for review in the Bolton Town Clerk's Office or on the website at www.boltonct.org.

All interested parties may attend virtually and testify or may submit written testimony.

Dated at Bolton, CT, this 14th day of July, 2022.

Thomas Manning
P&Z Chairman

To be published in the *Journal Inquirer* on July 29, 2022 and August 5, 2022

LIST OF ABUTTERS WITHIN 500 FT OF 60 VILLA LOUISA RD

LORENTZEN WILLIAM JOHN	44 VILLA LOUISA RD	BOLTON, CT 06043
ALBASI LOUIS J EST & ALBASI STEVEN & LORENTZEN CAR	40 VILLA LOUISA RD	BOLTON, CT 06043
MANCHESTER TOWN OF WATER DEPT	41 CENTER ST	MANCHESTER, CT 06040-509
FISH DONALD W	20 DIMMOCK LN	BOLTON, CT 06043-7220
BLACKLEDGE CONSTRUCTION INC	20 DIMOCK LANE	BOLTON, CT 06043
DOMBEK DAMON &	16 OLIVIA COURT	EAST HARTFORD, CT 06108
DIANA VINCENT L JR	44 LOOKOUT LANDING	BOLTON, CT 06043
SOMES TEDD R & CYNTHIA	36 LOOKOUT LANDING	BOLTON, CT 06043
SCALA JEFFREY A & SUSAN H	32 LOOKOUT LANDING	BOLTON, CT 06043
MANCHESTER WATER DEPT TOWN OF	P O BOX 191	MANCHESTER, CT 06040
ALBASI LOUIS J EST+STEVEN+	40 VILLA LOUISA RD	BOLTON, CT 06043-7540
DEMUSZ WALDEMAR H & KRYSTYNA	20 LOOKOUT LANDING	BOLTON, CT 06043
60 VILLA LOUISA ROAD LLC	60 VILLA LOUISA RD	BOLTON, CT 06043
HARMON DAVID & KIM	40 LOOKOUT LANDING	BOLTON, CT 06043
ALBASI STEVEN E & MCCOOE KATHLEEN M	71 VILLA LOUISA RD	BOLTON, CT 06043
60 VILLA LOUISA ROAD LLC	60 VILLA LOUISA RD	BOLTON, CT 06043
ALBASI STEVEN E J+	VILLA LOUISE RD	BOLTON, CT 06043-7540
WEBER JEFFREY &	78 VILLA LOUISA RD	BOLTON, CT 06043
ALBASI LOUIS J EDWIN S & STEVEN	44 VILLA LOUISA RD	BOLTON, CT 06043



Town of Bolton

222 BOLTON CENTER ROAD • BOLTON, CT 06043

Date: August 1, 2022

To: Planning & Zoning Commission

From: Patrice L. Carson, AICP, Consulting Director of Community Development

Subject: Asim Etem's Special Permit Application at 60 Villa Louisa Road for Bed & Breakfast

INFORMATION

Application No.: VP#PL-22-7

Application Date: July 5, 2022

Receipt Date: July 13, 2022

Wetlands Permit Effective: Is permit is required?

Wetlands Permit Expires: Is permit required?

Public Notification: Published in *Journal Inquirer*: July 29, 2022 & August 5, 2022

Public Hearing Date(s): August 10, 2022

Applicant(s): Asim Etem

Owner(s): Asim Etem

This is an application for a Special Permit for a Bed & Breakfast on the property that currently is occupied by A Villa Louisa Restaurant and Banquet Facility. The owner and applicant, Asim Etem, intends to build a freestanding 4,000 square foot house with six (6) bedrooms including a handicap accessible bedroom with bathroom, a walkout basement, 2-car garage and possible swimming pool, with parking for up to six cars. The property is located in the Neighborhood Business Zone (NB) and Bed and Breakfast up to 6 rooms is allowed by Special Permit – Section 8B.2.b.12. The current use would be much more impactful to the surrounding properties than the addition of a Bed and Breakfast. From a Planning perspective, it would appear to be a good use to locate near the Banquet facility to provide short-term overnight stay options for a wedding or other event taking place at A Villa Louisa.

Questions and information needed:

1. *Will any additional permanent structures be built?* It does not appear that there will be any additional permanent structures built on the property outside of a swimming pool.
2. *Any additional paving or lighting?* A parking area for 3 cars and 1 handicapped space is shown in addition to the 2-car garage. The parking table appears incorrect calculating for 2 guest rooms but the narrative says 6 guest rooms (presumably it is 5 guest rooms and 1 room for the owner). The 2-car garage satisfies the owner's room but it would appear 2 more parking spaces would need to be added if the number of guest rooms is 5. There is no new lighting shown but lighting as well as landscaping will be needed.
3. Proof of Certified Mailing to abutters needs to be presented.

4. A map showing Wetlands on the property or a statement from a Soil Scientist that there aren't any wetlands needs to be submitted. If there are Wetlands on the property and a Wetland Permit needs to be obtained, the applicant will have to withdraw the application and resubmit either simultaneously with or after the Wetlands Permit Application is submitted per CGS.

Please see the Staff Review comments below which all need to be addressed before the Commission can render a decision on this application.

REPORTS RECEIVED

- Project Narrative
- 07/22/22 review email from Barbara Kelly, Inland Wetlands Agent with concerns
- 07/28/22 review email from Thad King, EHHD Public Health with 3 issues to address
- 07/29/22 review email from Bruce Dixon, Fire Chief, with comments to address
- 07/29/22 review email from James Rupert, with comments to address
- 07/29/22 review email from Joseph Dillon, PE with 6 issues to address
- 07/28/22 review email from Lance Dimock, DPW, with comments

ADDITIONAL INFORMATION RECEIVED

- Abutters List
- Site Development Plan & Details
- Architectural Floor Plans & Elevations
- Engineering & Legal Review Fee of \$2,000

ADDITIONAL INFORMATION NEEDED

- Warranty Deed
 - E&S Cost Control Bond Estimate
 - Site Improvements Bond Estimate
 - Site Plan Checklist
 - Detailed Drainage Report outlined in the Town Engineer's review
 - Landscaping Plan & Details
 - Lighting Detail (fixtures & cut sheets) and Isometric map/lighting plan
-

From: Kelly, Barbara

Sent: Friday, July 22, 2022 1:04 PM

To: Carson, Patrice <pcarson@boltonct.org>

Subject: RE: Staff Review Requested: Special Permit Application for Bed & Breakfast, 60 Villa Louisa Road, Asim Etem (VP#PL-22-7)

Hi Patrice,

Did they have a soil scientist determine that there are no wetlands on the site? If so, do they have a letter documenting the finding?

Take care,

BK

From: Thad D. King [mailto:KingTD@ehhd.org]

Sent: Thursday, July 28, 2022 6:18 PM

To: Carson, Patrice <pcarson@boltonct.org>

Subject: RE: Staff Review Requested: Special Permit Application for Bed & Breakfast, 60 Villa Louisa Road, Asim Etem (VP#PL-22-7)

1. Water – The location is already a public water supply. The new building is proposed with a separate well. A potential issue with CTDPH is establishing a separate water supply system. I recommend they submit the public water supply screening form to CTDPH to make a determination on whether a separate system can be established or interconnection with the existing water system is required.
2. Wastewater – the septic design requires review and they should make application at <https://easternhighlandshealthdistrict.viewpointcloud.com/categories/1088/record-types/6443>
3. Food Service – with 6 proposed bedrooms the total building load is likely under 16 but it must be owner occupied to be exempted from the Public Health Code food service establishment definition. If not exempt a food service plan review application is required, apply at, <https://easternhighlandshealthdistrict.viewpointcloud.com/categories/1083/record-types/6462> . Food service as a Bed and Breakfast is limited to breakfast. They need to identify what food service will be provided, and if a separate commercial kitchen will be provided.

Thad King MPH REHS CP-FS

Eastern Highlands Health District

4 South Eagleville Rd

Mansfield CT 06268

860 429 3325 W

860 208 9940 C



From: Bruce Dixon [mailto:boltonchief34@gmail.com]

Sent: Friday, July 29, 2022 7:17 AM

To: Carson, Patrice <pcarson@boltonct.org>; Rupert, Jim <jrupert@boltonct.org>

Subject: Re: Staff Review Requested: Special Permit Application for Bed & Breakfast, 60 Villa Louisa Road, Asim Etem (VP#PL-22-7)

Hello Patrice,

I have tried several times to open this plan review and I cannot get it to respond to my computer.

As this building is currently used with a very large public presence and currently has an occupied apartment on the second floor, I would believe that the parking and egress to this building is sufficient for a Bed and Breakfast suite. If construction to enlarge the building is requested, I would like to see a plan, maybe that is in the Viewpoint that I cannot open.

I would also yield to the Fire Marshal for his comments and concerns with the living space and requirements for that type of occupancy.

Best regards,

Bruce A. Dixon
Fire Chief
Bolton Fire Department
168 Bolton Center Road
Bolton, CT 06043
860-649-3910 Office



From: Rupert, Jim

Sent: Friday, July 29, 2022 2:51 PM

Subject: RE: 60 Villa Louisa Review Comments

Patrice,

We should be certain that the slope of the driveway does not exceed the maximum allowable per Bolton Zoning regs. Additionally I have concerns regarding the turn radius at the bottom of the driveway as well as the angle of departure for fire truck access. The plans should demonstrate adequate parking and I am concerned that with the limited parking shown on the plan there will be constant vehicle parking in loop at the front of the structure and with the width at 15' it would not provide emergency access. We have not performed any review of the building plans and silence on that front does not imply any approvals with them.

Jim

From: Joseph M. Dillon, P.E. [<mailto:jdillon@nlja.com>]
Sent: Friday, July 29, 2022 2:18 PM
Subject: 60 Villa Louisa Review Comments

Patrice,

We have reviewed the following:

- Set of five (5) drawings titled "Site Development Plan prepared for 60 Villa Louisa Road, LLC, 60 Villa Louisa Road – Bolton, CT", dated January 31, 2022, Prepared by Barton & Loguidice.
- 1. The submission should include a detailed drainage report the includes pre and post development analysis along with water quality measures
- 2. While the Site Development Plan includes a detail for Silt Fence, no silt fence is shown on the plan.
- 3. The test pits excavated near the proposed SSDS system indicate that rock was encountered between 11" and 41" below existing grade. The proposed grading for the driveway shows cuts of over 10 feet. There is a probability that rock and possibly groundwater may be encountered.
- 4. We would recommend that a cut-off swale be placed along the cut slope along the south shoulder of the access drive. The runoff from the swale should be diverted away from Villa Louisa Road to the greatest extent possible.
- 5. In accordance with Section 16A.3.j. of the Bolton regulations, an Outdoor Lighting Plan should be prepared.
- 6. In accordance with Section 16A.3.q. of the Bolton regulations, a Landscaping Plan should be prepared.

Should you have any questions, please feel free to contact me.

Regards,
Joe

Joseph M. Dillon, P.E.

 **Nathan L. Jacobson & Associates**
Consulting Civil and Environmental Engineers

Celebrating our 50th Anniversary 1972-2022

86 Main Street, P.O. Box 337, Chester, Connecticut 06412-0337

860.526.9591 • jdillon@nlja.com • www.nlja.com

From: Dimock, Lance
Sent: Thursday, July 28, 2022 1:53 PM
To: Carson, Patrice <pcarson@boltonct.org>
Subject: RE: Staff Review Requested: Special Permit Application for Bed & Breakfast, 60 Villa Louisa Road, Asim Etem (VP#PL-22-7)

Patrice- If there are no road or driveway changes, I really have no reason to comment.
Lance

Plan of Conservation & Development REFERRAL FORM



FOR: NOTIFICATION OF PROPOSED UPDATE OR AMENDMENT TO PLAN OF CONSERVATION & DEVELOPMENT <i>Fill in this form, save a copy for your records and send with appropriate attachments by mail or electronically to:</i> zoningref@crcog.org <i>(Please note, a printed copy of the draft plan is preferred.)</i>		
FROM: <input type="checkbox"/> Planning Commission <input type="checkbox"/> Planning and Zoning Commission	Municipality:	
TO: Capitol Region Council of Governments Policy Development & Planning Department 241 Main Street Hartford, CT 06106	Date of Referral:	
Pursuant to the provisions of Section 8-23(h)(4) of the General Statutes of Connecticut, as amended, the enclosed update/amendment of the _____ <i>(insert name of municipality above)</i> Plan of Conservation and Development is referred to the Capitol Region Council of Governments for comment.		
Scheduled Date of Public Hearing:		
Has this POCD been submitted to CRCOG previously? <input type="checkbox"/> YES <input type="checkbox"/> NO. If YES, on what date:		
Additional Comments:		
(FOR USE BY CRCOG)	Name:	
Date Received:	Title:	
Sent USPS/e-mail/other?	Address:	
File Number	Phone:	
	Email:	

BY LAW, THE PLANNING COMMISSION SHALL GIVE WRITTEN NOTICE OF ITS PROPOSAL TO THE REGIONAL COUNCIL OF GOVERNMENTS
NOT LATER THAN SIXTY_FIVE (65) DAYS BEFORE THE PUBLIC HEARING TO BE HELD IN RELATION TO THE SUBJECT POCD UPDATE/AMENDMENT.
NOTICE MAY BE MADE BY REGULAR MAIL, CERTIFIED MAIL (RETURN RECEIPT REQUESTED), HAND DELIVERY OR BY EMAIL TO
zoningref@crcog.org.

CRCOG-2017

Andover / Avon / Berlin / Bloomfield / Bolton / Canton / Columbia / Coventry / East Granby / East Hartford / East Windsor / Ellington / Enfield / Farmington
 Glastonbury / Granby / Hartford / Hebron / Manchester / Mansfield / Marlborough / New Britain / Newington / Plainville / Rocky Hill / Simsbury / Somers
 South Windsor / Southington / Stafford / Suffield / Tolland / Vernon / West Hartford / Wethersfield / Willington / Windsor / Windsor Locks

A voluntary Council of Governments formed to initiate and implement regional programs of benefit to the towns and the region

July 8, 2022

TO: BOLTON PLANNING AND ZONING COMMISSION

REPORT ON ZONING REFERRAL POCD-2022-2: Proposed POCD amendment adding the town's affordable housing plan into the plan.

COMMISSIONERS: Receipt is acknowledged of the above-mentioned referral. Notice of this proposal was transmitted to the Policy and Planning Division of the Capitol Region Council of Governments under the provisions of Section 8-23 (h)(4) of the Connecticut General Statutes, as amended.

COMMENT: The staff of the Regional Planning Commission of the Capitol Region Council of Governments has reviewed this referral and finds no apparent conflicts with regional plans and policies, the growth management principles of the State Plan of Conservation and Development, plans of conservation and development of other municipalities in the region, or the concerns of neighboring towns. Staff commends the town's efforts to incorporate their affordable housing plan into the town's Plan of Conservation and Development. Staff also commends the observations made in the study, and hope these proposed policies are implemented to further CRCOG's policies to promote greater diversity of housing types and costs.

The public hearing date has been scheduled for 7/9/2022.

In accordance with our procedures this letter will constitute final CRCOG action on this referral. Questions concerning this referral should be directed to Christopher Henchey.

DISTRIBUTION: Planner: Andover, Glastonbury, Hebron, Manchester, Vernon, Coventry

Respectfully submitted,

Jennifer Bartiss-Earley, Chairman
Regional Planning Commission

Brendan Malone, Vice Chairman
Regional Planning Commission



Christopher Henchey
Transportation Planner



Affordable Housing Plan

Town of Bolton, Connecticut

2022-2027

Prepared by: Nicholas Tatro
UConn MPP

Adopted by the Bolton Board of Selectmen, May 3, 2022

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Section 1

Why Are We Making This Plan?

To further the goals outlined in the Bolton Plan of Conservation and Development (POCD) and in response to the recently adopted Connecticut General Statute 8-30j which states, “At least once every five years, each municipality shall prepare or amend and adopt an affordable housing plan for the municipality,” the Town of Bolton has prepared this Affordable Housing Plan with the goal of increasing the availability of Affordable and attainable housing options in town. This plan was drafted with the intention of promoting housing that will meet the needs of residents both currently and in the future.

Public Act 17-170 outlines the requirements for the Affordable Housing Plan and the timeframe that municipalities have to meet for their affordable housing plan. Towns must adopt their first Plan by June 1, 2022. In addition, every five years, the affordable housing plan must be amended, or a new plan must be adopted. At a minimum, the statutory language requires that one goal of the plan should be to increase the number of affordable housing developments within the municipality.

CT General Statutes, Chapter 126, Section 8-23 includes that Plans of Conservation and Development shall:

- *[promote]expansion of housing opportunities and design choices to accommodate a variety of household types and needs.*
- *make provision for the development of housing opportunities, including opportunities for multifamily dwellings consistent with soil types, terrain and infrastructure capacity, for all residents of the municipality and the planning region in which the municipality is located...*
- *promote housing choice and economic diversity in housing, including housing for both low- and moderate-income households, and encourage the development of housing which will meet the housing needs identified in the state's consolidated plan for housing and community development...*

Section 2

History


Recognizing that access to reasonably priced housing was becoming difficult in many communities, in 1987 Governor William O'Neill established the Blue-Ribbon Housing Commission to study and review the housing situation in Connecticut. The Commission concluded that access to low-cost housing was too limited and, that there were too many barriers to access housing in many communities which was prohibiting many residents from having the opportunity to live in various communities based on the fact that the only type of housing available was single-family detached homes. The Commission further concluded that these barriers and development patterns were largely attributed to local zoning policies. Therefore, the Commission recommended that towns be given guidelines to help them update their zoning policies or that provisions be made to create specific circumstances by which specific housing developments would not be subject to these overly prohibitive policies if there was a reasonable justification for doing so.



In response, the 8-30g appeals process was created to provide a pathway for eligible Affordable housing which can demonstrate “just cause” to be developed only with the requirement that they demonstrate compliance with health and safety standards, but without the need to adhere to local zoning requirements. The phrase “just cause”


refers to one of

Connecticut’s major housing goals, which is to allow for more inclusive housing options, especially for low to moderate income individuals due to the fact that economic exclusivity and discrimination has been a significant issue Statewide. For the purposes of this Plan, the term “Affordable housing”, as we will explore in greater detail in the next section, means housing that is deed restricted to cost 30% or less of 80% of the area’s median income. The appeals process



only applies to municipalities that do not have at least ten percent (10%) of their housing stock classified as Affordable. The 10% threshold is a statewide objective that all municipalities must try to reach in an effort to realize this goal of housing choice. Even following the implementations of the 8-30g appeals process the amount of affordable housing being created in Connecticut was not drastically impacted, especially in smaller towns where limited access to sewer and water, along with geographical barriers made development more difficult.

Because of this, the CT General Statutes were recently amended to include Section 8-30j to encourage Towns to take a more proactive role in the process. While 8-30g is mostly applicable to developers because it allows them to disregard zoning regulations, 8-30j requires all towns to prepare and adopt an Affordable Housing Plan. Once developed by the Town, these Plans are more likely to align with the goals of each community and to be supported by their Plan Of Conservation and Development. The requirement for each town to develop an Affordable Housing Plan provides a pathway, even for Towns that do not typically see immense development pressure to identify the most appropriate way to work towards the State's housing goals in the context of their community.



Section 3

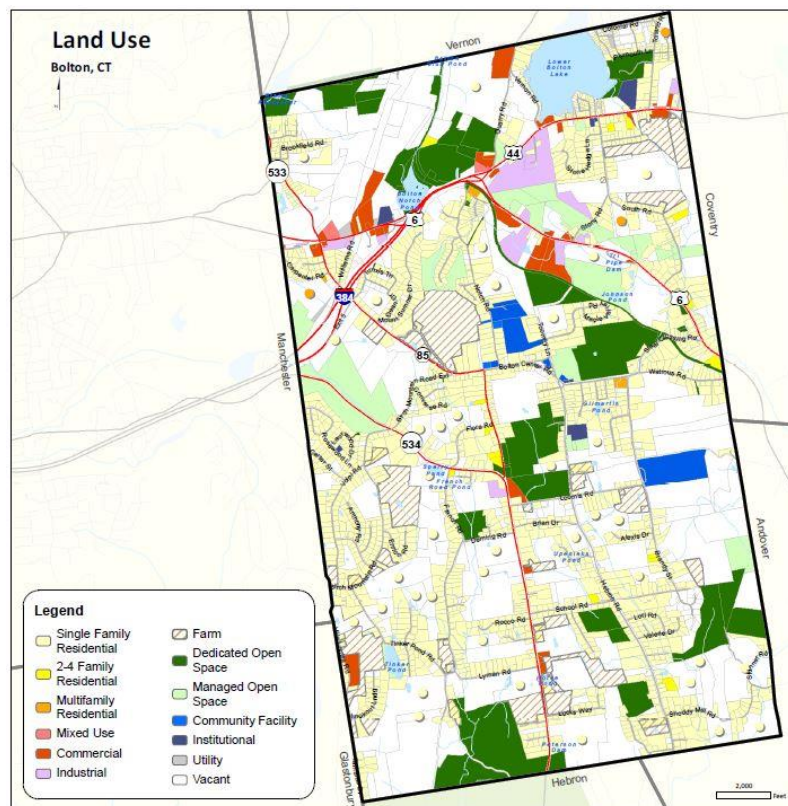
What Is Affordable Housing?

Many people have different ideas about affordable housing, what should qualify, and who should be eligible to live in these units. For the purposes of this plan, we will use the term as it is defined statutorily, which is a dwelling unit that has been deed restricted for a period of forty (40) years or more to not cost the person, family or household more than a specified amount. This limit, which is adjusted yearly, can be found by taking thirty percent (30%) of the eighty percent (80%) Area Median Income (AMI) as defined by HUD. For the specific language required to be included in these deed restrictions, please see 8-30g(6)

In Bolton, the area median income is \$104,300 as defined by HUD. The U.S. Low Income Limit AMI, however, is \$79,900. Because the Low Income Limit AMI is smaller, to calculate the maximum cost of affordable housing we must use the smaller value. The table below provides two examples specific to Bolton. These values can apply to either home purchase or rental rates, as long as they meet the requirement of being deed restricted. In the “State of Housing in Bolton” section of this Plan, we will see that the price limit is not the only factor that is limiting the availability of affordable housing in Bolton. A majority of rental properties and housing units fall below the monthly rate limits described in the table. The supply of these units, however, is limited. Also, a vast majority of the units are not deed restricted. Because they are not deed restricted, the rates are not locked in at the affordable value and the people eligible to rent the units are not just those that are low income who qualify for affordable housing.

	2 Person Home	4 Person Home
80% Area Median Income	\$63,950	\$79,900
30% of 80% Area Median Income	\$19,185	\$23,970
Monthly Cost (<i>not to exceed</i>)	\$1598.75	\$1997.50

Misconceptions about what an affordable housing unit or development actually looks like is also a significant barrier to the establishment of these units. Many people picture very large, high-density apartment complexes when they hear the term, but this is increasingly not the case. While housing developments which were built decades ago may have looked like this, many of these developments were built in high-density, urban environments. Even so, this style of buildings has been falling out of favor, even in city environments. Modern housing developments can be stylistically appealing and designed to match the context of where they are built, in the same way as a traditional commercial or residential development. Depending on the need in the area, an affordable housing unit can be anything ranging from single family units to a large multi-unit project. For a town like Bolton, the focus will likely be a smaller scale development which is driven by the Town's population and geographic location, as well as environmental factors such as the availability of suitable soils for well and septic, and any nearby wetlands, ledge, or other development constraints.

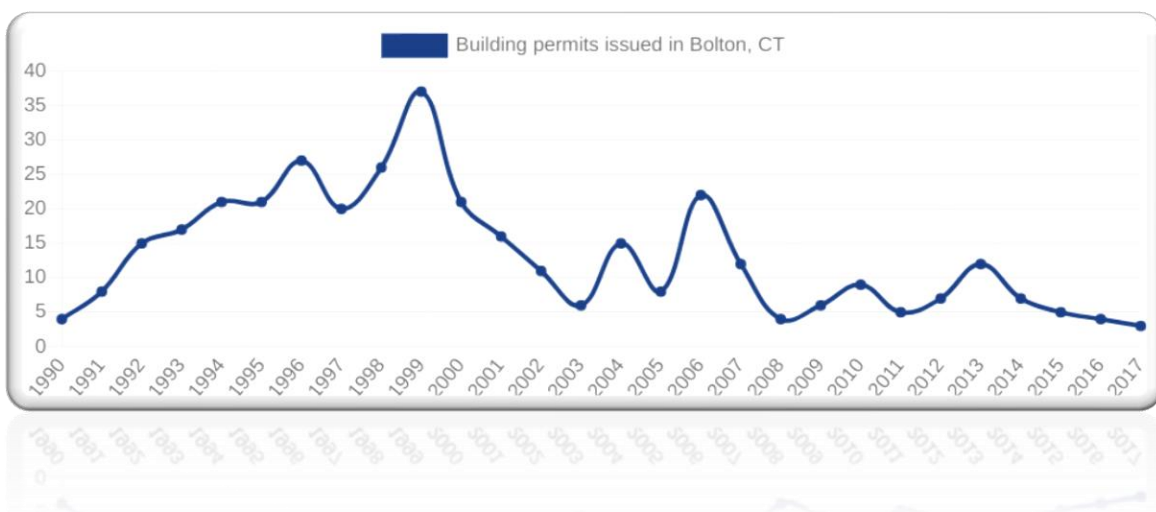


Section 4

State Of Housing In Bolton

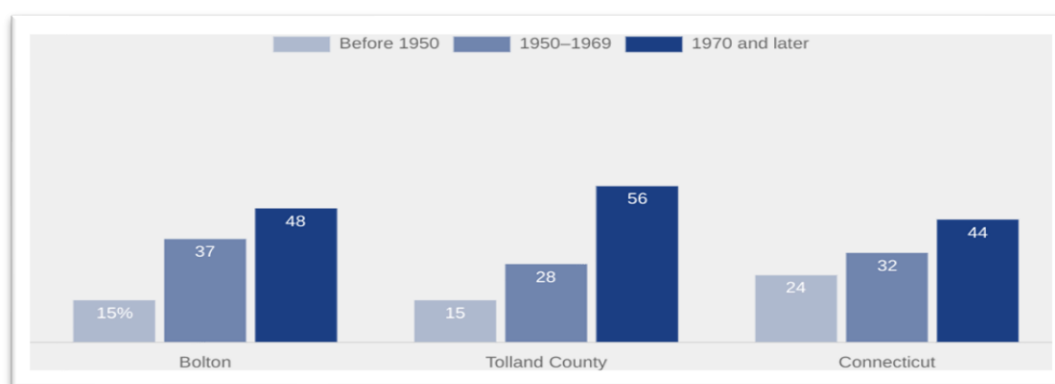
Bolton is a small community with a slow growth rate and a population that is projected to be on the decline based on the Plan of Conservation and Development estimates. While Connecticut as a whole is made up of a large number of slow growth communities, Bolton is well below the average growth rate for the state and region. Since 2000, there has been a 2.6% decline in population. In comparison, Tolland County has had a population increase of 10.5% and Connecticut as a whole has had an increase of 4.8%. The projected population for Bolton by 2030 is 4,212, which is a decrease of 14.5% from the current value of 4,928. With an average household size on the decline, it is important to understand the current availability of housing stock so that Town can work to minimize future population loss should this decline be related to the availability (or lack of) of specific types of housing.

The number of building permits has also greatly declined since the boom of the 1990's and early 2000s. At its peak in 1999, 37 new housing units were built. Comparatively, in 2017 there were only a total of 3. Below is a graphic from the Partnership for Strong Communities which shows the number of new housing building permits issued in Bolton from 1990-2017. While that alone may not be something to worry about, a decline in new housing permits coupled with a declining population however, is cause for concern. Without new developments and with an aging and declining tax base, it may become increasingly difficult to maintain current services and programs or establish new initiatives with a stagnant tax base and declining population.



Source: [Annual Housing Permit Data, DECD](#)

To get a better sense of what slow growth really means when it comes to housing, it is important to first look at the age of the Town's housing stock. A total of fifty-two (52%) of Bolton's housing was built before 1970, which is approximately ten percent (10%) higher than the average for Tolland County. Connecticut as a whole has roughly fifty-six percent (56%) housing stock built before 1970. While an older housing stock may be reflective of a desire to maintain a rural and historical aesthetic, this also means that Bolton's growth has not kept pace with the growth of neighboring communities.



Source: American Community Survey 2018, 5-year estimates, Table B25036

While the number and age of Bolton's housing stock are vital to build our understanding of the Town, it is also important to get a sense of what types of housing Bolton has. While it is true that Connecticut also has a large portion of its housing built before 1970, it is also true that it has many larger multi-family units, which can help to better sustain a growing population. These larger units are not characteristic of Bolton, and therefore limits the Town's ability to attract or maintain residents. Creating more affordable housing will not only work towards the goal of the ten percent (10%) required by the state; it will also help Bolton sustain its population base. It can also help Bolton to grow in the coming years while providing diversified housing options.

<i>Housing Units by Size</i>	Bolton	Tolland County	Connecticut
Total	1,932 100.0%	59,418 100.0%	1,512,305 100.0%
1 unit, detached	1,769 91.6%	41,234 69.4%	892,608 59.0%
1 unit, attached	24 1.2%	2,243 3.8%	80,684 5.3%
2 units	37 1.9%	2,224 3.7%	123,908 8.2%
3 or 4 units	10 0.5%	4,412 7.4%	130,948 8.7%
5 to 9 units	62 3.2%	3,756 6.3%	84,021 5.6%
10 to 19 units	0 0.0%	2,170 3.7%	57,153 3.8%
20 to 49 units	30 1.6%	1,185 2.0%	52,380 3.5%
50 or more units	0 0.0%	1,468 2.5%	78,492 5.2%
Mobile home	0 0.0%	715 1.2%	11,734 0.8%
Boat, RV, van, etc.	0 0.0%	11 0.0%	377 0.0%

Source: 2018 American Community Survey, 5-year estimates, Table B25024

Bolton currently only has 29 assisted housing units. Assisted Housing Units are defined in Connecticut as “housing which is receiving, or will receive, financial assistance under any governmental program for the construction or substantial rehabilitation of low- and moderate-income housing, and any housing occupied by persons receiving rental assistance under chapter 319uu or Section 1437f of Title 42 of the United States Code”. This accounts for only 1.4% of the housing supply. In comparison, Tolland County has 8% of the housing supply as assisted and Connecticut has 11.6% of its housing supply as assisted. Again, when we define Affordable housing, we are only interested in those units that are deed restricted to be affordable in the future as well. While it is true that market conditions may cause housing units to fall below this value, these “naturally occurring” units are not required to remain at an affordable rate. Because of this, they cannot be guaranteed for future affordability and therefore cannot be counted as meeting the affordable housing goal set by the State.

	Bolton	Tolland County	Connecticut
Total Assisted	29 (1.4%)	4,639 (8%)	172,277 (11.6%)
CHFA/USDA Mortgages	28	1,180	29,519
Governmentally Assisted Units	0	2,798	91,303
Tenant Rental Assistance	1	624	46,289
Deed Restrictions	0	37	5,166

Source: CT Department of Housing, 2019 Affordable Housing Appeals Listing

For reference, the current median rental rate for apartments in Bolton is \$970 (as of 2018). Most rental properties in Bolton fall below the affordable housing unit maximum rental cost however, the reason they do not qualify and cannot be counted toward the Town's ten percent goal is that these rental rates are not fixed. In a strong market, rental rates can rise year after year and can surpass the affordable housing cost limit. The fact that many of the existing housing units in Bolton are "naturally occurring" and fall below the Affordable threshold already is not insignificant. It tells us that at least for the time being, there are units in the community which can be rented at or below what would qualify as an Affordable housing unit. The fact that these units are not deed restricted and can be rented as market rate however does present a long-term concern as housing costs continue to increase. While the rental rates may not currently be an issue in terms of what is considered affordable by HUD, the supply of these units is not enough to satisfy the high demand for lower cost units. This is a problem that many Towns in Connecticut face, including Bolton.

Section 5

Who Benefits From Affordable Housing?

An increase in the number of affordable housing units not only benefits individuals looking to make Bolton their home but can also have a positive impact on Bolton's current residents. The most significant trend in Bolton's population is the projected increase in the number of residents above the age of 55. As life expectancy increases and the "baby boomer" generation (people born from about 1945 to 1965) enter these older age cohorts, a changing age composition will also result in changing demand for municipal services and housing types, (Bolton POCD, 2015, p. 7). Bolton's median age is 45, compared to that of Tolland County which is 36 and Connecticut which is 39. The percentage of residents above the age of 60 in Bolton is 26%. Bolton does not currently have many options for aging or senior residents. There is no senior housing and very few available units to buy or rent when considering downsizing. In the not-so-distant future, many of Bolton's seniors who wish to downsize to extract equity from their existing larger homes and move to a new type of housing that is lower cost, easier to maintain and better for accessibility will be forced to leave Bolton as these types of housing options currently are not available, particularly for those on fixed incomes. When they are unable to find these types of units locally, some may choose to stay in their current residence, this option is not possible for some people. Whether it be because of affordability or ageing related health or mobility issues, maintaining their existing residence will not be possible for many.



If lower cost housing options were to exist in Bolton, many of these seniors would not be forced to make these decisions and leave Bolton. Affordable housing options can provide seniors with the ability to remain in their community and close to family, without the undue burden of a home

they cannot maintain or financially support. In 2021, the Planning and Zoning Commission implemented changes to the Town's Zoning Regulations to allow for an Accessory Dwelling Unit (ADU) to be constructed on the same lot as a single-family home. With this new provision, it is possible for owners of single-family homes to rent these houses while they live on site in the ADU or, defray the cost of owning their home by renting the ADU to a tenant. While this will be an option for some, and these ADU's can, if the owner chooses be deed restricted to qualify as Affordable Housing, there are a number of situational factors that will prevent this alternative from being possible for many.

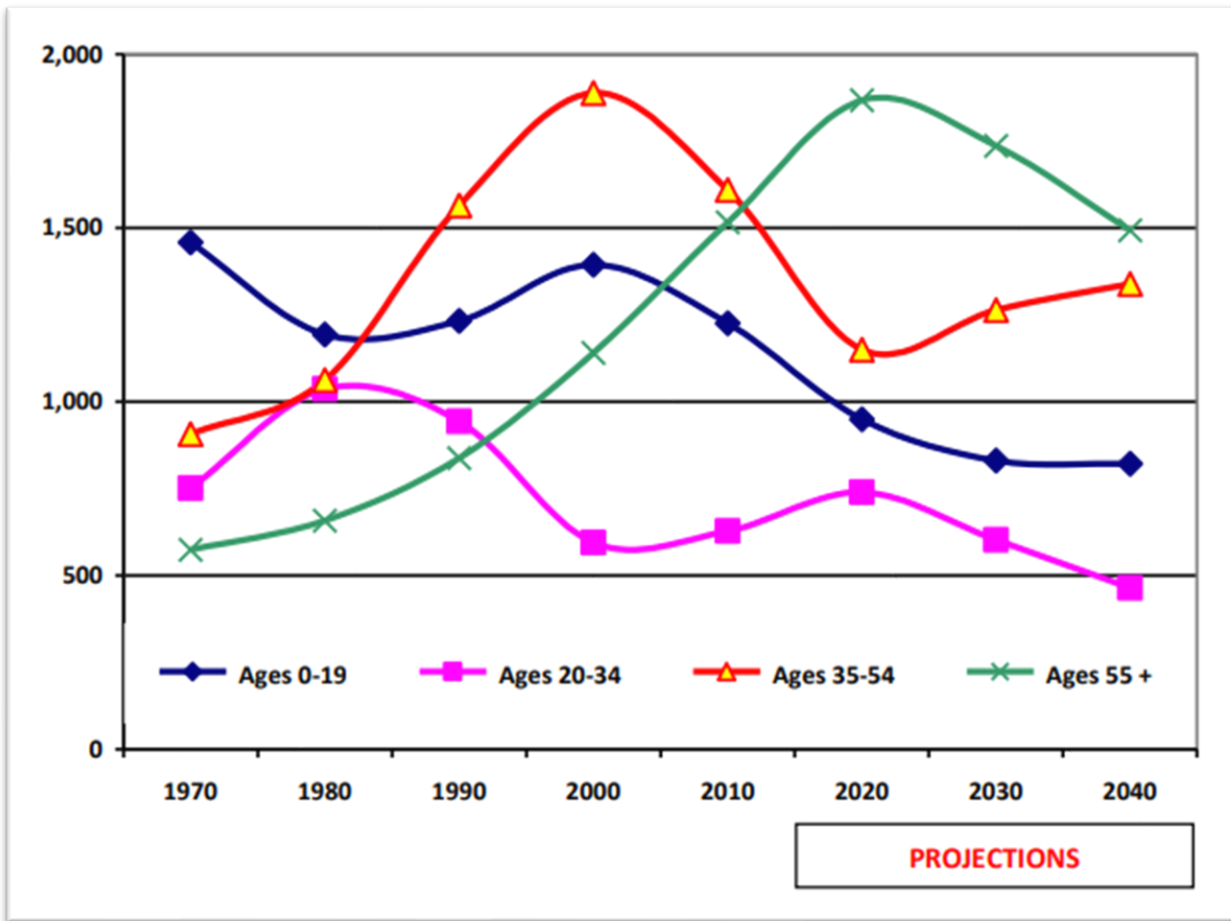


Besides seniors, affordable housing greatly benefits young professionals and children of residents. Very few people start with jobs that can pay for a mortgage while still having money to provide for necessities. Affordable housing lets people gain financial stability without having to sacrifice these important things. People who have lived their whole life in the Bolton community should not be forced out of the community because they do not make a lot of money. Also, young professionals who can provide for the future growth of the community should have a way to establish roots in the community to grow from. Having a high barrier of entry only hurts the future prospects of the town. Affordable single units or small multifamily units can attract young

professionals or allow residents to remain in their hometown. Affordable housing units do not have to be large complexes.

Besides these two major groups of residents, affordable housing can help people who are struggling for any number of other reasons. Currently, about a quarter (25.5%) of Bolton residents are cost burdened. Cost burdened means that a household spends more than 30% of their income on housing costs. This is the threshold where HUD says people “may have difficulty affording necessities such as food, clothing, transportation, and medical care.” Severely cost burdened is defined as spending 50% or more on housing costs, and 10% of households qualify as being severely cost burdened in Bolton. On the other hand only “A little over 1 percent of the housing units in Bolton are considered ‘affordable housing’ (governmentally assisted housing, receiving financial assistance, or sale price restricted by deed)” (Bolton POCD, 2015, p. 8). Neighbors living

in the Bolton community should not have to struggle to live and have their basic needs met. By taking initiative to create affordable housing opportunities, the Town of Bolton is looking to improve the lives of the residents who need it the most. Improving affordable options will make the community a better place.



(Bolton population projection from Bolton 2015 Plan of Conservation and Development)

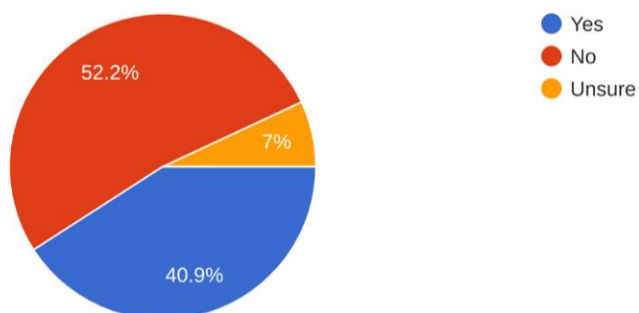
Section 6

Community Survey

To gain a better understand of how the Bolton community felt about a number of the topics discussed in this plan, a community survey was conducted. In an effort to reach as much of the community as possible, the survey was posted on the town's website, all the town social media channels, and sent out to the community via a Bolton Bulletin email. Paper copies were also made available. The following are some of the results of that survey:

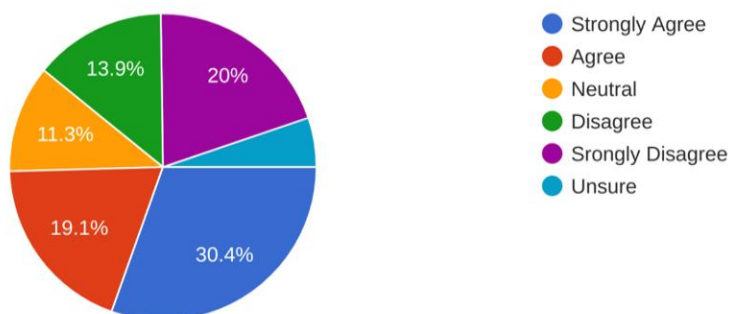
Do you think that the existing housing stock in Bolton is adequate to satisfy future resident's needs?

115 responses



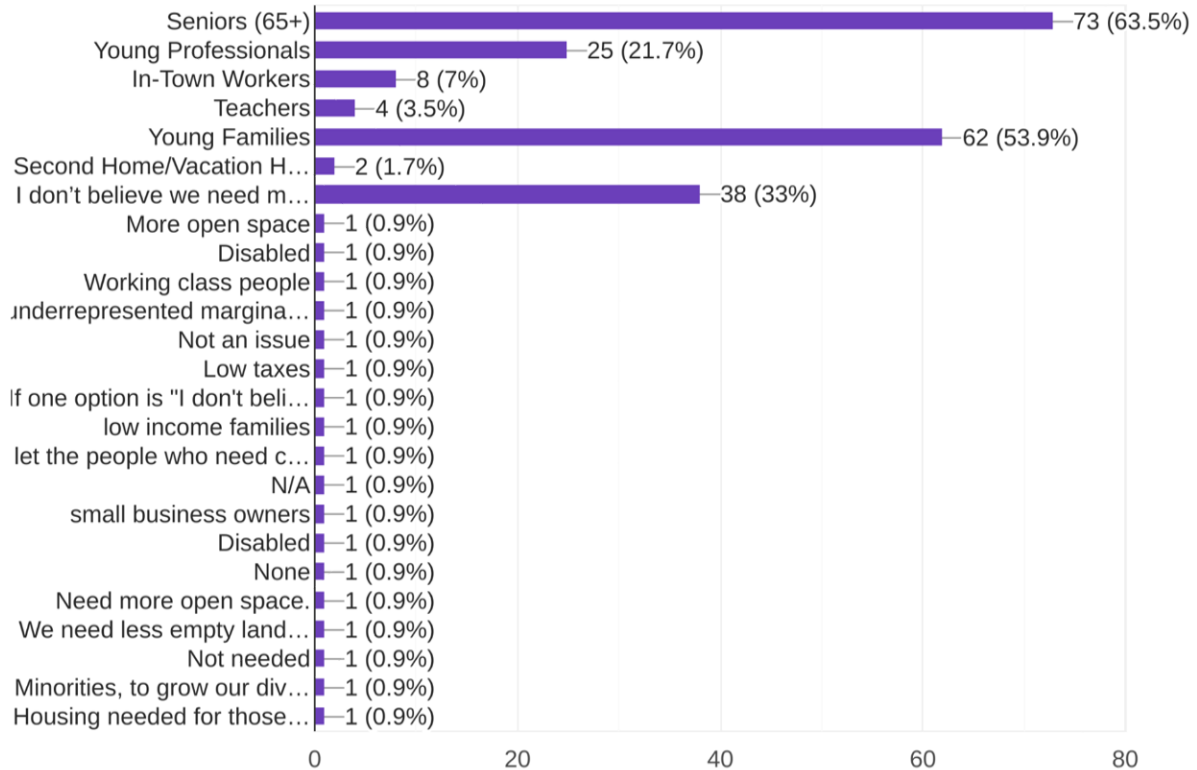
AFFORDABLE Housing is an important component of Bolton's longevity?

115 responses



In Bolton, for whom do you think housing units are most needed? (Select top 2)

115 responses



Section 7

Bolton's Future

With an eye towards the future, Bolton should review multiple alternatives to increase its supply of affordable housing and meet the needs of its residents. As it stands, there are very few economic reasons for developers and landlords to build or establish units that are Affordable. Because of this, the town should consider encouraging the development of new Affordable housing through incentive programs, grants, zoning changes, or other economic means. There should especially be a focus on age-restricted housing, given the aging population and high community demand.

In addition to high economic costs, finding suitable locations is major barrier which impacts the amount of Affordable housing in Bolton. As a small town, Bolton has limited access to public sewer and water which makes higher-density housing developments more feasible. Because of this, the Town should work to identify locations which can support small-scale multi-family housing that is more feasible based upon Bolton's lack of infrastructure. While many parcels may look appealing based on their size and location, there are other environmental and zoning factors that limit these options. While environmental factors, for the most part, cannot be avoided, changes in zoning regulations can make some projects feasible that would not be possible otherwise. These zoning regulation recommendations are outlined in the table below. Bolton currently has multiple housing units which are naturally occurring and could qualify as Affordable if they were to be deed restricted. Because of this, the Town should incentivize owners to deed restrict these units as Affordable. Also, the Town should also work to educate first time and lower income home buyers about USDA and CHFA loans. These loans not only make home buying more attainable, but these loans also qualify each home to be counted towards Bolton's 10% Affordable housing goal.

The development of this Plan has involved an examination of many different factors, all of which directly relate to the diversity of Bolton's housing stock both currently and moving forward. While it is clear that there are a number of constraints which may limit the suitability of widespread higher-density developments, there are options that the Town can implement which can work to create housing that is appropriate in the context of Bolton. As the Town works to maintain all of the components of the community which the residents of Bolton have come to love, it is crucially important that making affirmative changes to housing policies and practices be considered so that the residents of Bolton today are able to continue to be Bolton residents tomorrow.

Bolton Affordable Housing Plan Observations and Recommendations

	Current Regulations	Observation	Recommendation
Multifamily housing	6A.14: Multiple Dwelling Complexes (Traditional and for the Elderly) allowed only in R-2 zone by Special Permit	A special permit is required for almost all forms of multifamily housing in Bolton. This is a barrier to development and can discourage developers from building multiple- family housing.	The Town should consider allowing lower density multifamily housing (2-4 units) as of right in some of its residential zones, provided soil conditions can support it.
	6A.15 & 7A.4. Open Space Conservation Development Multiple Dwelling Complex allowed in R-1 and R-2 zones by Special Permit		
Accessory Dwelling Units	6A.3: Allows 1 ADU as of right per single family detached house in all Residence Zones	In October of 2021, the Bolton Planning & Zoning Commission amended its Zoning Regulations Sections 2, 3, 6, 8, 9, and 11 to further encourage ADUs and in compliance with PA 21-29. ADUs are allowed in all zones and as they are no longer restricted to occupancy by related persons, they provide additional access to low-cost housing.	The Town should work to encourage these units to be deed restricted when possible and to educate the Community that this housing option now exists.
Two-Family Dwellings	6A.2: Allows Two-family dwelling units in R-1 and R-2 as of right	Two-family dwellings can help facilitate increased density and provide lower cost housing options to residents who would prefer to live in a more traditional housing type	The Town should evaluate current Zoning policies to determine if expanding the areas that Two-Family dwellings area allowed is appropriate
Mixed Use	9B2.b: allows for mixed use developments by Special Permit which includes a 20% affordable component in the GMUIZ	If Bolton wants to prioritize seniors in its future housing development, allowing for age restricted housing as of right in multiple zones significantly expands opportunities for older residents.	The Town should consider expanding the zones that allow for elderly housing and further evaluate if these uses can be allowed without the need for Special Permit
	8C.2.b: allows for mixed use developments by Special Permit which includes a 20% affordable component in the RMUZ		
Incentive Housing	Bolton's Planning & Zoning Commission identified an area along Route 44 that could be eligible as an Incentive Housing Overlay Zone.	Incentive Housing Overlay Zones is a strong tool that encourage the establishment of Regulations to provide for housing that is deed restricted to Affordable levels.	The Town should review the proposed Incentive Housing Overlay Zone and determine if moving forward with its implementation is appropriate
Elderly Housing	6A.13: Allows Continuing Care Retirement Communities in all residential zones, and 6A.14: Allows age-restricted multiple dwelling complexes by Special Permit in the R-2 Zone.	If Bolton wants to prioritize seniors in its future housing development, allowing for age restricted housing as of right in multiple zones significantly expands opportunities for older residents.	The Town should consider expanding the zones that allow for elderly housing and further evaluate if these uses can be allowed without the need for Special Permit.