

**BOLTON PLANNING & ZONING COMMISSION**  
**Regular Meeting**  
**7:30 p.m., Wednesday, June 8, 2022**  
**Virtual**  
**Minutes & Motions**

**Members Present:** Chairman Tom Manning, Arlene Fiano, Jeremy Flick (arrived 7:39 p.m.), Thomas Robbins, Jeffrey Scala, and Alternates Tom Crockett, Rodney Fournier, Kawan Gordon

**Members Excused:** Vice Chairman James Cropley, Brittany Clark

**Staff Present:** Patrice Carson, AICP, Consulting Director of Community Development and Yvonne Filip, Recording Secretary

**Others Present:** Bill Jodice, Randy Becker, Steven Rockefeller

**1. Call to Order:** T. Manning called the meeting to order at 7:32 p.m. The following were seated: T. Crockett for J. Cropley, R. Fournier for J. Flick, K. Gordon for B. Clark.

**T. Manning moved** to add item **6.d. Discussion: Cannabis Regulations** to the agenda. **J. Scala seconded.** Vote (7-0-0). Motion passed.

**2. Approval of Minutes: May 11, 2022, Regular Meeting Minutes**

**A. Fiano moved** to approve the minutes of the May 11, 2022, Regular Meeting as written. **J. Scala seconded.** Vote: 5-0-2 (Fournier, Gordon). Motion passed.

**3. Residents' Forum:** No one present wished to speak on a non-agenda item.

**4. Staff Reports**

P. Carson reported:

- Working on helping prepare the application for a business at 299 Hop River Road. This may be ready for the July meeting.
- Following up with the last 2 approvals.
- Working on the cannabis regulations.
- Working with Able Coil.

**5. Old Business**

**a. Other:** There was none.

**6. New Business**

**a. Application: Zone Change from RMUZ and R-2 to GB, 837 Boston Turnpike, Able Coil and Electronics Co. – receive and set hearing date - Application PL-22-5** per P. Carson  
J. Flick joined the meeting at 7:39 p.m. Fournier was unseated.

Randy Becker, engineer for PDS Construction, is submitting a zone change application to consolidate Able Coil's operations. The property to the south would remain as industrial. The proposal is to modify adjacent lots 1 & 2 that are in different zones through a lot line modification. Lot 1 will remain in the RMUZ zone. Lot 2, six acres in size, would change from

the R-2 zone to GB. The proposed changes is to take 75' from the building to a new lot line for lot 1. This will get rid of the right-of-way moving the line to the east. Lot 1, of 1.8 acres, will remain in the RMUZ zone. The proposed building addition would then be in the new GB zone.

T. Crockett: What is the size of the existing building? R. Becker: 20,000 sq. feet and the new building will add 12,000 sq. feet.

J. Flick: We are not deleting an easement? R. Becker: We are eliminating a right-of-way on lot 1. P. Carson: ROW is no longer needed because Able Coil will own all the properties.

J. Scala: Is lot 1 an approved building lot? Will this affect the septic system? P. Carson: It is an approved lot but it is on the sewer line. J. Scala: Was there any discussion to change lot 1 to the industrial zone? R. Becker: Felt it would be better accepted as GB being adjacent to an R-2.

**T. Manning moved** to accept this application (PL-22-5) and set a public hearing date for July 13, 2022, at 7:45 p.m. at 222 Bolton Center Road or Virtually. **J. Flick seconded.** Vote: 7-0-0. Motion passed.

**b. Application: Special Permit for 12,000 SF Pre-Engineered Metal Building Addition for Light Manufacturing, 837 Boston Turnpike, Able Coil and Electronics Co – receive and set hearing - Application PL-22-4 per P. Carson**

Steven Rockefeller, owner: Primarily the genesis of the project is to move the light manufacturing and repair work from 25 Howard Road to this new building. Over last couple of years we have found operating in two different buildings has not been efficient. Traversing back and forth on Route 44 is quite risky. He suggested installing a traffic light to improve safety. Also, the new solar system on the new building will save on electricity at the old plant.

R. Becker: There is a sewer stub at the street. The plan includes putting in a pump station. The grades suggest a drainage basin. Turning radius for large trucks is available. Additional parking of forty spaces is suggested bringing the total to 104 parking spaces. This area is already cleared and smooth. Not a lot of earth moving involved. There will be a small detention basin with a level spreader. There is a connector between the 2 buildings.

P. Carson: Staff is pretty sure there are wetlands near or on the property but we do not know how far away from the development. The applicant may have to apply for a wetlands permit. PZC can accept the application at this time and set the public hearing for July 13, 2022. R. Becker: He spoke to Peter Henry and Andrew Bushnell today who have worked on this property. To the best of their knowledge the wetlands is farther back on the property. Bushnell will share his maps with the flagged wetlands. J. Scala: Depending upon on the date of the maps the wetlands survey may have to be redone. S. Rockefeller: There are wetlands on the existing parcel; he does not think there are any wetlands on lot 2 that are close.

**T. Manning moved** to accept this application (PL-22-4) and set a public hearing date for July 13, 2022, at 7:45 p.m. at 222 Bolton Center Road or Virtually. **J. Scala seconded.** Vote: 7-0-0. Motion passed.

**c. Discussion/Revise/Adopt the POCD to include the 2022 Affordable Housing Plan**



P. Carson: The process requires the Plan be referred to CRCOG for review; they have 65 days to respond. During that time the Plan needs to be posted on the website and filed with the Town Clerk; these steps have been done. A legal notice will have to be filed for the public hearing.

T. Manning: Suggests putting off the public hearing until August as PZC is already anticipating the two applications for the July meeting. A. Fiano: We are not under any timeline? P. Carson: No. A. Fiano: She agrees with T. Manning.

J. Scala: Is assuming there will be a public hearing for cannabis regulations as well, which is probably more pressing. PZC should not be in any hurry and push the POCD off until later. T. Manning: The plan has been approved by the BOS, filed with the Town Clerk and posted to the town website, and is being sent to CRCOG. P. Carson: The last step is to hold the public hearing. There is nothing else required of PZC on this matter.

**T. Manning moved** to set a public hearing on this matter for August 10, 2022, at 7:45 p.m. at 222 Bolton Center Road or Virtually and Staff to refer this to CRCOG. **K. Gordon seconded.** Vote: 7-0-0. Motion passed.

#### **d. Discussion: Cannabis Regulations**

T. Crockett: Page 17 mentions limited access to public sewer and water. Where do we have public water? P. Carson: There are public water supply wells in town. T. Manning: A public water system is a specific defined term with Department of Public Health.

T. Manning: A recent change in legislation prompted this consideration of regulations. P. Carson: Up until a week ago there was a requirement of only having one retailer and one micro-grower in each town; that has been repealed. There are distance requirements from certain types of establishments. M. D'Amato's suggestion is two-fold: Does the PZC want to try to put a moratorium in place in order to have some time to work on the regulations or to accept the regulation as presented here? J. Scala: Suggest we go to moratorium and spend time discussing this. This is a good start but as a commission we can get it to what we want for Bolton. P. Carson: Members should review and send her any comments to work on with M. D'Amato.

**J. Scala moved** to hold a public hearing for a moratorium prohibiting cannabis establishments and related uses for July 13, 2022, at 7:45 p.m. at 222 Bolton Center Road or Virtually. **T. Crockett seconded.** Vote: 7-0-0. Motion passed.

**7. Correspondence:** There was none.




**8. Adjournment:** **J. Scala moved** to adjourn the meeting at 8:42 p.m. **T. Robbins seconded.**

Respectfully Submitted,

Yvonne B. Filip

Yvonne B. Filip, Planning & Zoning Commission Recording Secretary

*Please see minutes of subsequent meetings for approval of these minutes and any corrections hereto.*

Planning Permit	Applicant	Location
PL-22-4	<div><div> Randy Becker</div><div> 8602428586</div><div> randyb@pdsec.com</div></div>	837 BOSTON TPKE BOLTON, CT 06043

Permit Info

Permit For	Building Type
Special Permit Commercial or Industrial Construction or Addition	Commercial
	Development Title
	--
Occupancy Type	Project Cost
Commercial	1500000
Project Description	
12000 SQFT MANUFACTURING / WAREHOUSE	
Is this a modification of a previously approved application?	
No, this is a new application.	

Additional Applicant Info

Applicant Type	Application Contact Name
Other	BILL JODICE

Additional Project Info

Legal Notice Date 1	Legal Notice Date 2
--	--
Existing Gross Sqft	Proposed Gross Sqft
--	12000
Existing Parking Spaces	Proposed Parking Spaces
59	45
Total Acreage / Sqft	Linear Feet of Frontage
45.27	480
Distance to Town Line	
--	

Parcels Included in Project

MBL / Parcel ID	Land Records: Vol.
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Construction Progress

Construction Progress	Time Spent (hrs)
0	--

Setbacks

Front Required	Front Provided
--	--
Back Required	Back Provided
--	--
Left Required	Left Provided
--	--
Right Required	Right Provided
--	--
Open Space Required	Open Space Provided
--	--
Lot Coverage Required	Lot Coverage Provided
--	--

Engineer Information

Company Name	Engineer Name
PDS ENGINEERING & CONSTRUCTION INC	--
Address	City
107 OLD WINDSOR ROAD	BLOOMFIELD
State	Zip
CT	06002
Phone	Registration #
8602428586	--
Insurance Expiration	AOR
--	--
Email	
BILLJ@PDSEC.COM	

Architect Information

Company Name	Architect Name
PDS ENGINEEGING & CONSTRUCTION INC	--
Registration #	License Expiration
--	--
Address	City
107 OLD WINDSOR ROAD	BLOOMFIELD
State	Zip
CT	06002
Phone	Email
8602428586	BILLJ@PDSEC.COM
AOR	
--	

Attorney Info

Name	Address
--	--
City	State
--	--
Zip	Phone
--	--
Email	
--	

Contractors

Other Experts Retained by Applicant

Name	Title / Expertise
RANDY BECKER	P.E.
Address	Phone No
107 OLD WINDSOR ROAD	8602428586
New Field	
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**Application Submission and Certification**

I hereby certify that I am the owner of the record of the named property or that the proposed work is authorized by the owner of record and I have been authorized to make this application as agent, and we agree to conform to all applicable laws, regulations, and ordinances. All information contained within is true and accurate to the best of my knowledge.

**Electronic Signature**

true

**Applicant Name**

WILLIAM JODICE



# Town of Bolton

222 BOLTON CENTER ROAD • BOLTON, CT 06043

## BOLTON PLANNING AND ZONING COMMISSION

### APPLICATION FOR SPECIAL PERMIT, SITE PLAN REVIEW OR MODIFICATION OF A PREVIOUSLY APPROVED APPLICATION

1. Application Title: ABLE COIL AND ELECTRONICS CO. MANUFACTURING BUILDING /  
WAREHOUSE

2. Check all that apply:

☒ Special Permit Application ☐ Modification of an Approved Special Permit Application\*

☒ Site Plan Review Application ☐ Modification of an Approved Site Plan Review Application\*

\* The Commission may require a new application if the proposed modification significantly alters the previously approved application.

3. Street Address of subject property 837 BOSTON TURNPIKE, BOLTON, CT 06043
4. Deed Reference (Bolton Land Records) Volume 180 Page 1042
5. Assessor's Records Reference: Map # 05; Block # \_\_\_\_\_ Parcel / Lot # 159 / LOT 1 / LOT 2
6. Current zone(s) of subject property GB/IND/RMUZ/R-2 Acreage: 37.19 + 1.87 + 6.21  
LOT 1 LOT 2
7. In Aquifer Protection District? Yes \_\_\_\_\_ No ☒
8. In FEMA Flood Area? Yes \_\_\_\_\_ No ☒
9. Wetlands Application Required? Yes \_\_\_\_\_ No ☒
10. Applicant(s) ABLE COIL AND ELECTRONICS CO. / PDS ENGINEERING & CONSTRUCTION  
Address 837 BOSTON TURNPIKE, BOLTON, CT Zip 06043 INC  
Phone # 860-646-5686 Fax # 860-646-5678 E-mail ablesales@ablecoil.com
11. Owner(s) of subject property HOWARD ROAD REALTY, LLC  
Address P.O. Box 9127 / 25 HOWARD ROAD, BOLTON, CT Zip 06043  
Phone # N/A Fax # N/A E-mail N/A
12. Official Contact / Representative regarding this Application: STEVEN K. ROCKEFELLER  
Address P.O. Box 9127 / 25 HOWARD ROAD, BOLTON, CT Zip 06043  
Phone # 860-646-5686 Fax # 860-646-5678 E-mail srockefeller@ablecoil.com

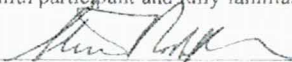
13. Project Engineer: PDS ENGINEERING & CONSTRUCTION, INC  
Address 107 OLD WINDSOR ROAD, BLOOMFIELD, CT Zip 06002  
Phone # 860-242-8586 Fax # 860-242-8587 E-mail billj@pdsec.com
14. Project Architect: PDS ENGINEERING & CONSTRUCTION, INC  
Address 107 OLD WINDSOR ROAD, BLOOMFIELD, CT Zip 06002  
Phone # 860-242-8586 Fax # 860-242-8587 E-mail billj@pdsec.com
15. Other Experts Retained by Applicant: RANDALL J. BECKER, P.E. 20603  
PDS ENGINEERING & CONSTRUCTION, INC.  
860-242-8586 randyb@pdsec.com
16. Briefly describe the proposed use of the subject property. Provide greater detail in Project Narrative.  
NEW 12,000 SQ. FT. PRE-ENGINEERED METAL BUILDING  
TO BE USED FOR LIGHT MANUFACTURING / WAREHOUSE.
17. Square footage of new / expanded space: 12,000 # of new parking spaces 45
18. List the Section(s) of the Zoning Regulations under which application is made: 8

19. Provide all the applicable items for a complete application including a completed Checklist for Site Plan Review and Special Permit Applications. A completed checklist must be provided to comprise a complete application.

20. Applicant's Endorsement:

I am a willful participant and fully familiar with the contents of this application.

Signature



Date

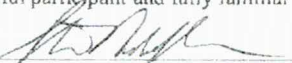
6/2/2022

William Z. Indre 6/2/2022  
PDS ENGINEERING & CONSTRUCTION INC

21. Owner's Endorsement:

I am a willful participant and fully familiar with the contents of this application.

Signature



Date

6/2/2022

**NOTE:** If there are any material changes to this application, the Applicant shall immediately notify the Town Staff in writing.

Applicants may be subject to Supplemental Review fees to defray the cost of Professional Review Services such as engineering or legal reviews.

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**For Town Use Only**

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Base Fee Paid \_\_\_\_\_ Check # \_\_\_\_\_

Date application received by Inland Wetlands Commission (if applicable) \_\_\_\_\_

Date of Inland Wetlands Commission action (if applicable) \_\_\_\_\_

Date application received by Planning and Zoning Commission \_\_\_\_\_

Date of public hearing (if required) \_\_\_\_\_

Date of Planning and Zoning Commission action \_\_\_\_\_

Date of newspaper publication of Planning and Zoning Commission action \_\_\_\_\_

Summary of Planning and Zoning Commission action \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**Revised March 11, 2009**



**PL-22-4 (Special Permit Application):**

Since 1969 Able Coil & Electronics has manufactured precision-wound coils, toroids, transformers, solenoids, cable and connector harnesses, and many other electrical assemblies. We're currently operating out of two facilities, 837 Boston Turnpike and 25 Howard Road. In an effort to increase operational efficiencies and reduce cost, we're proposing to build a new 12,000 sq-ft building behind our facility at 837 Boston Turnpike. When complete, we plan to move operations from 25 Howard Road to 837 Boston Turnpike. Manufacturing operations performed in the new building will be light industrial and typical for our business. This includes coil winding, electrical assembly, and mechanical assembly. The following operations will also be performed in the new building.

- Small fabrication and repair work center to support operations, repair, and maintenance needs.
- 3D print room to support prototype and custom tooling requirements.
- 2 small plastic injection molding machines to over mold coils.
- Storage of spooled wire, slow moving inventory, and finished goods.
  
- We estimate 25 employees will work in the new building. The buildings will be connected via a connector so we can share both technical and supervisory resources in a more efficient manner.

MARQUES DAVID & DEBELLA-MARQUES ASHLEY & SURV  
WEI RULING  
DORGAN MICHAEL  
DEBLOIS DAVID J & SANDRA M  
CRAYCO JOYCE MUISENER  
BOLTON TOWN OF  
BOLTON TOWN OF  
CALHOUN STEVEN J  
BOLTON TOWN OF  
MORGANSON WAYNE  
ROBBINS THOMAS J & CARLA T  
STAVENS BROTHERS INC  
VERRASTRO KENNETH F  
FAULKNER JOSEPH & YOLANDE A & SURV  
DOMENICO ROBERT W  
CONNECTICUT STATE OF  
PERITO DOMENIC D & FOFANA KIMBERLY M  
MAIELI SILVIO C & MAIELI SYLVIA C  
DZEN RAYMOND A & JANICE L  
HOWARD ROAD REALTY LLC  
BASSETT DEBORAH ANN  
AAL ONLY LLC  
PEACOCK RICHARD & CATHERINE  
EAGLES NEST HOLDINGS LLC  
LAPENTA CHRISTOPHER  
BOLTON SELF STORAGE LLC  
BOLTON TOWN OF  
MCFATTER ROBERT & CHRISTINE MCFATTER  
BEAUDOIN RONALD A  
TOOMEY PAUL M & SHIRLEY A & SURV  
TOOMEY PAUL M & SHIRLEY A & SURV  
PERITO DOMENIC D & FOFANA KIMBERLY M  
ADAMS JAMES D & OUNPUU SYLVIA  
GRANT PARKER A & WENDIANNE C  
MORTENSEN GARY & MORTENSEN KAREN  
BRYK DANIEL T  
HOWARD ROAD REALTY LLC  
HOWARD ROAD REALTY LLC  
ST JOHN ERIC  
ST JOHN ERIC  
ST JOHN ERIC  
BOLTON MOUNTAIN VIEW LLC  
AAL ONLY LLC  
DELLERT MARK  
BOLTON TOWN OF  
KELLY DEVIN K

BOLTON TOWN OF  
BOLTON TOWN OF  
BOLTON TOWN OF  
LANDRY RONALD G & BUTLER SANDRA S  
ANDERSON MATTHEW P &  
RYGELIS ANTANAS  
BOMBRIA JAMES C & COLLEEN S  
MORIN MICHAEL M  
RLB REAL ESTATE HOLDINGS LLC  
HOWARD ROAD REALTY LLC  
PROSPECT APARTMENTS LLC  
LAWTON ALLEN A III  
BOLTON NOTCH SELF STORAGE LLC  
BOLTON NOTCH SELF STORAGE LLC  
MANEGGIA ANDREW T & JEANNE M  
OWREN PETER N & RHODA L  
BOLTON TOWN OF  
BOLTON ICE PALACE LLC

**LIST OF ABUTTERS WITHIN 500 FT OF 837 BOSTON TPKE**

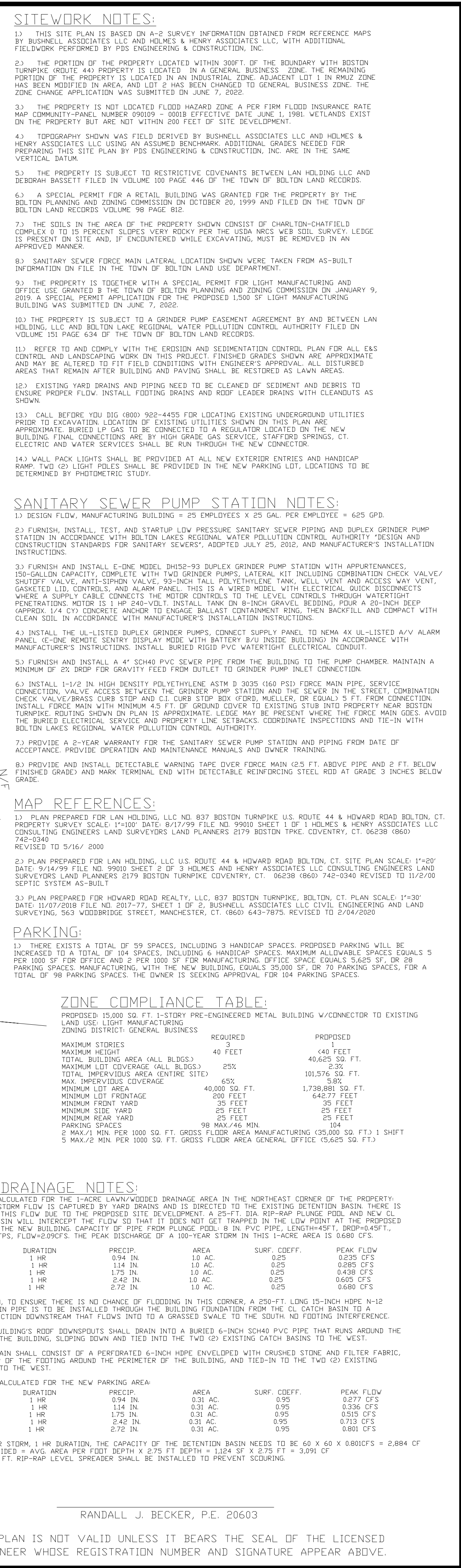
44 STONEHEDGE LANE	BOLTON, CT 06043
345 BUFF CAP RD	TOLLAND, CT 06084
56 STONEHEDGE LANE	BOLTON, CT 06043
753 BOSTON TPKE	BOLTON, CT 06043
733 BOSTON TPKE	BOLTON, CT 06043
222 BOLTON CENTER RD	BOLTON, CT 06043
222 BOLTON CENTER RD	BOLTON, CT 06043
674 BOSTON TPKE	BOLTON, CT 06043
222 BOLTON CENTER RD	BOLTON, CT 06043
50 STONY RD	BOLTON, CT 06043
85 STONY RD	BOLTON, CT 06043
PO BOX 406	WILLINGTON, CT 06279
13013 MICHAEL CALLIN ALLEY	ORLANDO, FL 32828
12 NOTCH RD	BOLTON, CT 06043
18 NOTCH RD EXT	BOLTON, CT 06043
79 ELM	HARTFORD, CT 06106
15 VERNON RD	BOLTON, CT 06043
38 STONEHEDGE LA	BOLTON, CT 06043
59 STONEHEDGE LA	BOLTON, CT 06043
25 HOWARD RD	BOLTON, CT 06043
8 HOWARD RD	BOLTON, CT 06043
6134 30 ST NW	WASHINGTON, DC 29912
23 QUARRY RD	BOLTON, CT 06043
10 QUARRY RD SUITE C	BOLTON, CT 06043
382 HOP RIVER ROAD	BOLTON, CT 06043
131 OLD ANDOVER RD	HEBRON, CT 06248
222 BOLTON CENTER RD	BOLTON, CT 06043
81 STONY RD	BOLTON, CT 06043
2 COOK DR	BOLTON, CT 06043
38 TOOMEY LA	BOLTON, CT 06043
38 TOOMEY LA	BOLTON, CT 06043
15 VERNON RD	BOLTON, CT 06043
48 STONEHEDGE LANE	BOLTON, CT 06043
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922 BOSTON TPKE	BOLTON, CT 06043
61 STONEHEDGE LA	BOLTON, CT 06043
25 HOWARD RD	BOLTON, CT 06043
25 HOWARD RD	BOLTON, CT 06043
17 HOWARD RD	BOLTON, CT 06043
17 HOWARD RD	BOLTON, CT 06043
17 HOWARD RD	BOLTON, CT 06043
81 TUMBLEBROOK DR	VERNON, CT 06066
PO BOX 9585	BOLTON, CT 06043
12 QUARRY RD	BOLTON, CT 06043
222 BOLTON CENTER RD	BOLTON, CT 06043
66 STONY RD	BOLTON, CT 06043

222 BOLTON CENTER RD  
222 BOLTON CENTER RD  
222 BOLTON CENTER RD  
126 BURBANK RD  
40 STONEHEDGE LN  
52 STONEHEDGE LANE  
60 STONEHEDGE LA  
65 STONEHEDGE LANE  
921 BOSTON TPKE  
P O BOX 9127  
17 SUNSET LN  
27 QUARRY RD  
220 HARTFORD TPKE  
220 HARTFORD TPKE  
70 STONY RD  
80 STONY RD  
222 BOLTON CENTER RD  
6 PROGRESS DRIVE

BOLTON, CT 06043  
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ELLINGTON, CT 06029  
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CROMWELL, CT 06416

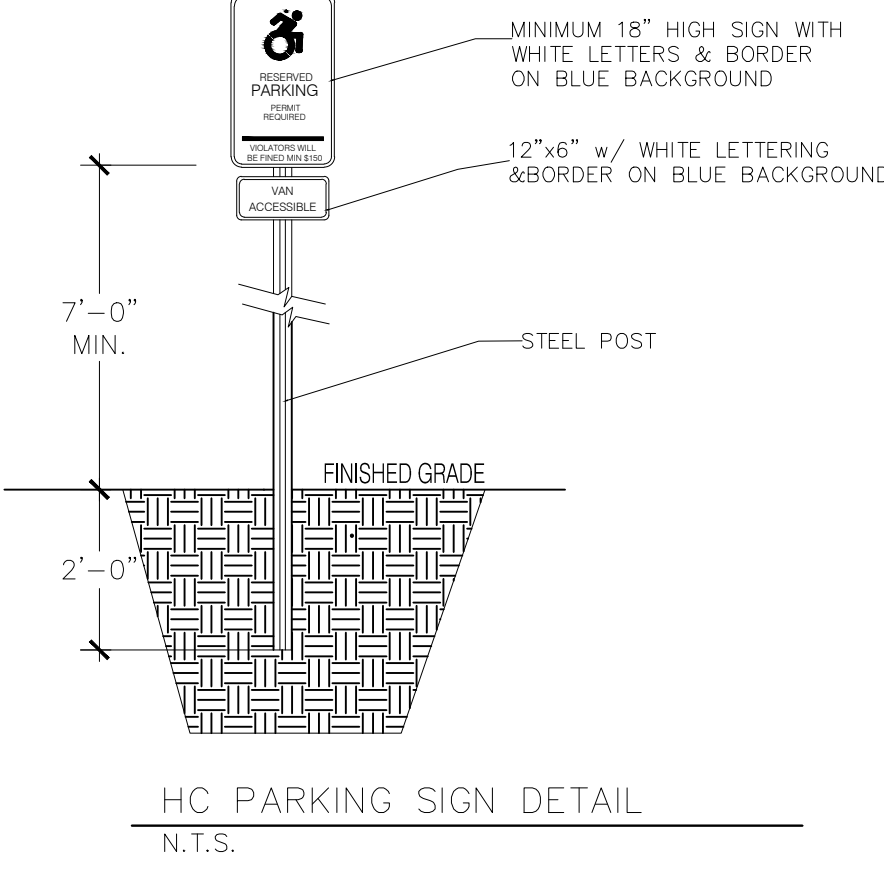
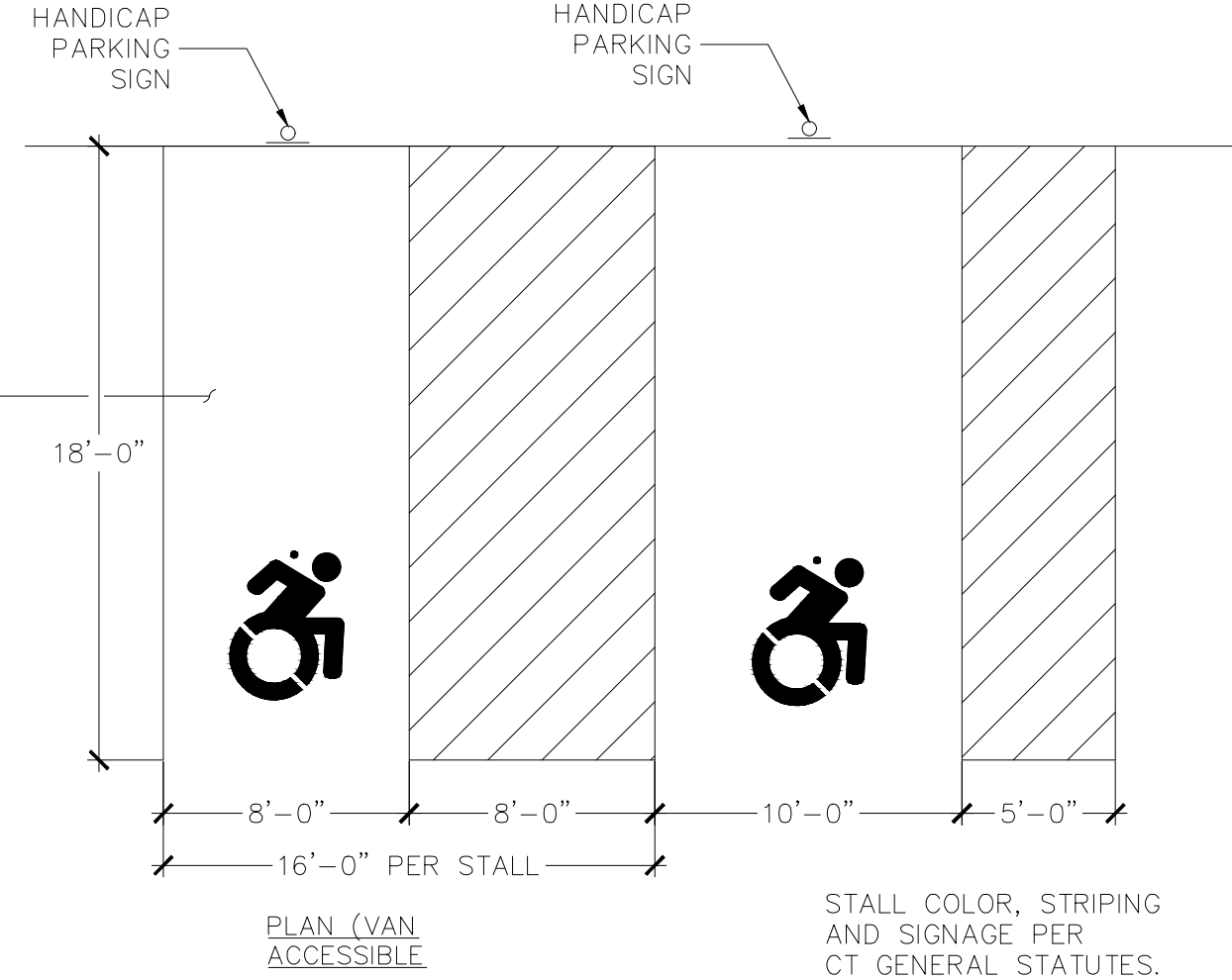
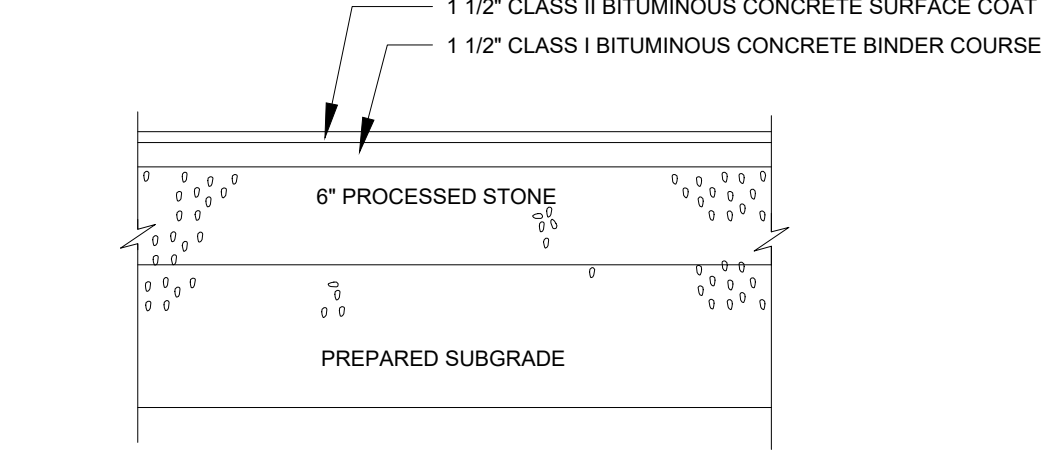
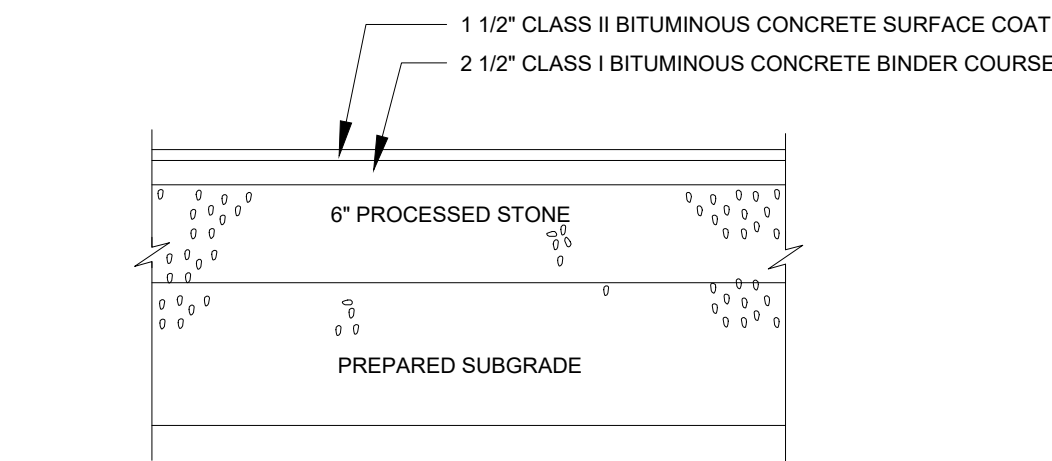
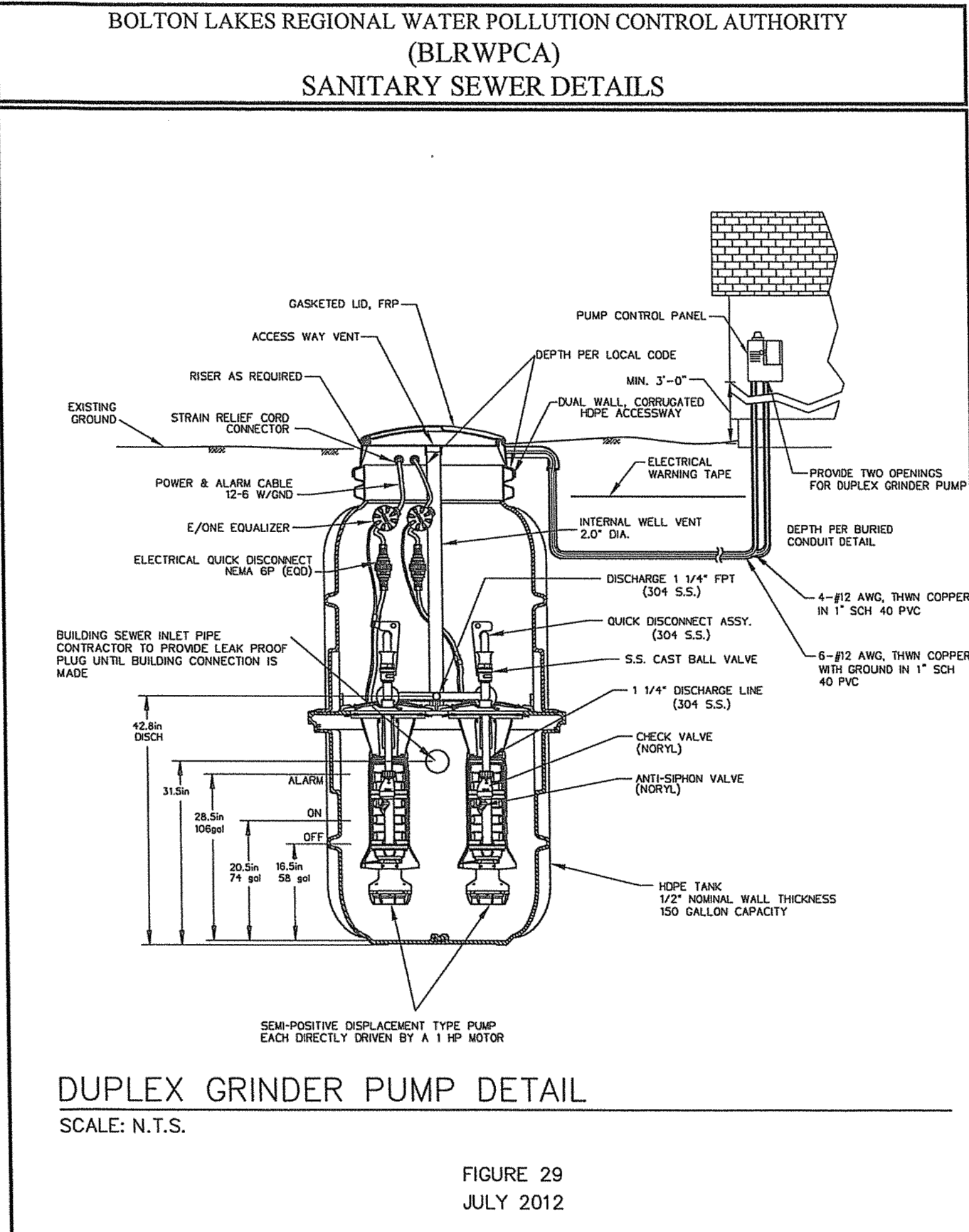
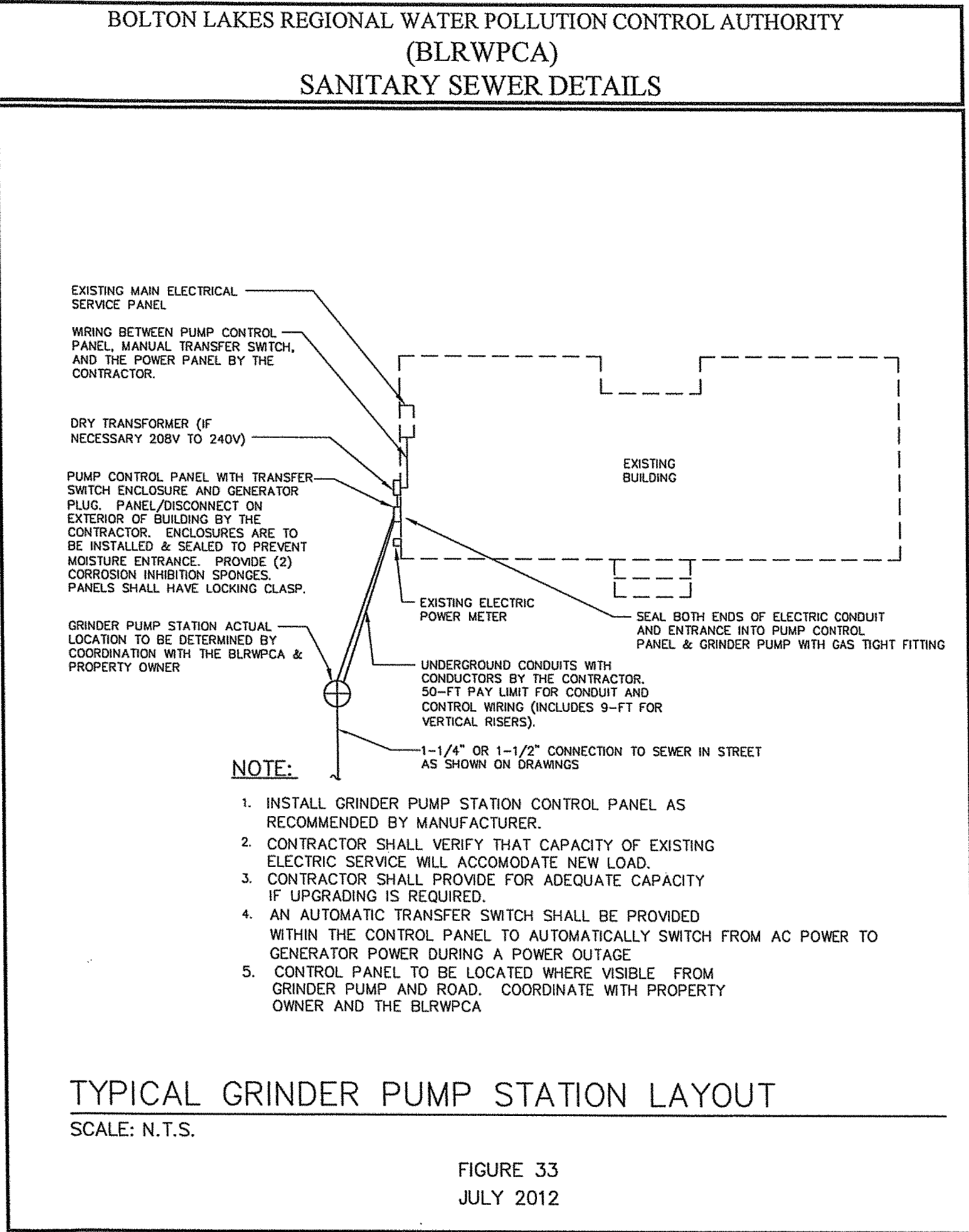
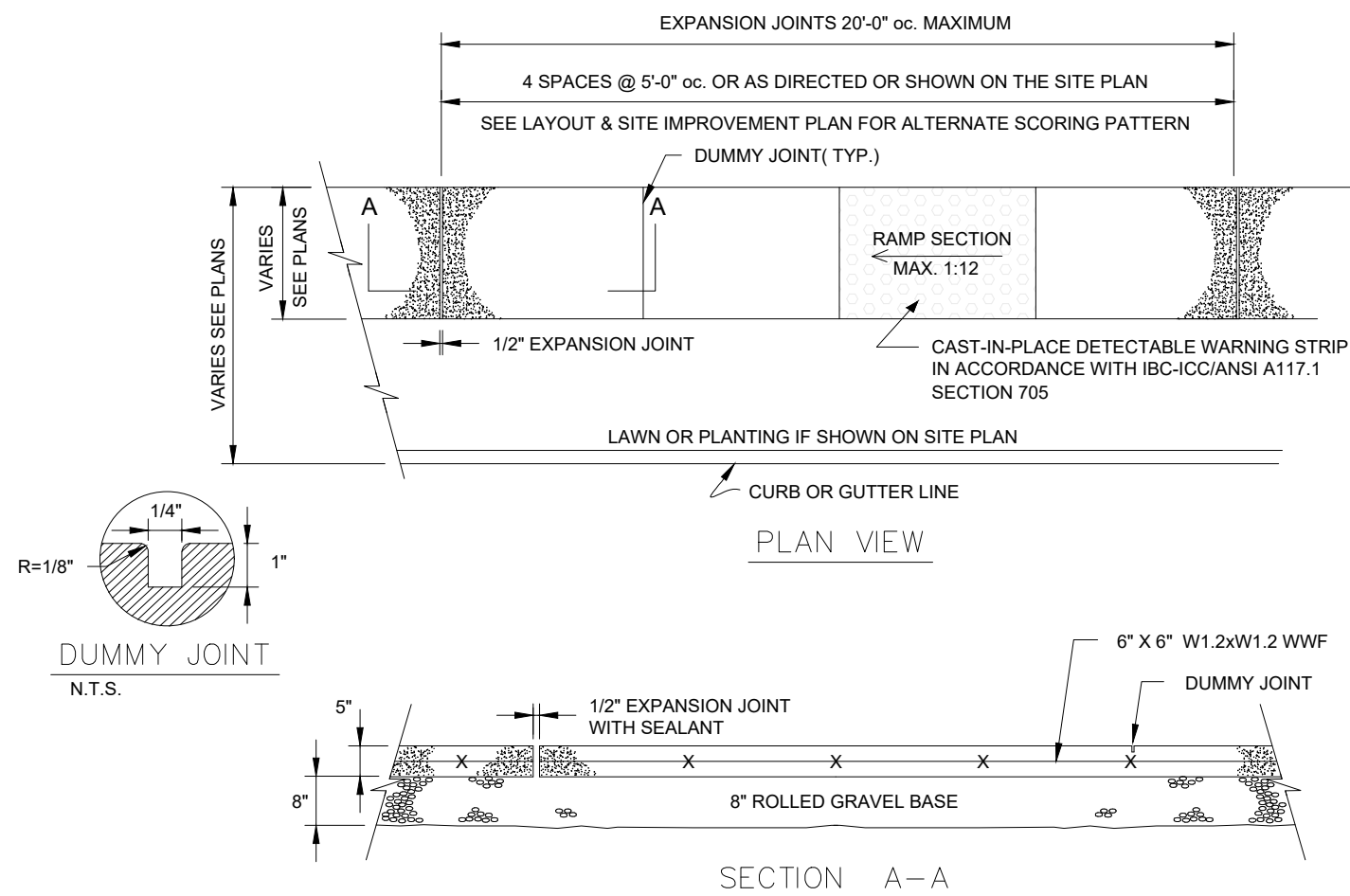
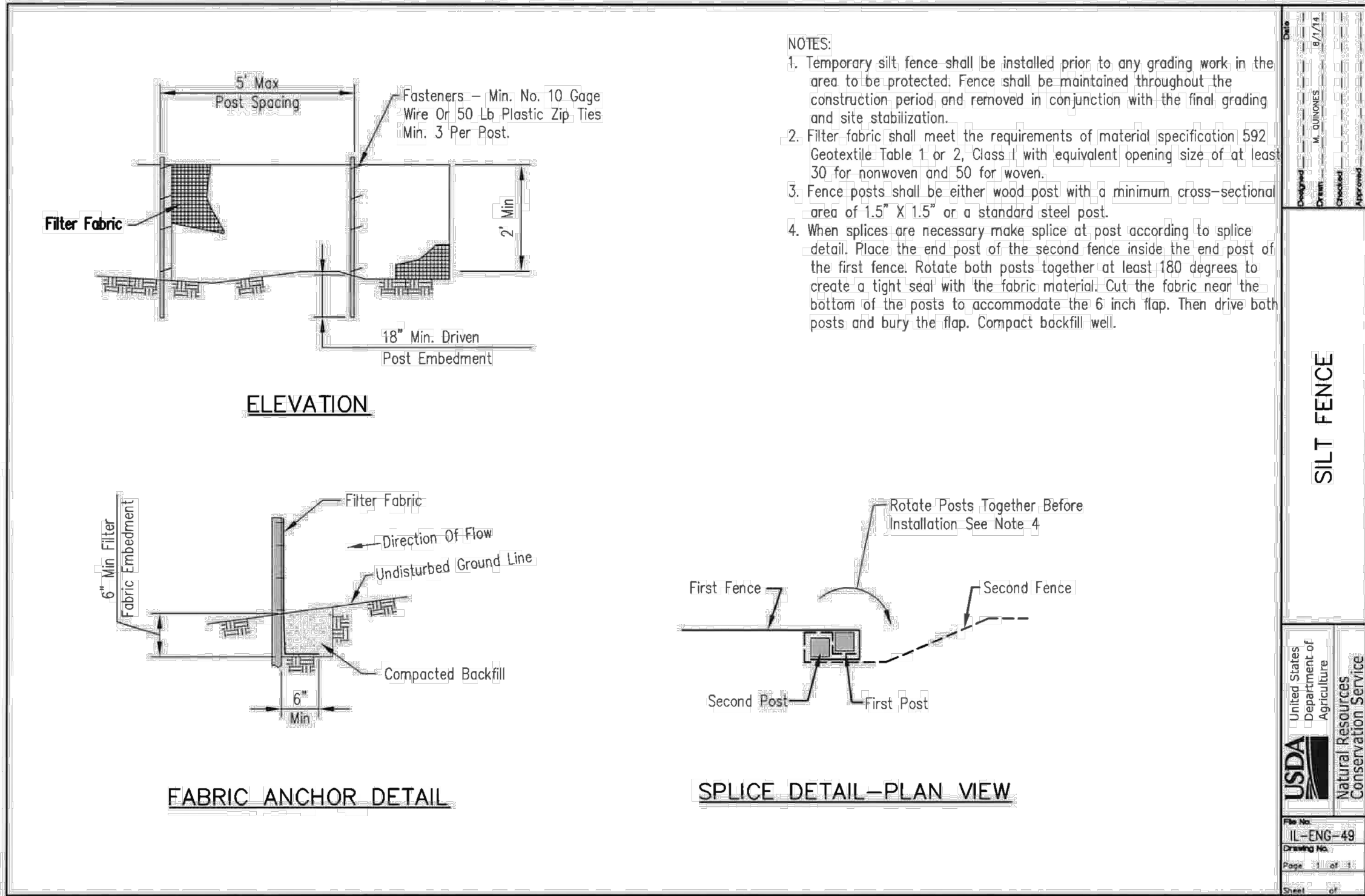
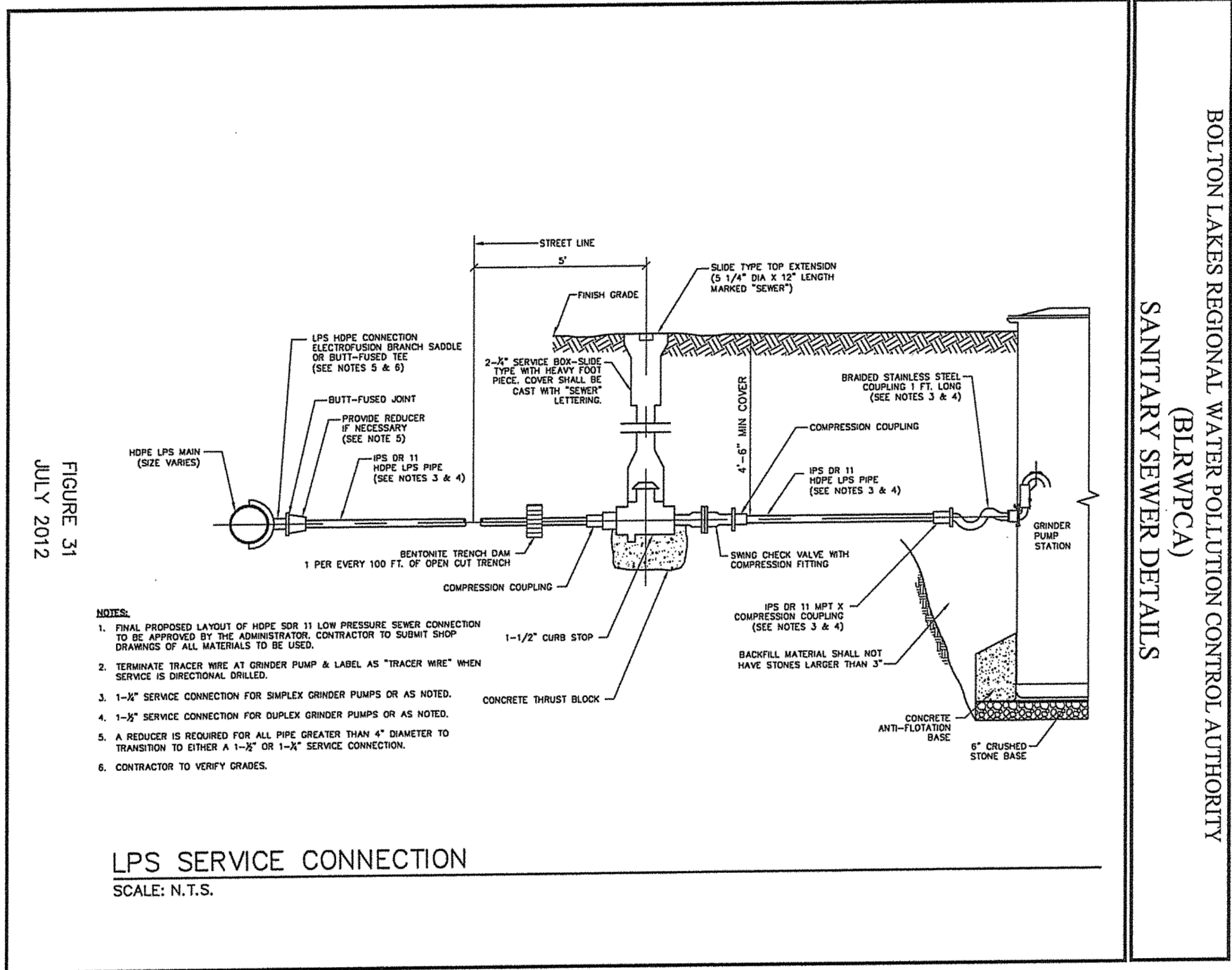






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DATE	ISSUE
6-13-2022	P&Z APPLICATION
6-22-2022	ADD DETAILS

**PDS ENGINEERING & CONSTRUCTION, INC.**

107 Old Windsor Road  
Bloomfield, Connecticut 06002  
Telephone: (860) 242-8586  
FAX (860) 242-8587

OWNER :  
HOWARD ROAD REALTY, LLC.  
25 HOWARD ROAD  
PO BOX 9127  
BOLTON, CONNECTICUT 06043

APPLICANT :  
ABLE COIL AND ELECTRONICS CO.  
25 HOWARD ROAD  
PO BOX 9127  
BOLTON, CONNECTICUT 06043

PROJECT NAME:  
**ABLE COIL & ELECTRONICS**

837 BOSTON TURNPIKE  
BOLTON, CONNECTICUT

DRAWING TITLE:  
**SITE DETAILS**

SEAL

ENGINEER: FB  
ARCHITECT:  
PROJECT MGR:  
DRAFTED BY: BF



THE PROPOSED SITE IMPROVEMENTS CONSIST OF EXCAVATION AND BACKFILL OF THE BUILDING FOUNDATION, INSTALLATION OF A SEWER PUMP STATION AND FORCE MAIN TO THE TIE-IN POINT AT THE STUB INTO THE PROPERTY AT THE STREET, UNDERGROUND UTILITIES TO THE BUILDING, INSTALLATION OF UNDERGROUND DRAIN PIPING AND SUMP PUMP, CONSTRUCTION OF A NEW CONCRETE DRIVE AND TIE-IN TO THE EXISTING DRAINAGE SYSTEM, GRADING, SWALE, INSTALLATION OF A DETENTION BASIN AND RIP-RAP, NEW SIDEWALKS, RETAINING WALL AND HANDICAP RAMP, AND INSTALLATION OF BASE MATERIAL AND BITUMINOUS PAVEMENT FOR A TRUCK LOADING DOCK TO THE NEW BUILDING AND NEW PARKING LOT.

THE AREA OF DISTURBANCE IS APPROXIMATELY 75,000 SQ. FT. (1.7 ACRES), INCLUDING THE NEW 15,000 SQ. FT. MANUFACTURING BUILDING, CONNECTOR, UTILITIES, AND 13,467 SQ. FT. OF NEW PAVEMENT. THE SITE CONTRACTOR SHALL PROTECT ADJACENT BUILDING, PARKING AREAS, AND GROUNDS AND DOWNSTREAM DRAINAGE AREAS FROM SITE DISTURBANCE, GRADING, AND CONSTRUCTION ACTIVITIES. TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED DURING CONSTRUCTION AND UNTIL LAWNS ARE ESTABLISHED.

IN ORDER TO PREVENT DAMAGE TO NEARBY SENSITIVE AREAS, THE SITE CONTRACTOR SHALL COMPLY WITH THE PROCEDURES AND CONTROL MEASURES DETAILED IN THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL". THE FOLLOWING GENERAL PRINCIPLES ARE TO BE FOLLOWED TO PROVIDE AN EFFECTIVE EROSION AND SEDIMENTATION CONTROL PROCEDURE:

- 1) PRIOR TO SITE DISTURBANCE: INITIAL AVALS, SLEETS, FILL, SILT, SANDS, AND OTHER MEASURES AS NEEDED TO PREVENT THE IMPACT. ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES MAY BE REQUIRED IF FIELD CONDITIONS CHANGE.
- 2) INSPECT AND REPAIR, AS REQUIRED, EROSION AND SEDIMENTATION CONTROL MEASURES PERIODICALLY, ESPECIALLY AFTER RAINFALL.
- 3) STABILIZE DISTURBED AREAS WITH TEMPORARY OR PERMANENT MEASURES AS QUICKLY AS POSSIBLE AFTER THE LAND IS DISTURBED.
- 4) KEEP RUNOFF VELOCITIES LOW BY KEEPING SLOPE LENGTHS SHORT, GRADIENTS GENTLE, AND PRESERVING INTERMITTENT AREAS OF VEGETATIVE COVER.
- 5) ASSIGN THE RESPONSIBILITY FOR IMPLEMENTATION AND MAINTENANCE OF ERS CONTROL MEASURES TO ONE PERSON ON THE CONSTRUCTION SITE. PROVIDE THE TOWN WITH THAT PERSONS WORK CELL AND CELL PHONE NUMBERS IN CASE OF AN EMERGENCY.
- 6) SPREAD TOPSOIL, MACHINE OR HAND MADE, FERTILIZE, SEED AND MULCH DISTURBED AREAS AS SOON AS POSSIBLE AFTER CONSTRUCTION. SEEDING SHOULD BE DONE IN THE LATE SUN OR SHADE AND THE SEASONAL WEATHER CONDITIONS, WATER FREQUENTLY BETWEEN RAIN EVENTS.
- 7) THE SOILS IN THE AREA OF THE PROPERTY SHOWN CONSIST OF CHARLTON-CHATEAU COMPLEX 0 TO 15 PERCENT CLAY.
- 8) REMOVE ALL EROSION AND SEDIMENTATION CONTROL MEASURES AFTER ENTIRE SITE HAS BEEN STABILIZED. STABILIZATION MEANS THAT TEMPORARY OR PERMANENT MEASURES HAS BEEN ESTABLISHED.
- 9) OVERALL, CONSTRUCTION IS EXPECTED TO TAKE 3-4 MONTHS POST-CONSTRUCTION CONTROLS, INCLUDING SILT, SAND, AND CLAY PROOFING, TO BE IN PLACE FOR 6 MONTHS. REPAIR AND MAINTENANCE OF ERS MEASURES ARE TO BE MAINTAINED UNTIL ALL TEMPORARY AREAS ARE STABILIZED.
- 10) THE TOWN ENGINEER WILL BE NOTIFIED BY EROSION CONTROL MEASURES DURING OR AFTER THE CONSTRUCTION PERIOD AS NECESSARY OR AS REQUIRED BY THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER.

THE FOLLOWING PROCEDURES FOR PARCEL DEVELOPMENT ARE RECOMMENDED AND SHALL BE FOLLOWED BY THE SITE CONTRACTOR:

1.) THE APPROXIMATE LIMITS OF DISTURBANCE ARE INDICATED ON THE PLAN. DISTURBANCE LIMITS OF 25-35 FEET BEYOND THE PHYSICAL DIMENSIONS OF THE STRUCTURE ARE RECOMMENDED. REMOVE TREES AS NEEDED FOR THE APPROVED SITE DEVELOPMENT.

- 2) ALL DRIVEWAYS, DRIVEWAY SHOULDERS, AND TEMPORARY ENTRANCES SHOULD BE STABILIZED IMMEDIATELY UPON COMPLETION OF ROUGH GRADING. SHOULDER SEED BED PREPARATION SHOULD FOLLOW THE GENERAL MOTES PROVIDED. DRIVEWAY ENTRANCES SHOULD BE STABILIZED IMMEDIATELY UPON COMPLETION OF DRIVEWAY CONSTRUCTION.
- 3) DRIVEWAY ROADSIDES SHALL BE STABILIZED WITH COMPACTED ROAD AGGREGATE AS SOON AS POSSIBLE. INSTALL EROSION CONTROL MEASURES TO PREVENT EROSION OF DRIVEWAY ROADSIDES. THE PRODUCT SHOULD BE KEPT AWAY FROM PARKING LOTS, ROADS, AND SIDEWALKS, AND SWEEP AS OFTEN AS NECESSARY TO KEEP CLEAN.
- 4) TOPSOIL AND EXCAVATED SUBSOIL FROM THE FOUNDATION AREA SHOULD BE STOCKPILED WITHIN THE AREA OF THE PROJECT. STOCKPILES SHOULD BE COVERED WITH A GEOTEXTILE, MUST BE ASSOCIATED WITHIN THE SEDIMENT CONTROL MEASURES (E.G. STAKED HAY BALES AND/OR FENCE FENCING).
- 5) ANY ADDITIONAL STOCKPILING OF LUMBER OR BUILDING MATERIALS SHOULD ALSO BE CONFINED TO THE AREA OF THE PROJECT. STOCKPILES SHOULD BE COVERED WITH A GEOTEXTILE.
- 6) UPON SOFT STOPPING OF BUILDING CONSTRUCTION, ALL RAW SOIL AREAS SURROUNDING THE SITE SHOULD BE FINE GRADED, SEEDDED AND MULCHED. INSTALLATION OF GROUNDWATER CONTROL SYSTEMS, SUCH AS STORM DRAINS, AND OTHER SPECIAL REQUIREMENTS SHOULD BE COMPLETED AT THIS STAGE.
- 7) THE SITE SHALL REMAIN FREE OF TRASH AND DEBRIS THROUGHOUT CONSTRUCTION.
- 8) ALL NEW AND EXISTING CATCH BASINS, VARDIENS, MANHOLES, AND STORM PIPING SHALL BE CLEANED OF ALL SEDIMENT AND DEBRIS PERIODICALLY TO ENSURE PROPER DRAINAGE OF THE SITE.
- 9) FURNISH AND INSTALL MODIFIED RIP-RAP IN THE NEW AREA OF DEVELOPMENT WHERE SHOWN ON THE PLAN.
- 10) ALL CONTROL STRUCTURES SHALL BE INSPECTED AND CLEANED PERIODICALLY. ALL SEDIMENT REMOVED FROM CONTROL STRUCTURES SHALL BE STOCKPILED WITHIN THE AREA OF THE PROJECT AND COVERED WITH A GEOTEXTILE.
- 11) IF DISTURBED AREAS CANNOT BE SEEDDED IMMEDIATELY DUE TO THE TIME OF YEAR, THEN MULCH AREA. SEEDING CAN OCCUR REMOVE MULCH AND PREP. SEED AND RE-MULCH WHEN SEASON PERMITS.
- 12) ALL DEWATERING PUMPING MUST HAVE SEDIMENT AND EROSION CONTROL PROVISIONS TO MAINTAIN CLEAR WATER TO THE PUMP. ALL PUMPING SHALL BE CONDUCTED IN A MANNER THAT DOES NOT CAUSE EROSION, SEDIMENTATION, NUISANCE OR SAFETY HAZARDS.

FINE GRADE AND RAKE SOIL SURFACE TO REMOVE STONES LARGER THAN 2" IN DIAMETER. INSTALL SEEDED EROSION CONTROL DEVICES SUCH AS SURFACE WATER DIVERSIONS. APPLY LIMESTONE AT A RATE OF 2 TONS PER ACRE, OR 90 LBS. PER 1000 SQ. FT. FERTILIZE WITH 10-10-10 AT A RATE OF 300 LBS. PER ACRE OR 11 LBS. PER 1000 SQ. FT. WORK LIME AND FERTILIZER INTO TOPSOIL UNIFORMLY TO A DEPTH OF 4" WITH A SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT FOLLOWING THE CONTOUR LINES.

## SEED APPLICATION

APPLY SEED MIXTURE FROM CHART BELOW BY HAND, CYCLONE SEEDERS OR HYDRO SEEDER. INCREASE SEED MIXTURE BY 10% IF HYDRO SEEDER IS USED. LIGHTLY DRAG OR ROLL THE SEEDING SURFACE TO COVER SEED. SEEDING SHOULD BE DONE BETWEEN THE TIMES SHOWN ON THE CHART BELOW. IF SEEDING CANNOT BE DONE DURING THESE TIMES, REPEAT MULCHING PROCEDURE BELOW UNTIL SEEDING CAN TAKE PLACE.

IMMEDIATELY FOLLOWING SEEDING, MULCH THE SEEDING SURFACE WITH STRAW OR HAY AT A RATE OF 1.5 TO 2 TONS PER ACRE. SPREAD MULCH BY HAND OR MULCH BLOWER. PUNCH MULCH INTO SOIL SURFACE WITH TRACK MACHINE OR DISK HARROW SET STRAIGHT UP. MULCH MATERIAL SHOULD BE 'TUCKED' APPROXIMATELY 2 - 3" INTO THE SOIL SURFACE.

USE	LB/1000 SQ. FT.	SEED MIXTURE	SEEDING DATES
PERMANENT LAWN	1.0 1.8 0.6 4.0	KENTUCKY BLUEGRASS CREeping RED FESCUE PERENNIAL RYEGRASS	4/15 - 6/15 5/15 - 9/15
SLOPES & COARSE LAWN	1.0 0.2 1.0 0.8	CREeping RED FESCUE RED TOP TALL FESCUE	4/15 - 6/15 6/15 - 9/15
SLOPES (NO MOWING)	1.0 0.4 1.4 2.8	CREeping RED FESCUE RED TOP CROWN VETCH WITH INCULCANT	4/15 - 6/15 6/15 - 9/15
TEMPORARY COVER	12.0 4.0	WINTER RYE ANNUAL RYEGRASS	4/15 - 6/15 8/15 - 10/15

EXPECTED START DATE/FINISH DATE: TO BE DETERMINED

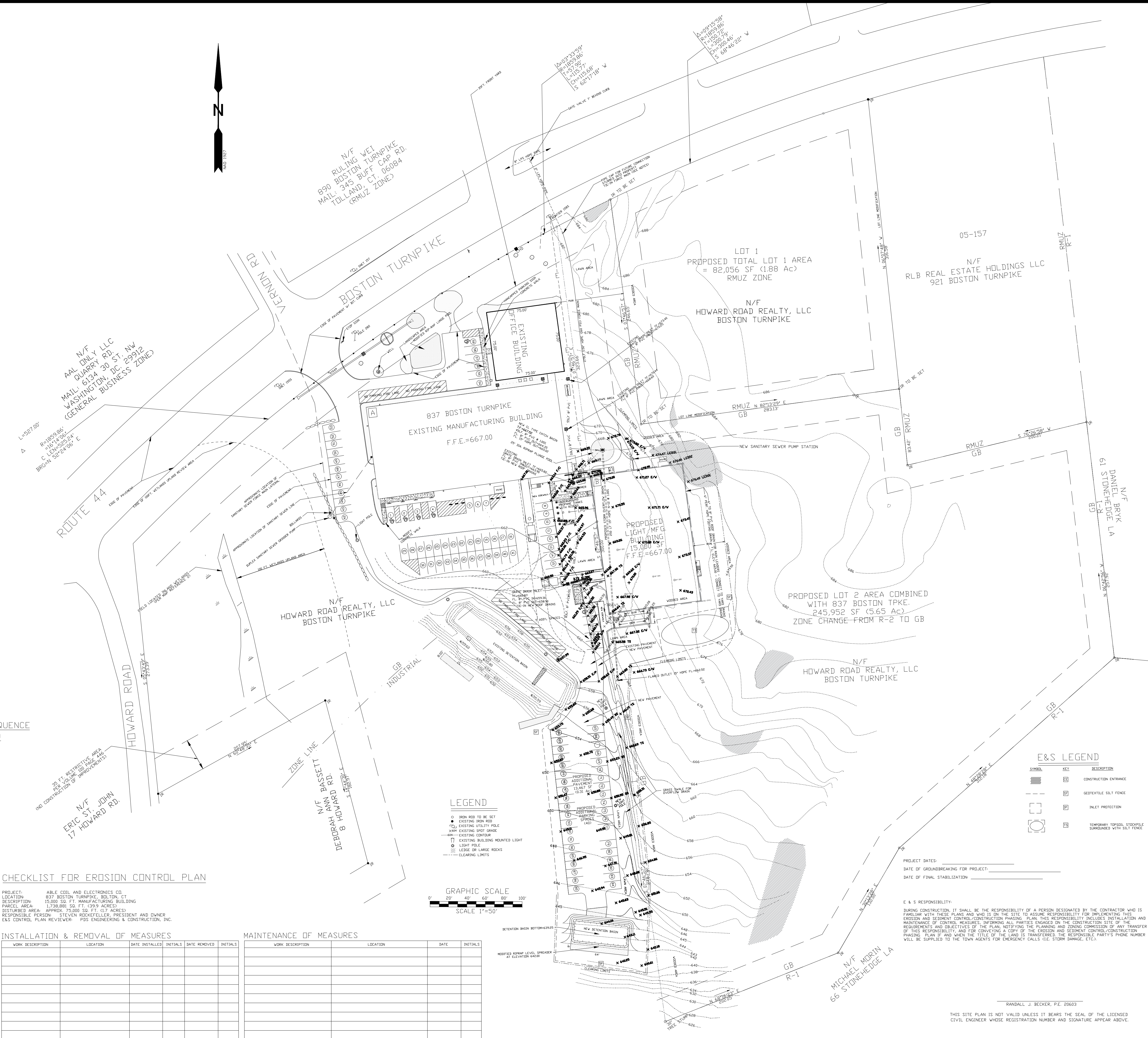
- [illegible]

1.) THE OWNER OR CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SCHEDULING REQUIRED INSPECTIONS.

- 2.) THE OWNER OR CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE DIMENSIONS AND ELEVATIONS CONTAINED ON THIS PLAN AND NOTIFYING THE DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.

DATE APPROVED	DATE OF EXPIRATION
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CHAIRMAN



DATE	ISSUE
6-9-2022	P&Z APPLICATION
6-13-2022	PROGRESS DRAWING
6-27-2022	BUILDING FOOTPRINT, GRADING & NOTES



**PDS ENGINEERING &  
CONSTRUCTION, INC.**

107 Old Windsor Road  
Bloomfield, Connecticut. 06002  
Telephone: (860) 242-8586  
FAX (860) 242-8587

CONSULTANTS:

# ABLE COIL & ELECTRONICS

837 BOSTON TURNPIKE  
BOLTON, CONNECTICUT

DRAWING TITLE:

# EROSION & SEDIMENTATION CONTROL

OBJECT NAME:

SEAL

ENGINEER: FB

SCALE: 1" = 50'

PROJECT MGR

DRAFTED BY: BF

RANDALL J. BECKER, P.E. 20603

THIS SITE PLAN IS NOT VALID UNLESS IT BEARS THE SEAL OF THE LICENSED  
CIVIL ENGINEER WHOSE REGISTRATION NUMBER AND SIGNATURE APPEAR ABOVE

# ES-1





MFG. BUILDING 12,000 SF

PROPOSED LOT 2 AREA COMBINED WITH 837 BOSTON TPKE.  
245,952 SF (5.65 Ac)  
~~ZON. CHANGE FROM R-2 TO GB~~  
HOMANS ROAD REALTY, LLC  
BOSTON TURNPIKE

### Luminaire Schedule

Symbol	Qty	Label	Arrangement	LLF	Description
[Symbol]	5	A	SINGLE	0.903	DSX1 L
[Symbol]	5	B	SINGLE	0.903	DSXW2
[Symbol]	1	C	SINGLE	0.903	DSXW2
[Symbol]	1	D	SINGLE	0.903	DSXW2

N/F  
MICHAEL MORIN  
66 STONEHEDGE LA

N/E  
DANIEL BRYK  
61 STONEHEDGE LA

**Able Coil**

by Wattsaver Lighting

COMBINED WITH 837 BOSTON TPKE.

S 18' for area lights and 15'  
ates footcandle readings > 2  
ates footcandle readings > 0.

Arrangement	LLF	Description
ANGLE	0.903	DSX1 LED P3 4
ANGLE	0.903	DSXW2 LED 200
ANGLE	0.903	DSXW2 LED 200
ANGLE	0.903	DSXW2 LED 300

2.) IN ADDITION, TO  
3.) THE NEW BUILDING  
4.) FOOTING DRAIN S  
5.) DRAINAGE CALCUL

N/F  
MICHAEL MORIN  
66 STONEHEDGE LA

INTERVAL  
1  
2  
10  
50  
100

FOR A 100-YEAR STORM  
CAPACITY PROVIDED AT  
AN 8-FT. X 64 FT. R

## MAP REFERENCES:

PLAN PREPARED FOR LAN HOLDING, LLC NO. 837 BOSTON TURNPIKE U.S. ROUTE 44  
 DATED 5/16/2000

PLAN PREPARED FOR LAN HOLDING, LLC U.S. ROUTE 44 & HOWARD ROAD BOLTON, CT  
 DATE: 5/14/99

PLAN PREPARED FOR LAN HOLDING, LLC U.S. ROUTE 44 & HOWARD ROAD BOLTON, CT  
 DATE: 11/07/2018 FILED BY THE TOWN OF BOLTON

CONVEYING, 563 WOODBRIDGE STREET, MANCHESTER, CT. (860) 643-7875. REVISED TO

## PARKING:

THERE EXISTS A TOTAL OF 59 SPACES, INCLUDING 3 HANDICAP SPACES. PROPOSED

## ZONE COMPLIANCE TABLE

PROPOSED: 12,000 SQ. FT. 1-STORY PRE-ENGINEERED METAL BUILDING W/CO  
 LAND USE: LIGHT MANUFACTURING

REQUIREMENT	REQUIRED	PROPOSED
MAXIMUM STORIES	3	1
MAXIMUM HEIGHT	40 FEET	<40 FEET
TOTAL BUILDING AREA (ALL BLDGS.)		37,625 SQ. FT.
MAXIMUM LOT COVERAGE (ALL BLDGS.)	250%	250%
TOTAL IMPERVIOUS AREA (ENTIRE SITE)		98,576 SQ. FT.
MAX. IMPERVIOUS COVERAGE	65%	5.7%
MINIMUM LOT AREA	40,000 SQ. FT.	1,738,000 SQ. FT.
MINIMUM LOT FRONTAGE	200 FEET	642.77 FEET
MINIMUM FRONT YARD	35 FEET	35 FEET
MINIMUM SIDE YARD	25 FEET	25 FEET
MINIMUM REAR YARD	25 FEET	25 FEET
MINIMUM SETBACKS	50' SIDE / 10' REAR	10' SIDE / 10' REAR
2 MAX./1 MIN. PER 1000 SQ. FT. GROSS FLOOR AREA		MANUFACTURING (32)
5 MAX./2 MIN. PER 1000 SQ. FT. GROSS FLOOR AREA		GENERAL OFFICE (5)

OK TFTM MVOLT

700 40K TFTM MVOLT

1000 1.40K TFTM MVOLT

1000 40K TFTM MVOLT

THE NORTHEAST CORNER OF

SURF. COEFF.

DURATION	PRECIP.	AREA	SURF. COEFF.
1 HR	0.94 IN.	0.31 AC.	0.95
1 HR	1.14 IN.	0.31 AC.	0.95
1 HR	1.75 IN.	0.31 AC.	0.95
1 HR	2.42 IN.	0.31 AC.	0.95
1 HR	2.72 IN.	1.0 AC.	0.25

ENSURE THERE IS NO CHANCE OF FLOODING IN THIS CORNER, A 220-FT. LONG 15-  
 G'S ROOF DOWNSPOUTS SHALL DRAIN INTO A BURIED 6-INCH SCH40 PVC PIPE THAT  
 SHALL CONSIST OF A PERFORATED 6-INCH HDPE ENVELOPED WITH CRUSHED STONE AND  
 GRAVEL FOR THE NEW PARKING AREA:

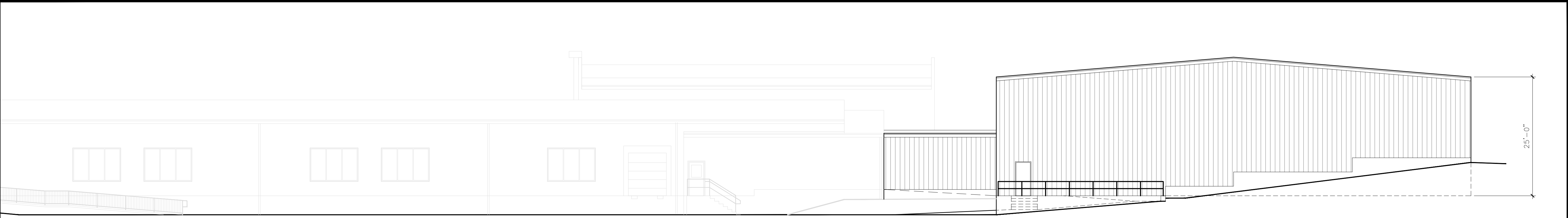
DURATION	PRECIP.	AREA	SURF. COEFF.
1 HR	0.94 IN.	0.31 AC.	0.95
1 HR	1.14 IN.	0.31 AC.	0.95
1 HR	1.75 IN.	0.31 AC.	0.95
1 HR	2.42 IN.	0.31 AC.	0.95
1 HR	2.72 IN.	0.31 AC.	0.95

IN, 1 HR DURATION, THE CAPACITY OF THE DETENTION BASIN NEEDS TO BE 60 X 60  
 AVG. AREA PER FOOT DEPTH X 2.75 FT DEPTH = 1,124 SF X 2.75 FT = 3,091 CF  
 CHIP-RAP LEVEL SPREADER SHALL BE INSTALLED TO PREVENT SCOURING.

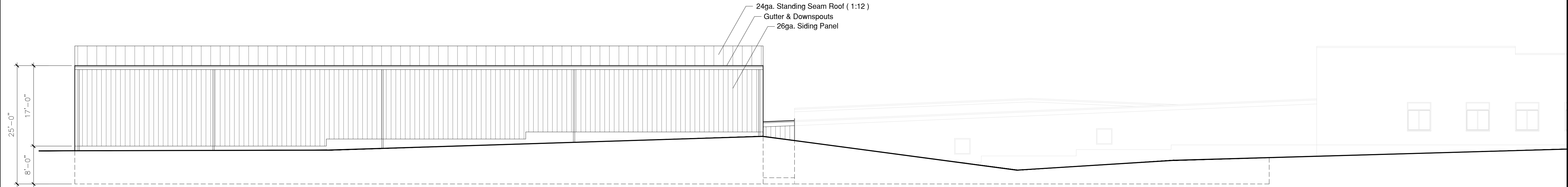
# SL-1







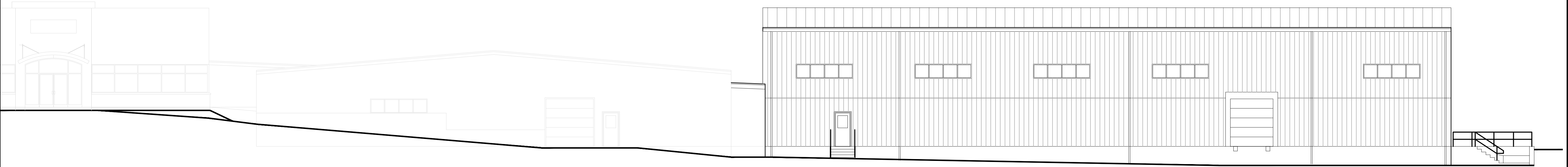
SOUTH ELEVATION  
3/32"=1'-0"



EAST ELEVATION  
3/32"=1'-0"



NORTH ELEVATION  
3/32"=1'-0"



WEST ELEVATION  
3/32"=1'-0"

DATE	ISSUE
6-2-2022	P&Z APPLICATION
6-13-2022	PROPERTY ADDRESS
6-21-2022	WINDOWS WEST ELEV.
6-22-2022	15,000 SF FOOTPRINT



PDS ENGINEERING &  
CONSTRUCTION, INC.

107 Old Windsor Road  
Bloomfield, Connecticut 06002  
Telephone: (860) 242-8586  
FAX (860) 242-8587

CONSULTANTS:

PROJECT NAME:

ABLE COIL - PROPOSED WAREHOUSE

837 BOSTON TURNPIKE  
BOLTON, CONNECTICUT

DRAWING TITLE:

EXTERIOR ELEVATIONS

SEAL

ENGINEER: FB  
ARCHITECT:  
PROJECT MGR:  
DRAFTED BY: BF

A-200B

**From:** Randy Becker [mailto:randyb@pdsec.com]

**Sent:** Thursday, June 16, 2022 12:22 PM

**To:** Carson, Patrice <pcarson@boltonct.org>

**Cc:** Steven Rockefeller; Laura Bonola <laurab@pdsec.com>; Sharon Ohnstad; Lynne Thompson; Bill Jodice <billj@pdsec.com>; Brian Farrell <brianf@pdsec.com>; Palazzini, Danielle <dpalazzini@boltonct.org>

**Subject:** RE: Process for Your Special Use Permit Application #PL-22-4, 837-889 Boston Turnpike, Bolton, CT

Received.

Thank you.

---

**From:** Carson, Patrice <pcarson@boltonct.org>

**Sent:** Thursday, June 16, 2022 12:20 PM

**To:** Randy Becker <randyb@pdsec.com>

**Cc:** Steven Rockefeller; Laura Bonola <laurab@pdsec.com>; Sharon Ohnstad; Lynne Thompson; Bill Jodice <billj@pdsec.com>; Brian Farrell <brianf@pdsec.com>; Palazzini, Danielle <dpalazzini@boltonct.org>

**Subject:** Process for Your Special Use Permit Application #PL-22-4, 837-889 Boston Turnpike, Bolton, CT

***Randy, As the listed applicant, PLEASE ACKNOWLEDGE RECEIPT OF THIS EMAIL BY REPLYING "RECEIVED", thank you.***

Dear Applicant:

Please find attached the legal notice for the public hearing at which your special permit application will be heard. This notice needs to be sent to all abutters within 500 feet of your property at least ten (10) days prior to the date of the public hearing. For purposes of notice, (1) proof of mailing shall be evidenced by a certificate of mailing, and (2) the person who owns land shall be the owner indicated on the property tax map or on the last-completed grand list as of the date such notice is mailed. Below are the requirements from Section 16B.3.g. & h. of the Bolton Zoning Regulations:

16B.3.g. Notice to Abutting Owners The applicant shall also notify all Abutting landowners of record within 500 feet of the subject property, as disclosed by the Assessor's records, of the date, time and place of the public hearing of the Commission at which said Special Permit is to be considered no less than ten (10) days preceding the date of said hearing, and shall submit proof to the Zoning Enforcement Officer of such notification. No notice shall be required for the continuation of a public hearing once it has been opened.

The Zoning Regulations also require you to post a sign(s) on the property at least seven (7) days prior to the date of the public hearing (see below). You can obtain the signs from Danielle Palazzini in the Land Use Department. There is a \$26 fee per sign.

16B.3.h. Posting of Sign No less than seven (7) days prior to the opening of any public hearing, the applicant shall post a sign on the property which is the subject of any application for Special Permit. The face of such sign shall be as provided by the Commission, and shall set forth the date, time and place of the public hearing, and the telephone number to call for additional information. It shall be the obligation of the applicant to post such sign(s) on the property in a location which is plainly visible from each abutting public street, and to maintain the sign(s) until the opening of the public hearing. No sign need be posted for the continuation of a public hearing once it has opened. If the Commission provides a mount for the sign, such sign mount shall be returned to the Commission's offices within three (3) days after the close of the hearing. The Commission may require a cash deposit to assure such return.

If you have any questions, please don't hesitate to contact:

Patrice

*Patrice L. Carson, AICP  
Consulting Director of Community Development  
Town of Bolton  
860.359.1454*

Bolton Planning & Zoning Commission  
Notice of Public Hearing

The Bolton Planning & Zoning Commission will hold a Public Hearing on Wednesday, July 13, 2022 at 7:45pm virtually through Zoom, to hear:

1 Able Coil and Electronics Co.'s appl. for a Zone Change from RMUZ and R-2 to GB at 837-889 Boston Tpke (#PL-22-5).

2 Able Coil and Electronics Co.'s appl. for a Special Permit for a 12,000 sf metal building for light manufacturing at 837-889 Boston Tpke (#PL-22-4).

3 Bolton PZC's temporary moratorium on adult-use cannabis establishments to consider the development of regulations regarding the cultivation, sale, and distribution of adult use cannabis (#PL-22-6)

Said proposals are on file for review in the Bolton Land Use Department and on the Town's Website at:

<https://town.boltonct.org/boards-commissions/planning-and-zoning>

All interested parties may attend virtually and testify or may submit written testimony.

Dated at Bolton, CT, this 14<sup>th</sup> day of June, 2022.

Thomas Manning  
P&Z Chairman

To be published in the *Hartford Courant* on July 1, 2022 and July 8, 2022

PROJECT: Able Coil &amp; Electronics

TOTAL 12,000

BID DATE:

13-Jun-22

BID TIME:

EST. # 22-0011

ESTIMATOR SS

DIVISION/ SECTION	Quantity	Unit	Unit Cost	SUB	TOTAL
2	<i>EARTHWORK</i>				
<b>Site Preparation, Erosion Control &amp; Sedimentation</b>					\$15,000
Silt Fencing	1,175	LF			
Inlet Protection					
Haybale					
Clearing & Grubing					
Strip/Stockpile Topsoil					
<b>Site Earthwork</b>					\$90,000
Mass Site excavation					
Building Foundation Excavation/Backfill					
Export Excess material					
Trench Excavation for Elec/Water/Propane					
Gravel Subbase	445	CYDS			
<b>Sanitary System</b>					\$40,000
15" PVC Force main	270	LF			
Duplex pumping Station	1	EA			
Connect 15" To Existing	1	LS			
<b>Storm System</b>					\$25,000
Detention Basin w/riprap	2,800	SF			
Drain Inlet Structure	1	EA			
Drain Outlet	1	EA			
15" HDPE	220	LF			
<b>Pavement</b>					\$30,000
Bituminous Concrete Pavement	13,467	SF			
Curbing					
Concrete Sidewalks/HDCP ramp					
<b>Landscaping</b>					\$5,000
Rake & Seed Area					
TOTAL					\$205,000





## Town of Bolton

222 BOLTON CENTER ROAD • BOLTON, CT 06043

Date: June 24, 2022

To: Planning & Zoning Commission

From: Patrice L. Carson, AICP, Consulting Director of Community Development

**Subject: Able Coil & Electronics Co.'s Special Permit #PL-22-4 to Add 12,000-15,000 SF Metal Building at 837 Boston Turnpike**

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### INFORMATION

**Application No.:** VP#PL-22-4

**Application Date:** June 3, 2022

**Receipt Date:** June 8, 2022

**Public Notification:** Published in *Hartford Courant* July 1, 2022 & July 8, 2022

**Public Hearing Date(s):** July 13, 2022

**Applicable Sections:** Sections 8A.2.b.25 & 8A.3.

**Applicant:** Able Coil & Electronics Co.

### PROPOSAL / EXISTING CONDITIONS/BACKGROUND

Applicant Randy Becker of PDS Engineering & Construction, 107 Old Windsor Road, Bloomfield, CT, representing the new owners (Howard Road Realty LLC for Able Coil and Electronics Co.), is seeking a Special Permit for a 12,000-15,000 square foot metal building to be used for light manufacturing on a 37.41 acre lot (after a lot line reconfiguration) at 837-839 Boston Turnpike. The new building will be located to the southeast of the existing manufacturing building joined by a connecting corridor to allow efficient movement between the buildings and their operations. Currently, Able Coil operates out of two facilities – 835 Boston Turnpike and 25 Howard Road – and the new building is being proposed for relocation of the operations from 25 Howard Road which will increase operational efficiencies and reduce costs.

Located on the south side of Boston Turnpike and bordering on the east side of their current property at 837 Boston Turnpike, the property is zoned RMUZ for the first 300 feet from Boston Turnpike and the remainder of the property is zoned R2. The applicants have

simultaneously applied for a zone change to make the property GB. The property is bordered by RMUZ and R-1 zoned properties on the east, R-1 on the south, and GB and I on the west. The properties across the street are zoned RMUZ. Currently the property is vacant. Although there are wetlands on the property, work proposed is well outside the regulated 100' upland review area. Therefore, it will not be necessary for the applicant to submit an application to the Inland Wetlands Commission.

The applicant and his design professionals met with town staff prior to submitting the application to discuss the overall concept plan and site development plan. As a Special Permit similar to the one Able Coil has for its current business on the adjacent lot, this Special Permit will need a public hearing. The application is complete and appears to have addressed some of the concerns brought up during the meetings with staff.

### **REPORTS RECEIVED**

- Project Narrative/Statement of Use
- review emails from Barbara Kelly, Inland Wetlands Agent with no concerns
- 06/13/22 review email from James Rupert, with 3 concerns
- 06/23/22 review letter from Joseph Dillon, PE with 7 issues to address
- 06/24/22 review email from Bruce Dixon, Fire Chief, with comments
- 06/24/22 Public Health review email from Thad King, EHHD with no concerns

### **ADDITIONAL INFORMATION RECEIVED**

- Abutters List
- Site Development Plan & Details – revised through 06/13/22
- 06/13/22 Architectural Floor Plans & Elevations
- E&S Cost Control Bond Estimate
- Site Improvements Bond Estimate
- Engineering & Legal Review Fee of \$2,000

### **ADDITIONAL INFORMATION NEEDED**

- Warranty Deed
- Site Plan Checklist – completed
- Stormwater Management Report
- Landscaping Plan & Details
- Lighting Detail (fixtures & cut sheets) and Isometric map/lighting plan
- Approval from Bolton Lakes Regional WPCA for sewer use/EDU adjustment
- Copy of Referral to CTDOT for work proposed within the CDOT ROW

### **STAFF ANALYSIS**

The plans appear to meet Town Regulations if the following items in the staff reports below are adequately addressed and may require additional information:

- The size of the new building shown on the plans is 12,000 sf and the applicant wishes to increase the size to 15,000 sf. The intended sized building should be shown on the plans.
- Comments from CTDOT (work in the ROW) and Bolton Lakes Regional WPCA (EDU adjustment/payment if needed) need to be submitted.
- Section 16A.3.x. – Buildings and Structures: Architectural and Design Requirements & Section 16B.4.l. – Architectural Character, Historic Preservation, Site Design. The Commission needs to determine if the design of the proposed building is adequate to meet these standards. The building is well screened and probably not visible from the road. It appears that the building will blend with the appearance of the existing structures and will be unobtrusive to the neighborhood.

## STAFF RECOMMENDATION

The staff has determined that:

- the application is complete
- the application complies with Town Regulations subject to conditions set forth in the staff reports received
- the use is compatible with other uses in the neighborhood, and is in keeping with the zone in which it is located.

Staff recommends approval of the Special Permit application, once any items missing are submitted and reviewed, subject to conditions set forth in the staff reports received (below) that the Commission determines have not been addressed. ***Approval of a Lot Line Reconfiguration application filing and approval, and a Zone Change approval is required prior to any Special Permit being approved and filed.***

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**From:** Rupert, Jim  
**Sent:** Monday, June 13, 2022 1:05 PM  
**To:** Carson, Patrice  
**Subject:** RE: Staff Review Requested: Special Permit Application for 12,000 SF Building for Manufacturing, 837 Boston Turnpike, Able Coil (VP#PL-22-4)

Patrice,

I have reviewed and my comments are as follows.

- 01) Fire Department access to the side facing the rear parking lot is reasonable but the Chief may wish to identify a fire lane.
- 02) Three sides of this structure are not easily accessible for fire fighting operations which could negatively impact the outcome to the structure in the event of a fire. The owners may wish to look at both passive and active construction techniques to mitigate loss in the event of a fire.
- 03) With the addition of a structure to the campus it will be important to easily identify and differentiate between structures in the event of an emergency. This is most easily accomplished with the installation of building numbers that are readily visible.

Thank you,  
Jim

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**From:** Bruce Dixon [mailto:boltonchief34@gmail.com]  
**Sent:** Friday, June 24, 2022 8:51 AM  
**To:** Carson, Patrice <pcarson@boltonct.org>  
**Subject:** Re: Staff Review Requested: Special Permit Application for 12,000 SF Building for Manufacturing, 837 Boston Turnpike, Able Coil (VP#PL-22-4)

Good morning I have reviewed the proposed site plan and agree with Jim's comments.

The building identification and directions noting the rear building in the front driveway would assist in quicker location of a patient for both fire, ambulance, and police.

Best regards,

Bruce A. Dixon  
Fire Chief  
Bolton Fire Department  
168 Bolton Center Road  
Bolton, CT 06043  
860-649-3910 Office

**From:** Kelly, Barbara  
**Sent:** Friday, June 10, 2022 11:20 AM  
**To:** Carson, Patrice <pcarson@boltonct.org>  
**Subject:** RE: Able Coil - Zoning Change & Special permit applications

Hi Patrice.

The subdivision creating to lots on the 837 Boston Turnpike parcel was approved by P&Z and filed with the Town Clerk. Although the subdivision should have gone to wetlands at the time it was created, it didn't. The time to correct, address, or appeal that is long past. The proposed 12,000 square foot building construction & zone change is outside the wetlands upland review area and unlikely to impact more distant wetlands. No wetland permit application will be needed.

Please let me know if there are any questions.

Take care,  
BK  
Barbara Kelly, Agent  
Inland Wetlands Commission  
Town of Bolton

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**From:** Kelly, Barbara  
**Sent:** Monday, June 20, 2022 11:14 AM  
**To:** Carson, Patrice <pcarson@boltonct.org>  
**Subject:** RE: Staff Review Requested: Special Permit Application for 12,000 SF Building for Manufacturing, 837 Boston Turnpike, Able Coil (VP#PL-22-4)

Hi Patrice,

An Inland Wetlands Permit is not required for the proposed construction or the lot line and zone changes.

Please let me know if you need any further input.

Take care,  
BK  
Barbara Kelly, Agent  
Inland Wetlands Commission

**From:** Thad D. King [mailto:KingTD@ehhd.org]

**Sent:** Friday, June 24, 2022 10:48 AM

**To:** Carson, Patrice <pcarson@boltonct.org>

**Subject:** RE: Staff Review Requested: Special Permit Application for 12,000 SF Building for Manufacturing, 837 Boston Turnpike, Able Coil (VP#PL-22-4)

I reviewed the plan. They are on central sewer and a public water supply. I do not have any comments relative to the application.

Thad King MPH REHS CP-FS  
Eastern Highlands Health District  
4 South Eagleville Rd  
Mansfield CT 06268  
860 429 3325 W  
860 208 9940 C





June 23, 2022

Ms. Patrice Carson, AICP  
Director of Community Development Town  
Office Building  
222 Bolton Center Road  
Bolton, CT 06043

Re: Howard Road Realty, LLC  
Building Expansion  
837 Boston Turnpike  
Special Permit Site Plan Review  
NLJA #0968-0042

Dear Ms. Carson:

As requested, we have reviewed the following information received for the subject project at our office through June 14, 2022:

- Item 1: Set of three (3) drawings titled "Able Coil & Electronics, 837 Boston Turnpike, Bolton, Connecticut", Drawing Nos. C-1, C-2 & ES-1, scales as noted, latest revision date shown 06-14-2022, prepared by PDS Engineering & Construction, Inc.
- Item 2: Set of two (2) drawings titled "Able Coil – Proposed Warehouse, 837 Boston Turnpike, Bolton, Connecticut", scales as noted, latest revision date shown 06-13-2022, prepared by PDS Engineering & Construction, Inc.

The subject application proposes to construct a new 12,000 s.f. building adjacent to the existing building. A connecting corridor will join the two structures.

We have the following comments:

1. In accordance with Section 16A.2.c.5(f) the Site Plan should show the location of rock outcrops and tree lines. Additionally, proposed clearing limits should be identified.
2. In accordance with Section 16A.3.j., an Outdoor Lighting Plan should be prepared.
3. In accordance with Section 16A.3.q., a Landscaping Plan should be prepared.
4. The site plan should show a limits of disturbance line for the proposed project. Additionally, existing and proposed contours should be shown within the limits.
5. The existing 15" HDPE drainage pipe beneath the proposed building should be relocated outside of the building footprint.



Ms. Patrice Carson, AICP  
Director of Community Development  
Re: Howard Road Realty  
Building Expansion  
837 Boston Turnpike  
Special Permit Site Plan Review  
NLJ #0968-0042  
June 23, 2022  
Page 2 of 2

6. The Site Plan should identify the abutting property owners to the east of the subject parcel.
7. Drainage computations should be submitted to confirm that the proposed improvements will not increase site runoff and provide adequate capacity for the Water Quality Volume.

Should you have any questions, please feel free to contact our office.

Very truly yours,

NATHAN L. JACOBSON & ASSOCIATES, INC.

Joseph M. Dillon, P.E.

JMD:jmd

cc: Barbara Kelly  
Michael D'Amato  
James Rupert  
File

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**Nathan L. Jacobson & Associates, Inc.**  
Nathan L. Jacobson & Associates, P.C. (NY)  
86 Main Street P.O. Box 337 Chester, Connecticut 06412-0337  
Tel 860.526.9591 Fax 860.526.5416  
Consulting Civil and Environmental Engineers Since 1972





**PDS ENGINEERING &  
CONSTRUCTION, INC**

June 28, 2022

Town of Bolton  
222 Bolton Center Road  
Bolton, CT 06043

Attention: Patrice L. Carson, AICP, Consulting Director of Community Development

Reference: **Howard Road Realty, LLC / Able Coil & Electronics, Inc., 837 Boston Turnpike**  
Proposed 15,000 Sq. Ft. Light Manufacturing Pre-Engineered Metal Building

Subject: **Response to Special Permit #PL-22-4 Site Plan Review Comments**

Dear Patrice:

PDS Engineering & Construction, Inc. has received the staff review comments of June 24, 2022, has added the requested information, and is providing the responses below for each, which we trust will be satisfactory:

**A. ADDITIONAL INFORMATION NEEDED BY THE PZC**

- 1. Warranty Deed** – See attached Schedule A's for: "Portion of Lot 2 To Be Combined With 837 Boston Turnpike", "Portion of Lot 1 To Be Combined With 837 Boston Turnpike", and "Revised Lot 1". These are being uploaded online into ViewPoint in the #PL-22-5 Zone Change application.
- 2. Site Plan Checklist** – See attached completed "Checklist for Site Plan Review".
- 3. Stormwater Management Report** – See attached Stormwater Management Report with drainage calculations and Water Quality Volume capacity. Refer to Drawings C-1 Proposed Site Plan, C-2 Site Details, and ES-1 Erosion & Sedimentation Control Plan for grading and drainage design, notes and details.
- 4. Landscaping Plans & Details (N/A)** – The existing natural and built landscaping on this site is quite attractive and will remain as-is. No new landscaping is planned because the new 1-story light manufacturing building will hardly be visible from the street or abutting lots. It shall be located behind and connected to the existing light manufacturing building. It will be built into a slope, with existing woods behind and to the sides. New lawn shall be established around the new building up to the woods and/or parking lot in all areas disturbed from construction. Refer to Drawing ES-1 for lawn restoration information.
- 5. Lighting Details** – Refer to Drawing SL-1 Site Lighting Plan, which includes catalog cuts of recommended light fixtures and a photometric map of the site. This plan is being uploaded online into ViewPoint.
- 6. Approval from BLRWPCA for Sewer Use / EDU Adjustment** – BLRWPCA approval to connect and discharge into the existing lateral will be applied for and granted *after the Special Permit is obtained*. The proposed design is based on 25 employees occupying the new building. An Equivalent Dwelling Unit, or EDU, is a unit of sewage flow equal to 200 GPD. Per the BLRWPCA Sewer Benefit Assessment Policy, an Industrial Plant classification is assigned 1.0 EDU for the first 10 employees or less, plus 0.1 EDU for each additional employee (Total 2.5 EDUs). Per CTDPH Technical Standards, the design flow of a manufacturing building is 25 gallons per day per person, or 625 GPD (Total 3.125 EDUs). For commercial properties, a revised EDU value may be assigned based on water meter data, current sewage assessment, or other pertinent information presented by the Owner to the BLRWPCA.

7. **Copy of Referral to CTDOT for Work Proposed Within the CTDOT R.O.W. (N/A)** – There is no work proposed in the CTDOT Right-Of-Way (State Route 44) for this project. The existing 2-inch HDPE pipe service connection (lateral / stub) extends into the Owner's property (modified lot for 837 Boston Turnpike) for tie-in to the 1.5-inch force main from the new duplex grinder pump station. See BLRWPCA Sheet RD-206 for location of connection.

## **B. COMMENTS FROM THE FIRE MARSHAL AND FIRE CHIEF**

1. **Fire Department Access** – There is reasonable Fire Department access to the side facing the rear parking lot. A striped fire lane has been identified along the edge of the existing parking lot adjacent to the detention basin.

2. **To Mitigate Loss in the Event of a Fire** – To access the other three sides of the building, trees will be cleared approximately 25' to 35' around the building for construction and egress purposes. Lawn will be established and maintained in this area, although the grade slopes upward to the east (towards the back of the building). Emergency apparatus can potentially access close to the new building from either Boston Turnpike or the existing parking lot if they drove on these grassed areas.

3. **Identify and Differentiate Between Structures in the Event of an Emergency** – All buildings on site are considered 837 Boston Turnpike. The office building in the front is obvious. The Owner has agreed to furnish and install exterior signs on the two manufacturing buildings. Building "A" will be the existing 20,000 SF manufacturing building behind the office building. Building "B" will be the new 15,000 SF manufacturing building in the back. A sign with arrows will be located at the entrance drive to direct emergency vehicles to the appropriate building.

## **C. COMMENTS FROM THE INLAND WETLANDS AGENT**

1. **No Wetland Permit Application Will Be Needed** – The proposed building construction or lot line and zone changes are outside the wetlands upland review area and unlikely to impact more distant wetlands.

## **D. COMMENTS FROM THE EHHD SANITARIAN**

1. **None** – The plan was reviewed. They are on central sewer and a public water supply. No comments.

## **E. COMMENTS FROM THE TOWN'S ENGINEER**

1. **Show Location of Rock Outcrops, Tree Lines, and Clearing Limits** – All shown on the revised drawings.

2. **Outdoor Lighting Plan Should Be Prepared** – See Drawing SL-1 Site Lighting Plan which includes catalog cuts of recommended light fixtures and a photometric map of the site.

3. **Landscaping Plan Should Be Prepared (N/A)** – It was agreed that the existing natural and built landscaping on this site is quite attractive and will remain as-is. No new landscaping is planned because the new 1-story light manufacturing building will hardly be visible from the street or abutting lots. It shall be located behind and connected to the existing light manufacturing building. It will be built into a slope, with existing woods behind and to the sides. New lawn shall be established around the new building up to the woods and/or parking lot in all areas disturbed from construction. Refer to Drawing ES-1 for lawn restoration information.

4. **Show Limits of Disturbance and Contours Within the Limits** – All shown on the revised drawings.

**5. Relocate the Existing 15" HDPE Drainage Pipe Beneath the Building** – It was agreed that this proposed storm overflow drain was satisfactorily relocated inside the building footprint away from any axial column loads. Minimum pipe cover is 12 inches below the building slab, so no point loading will damage the pipe. LINK-SEAL (or equal) will be utilized at the foundation wall penetrations. There is no access to the pipe from the inside of the building, and it is completely underground. This straight pipe is large enough to self-clean and will only be used during notable rain events as an overflow pipe or when ice or snow prevents water flow to the existing storm drainage system. It is insurance that no flooding or ponding will occur on the north side of the new connector, where substantial overland flow occurs and is collected by the existing yard drains.

**6. Identify Abutting Property Owners on Plans** – The revised Zone Change Plans, Site Plan, and E&S Plan now show the Abutters.

**7. Drainage Computations** - See attached Stormwater Management Report with drainage calculations and Water Quality Volume and Flow. Refer to Drawings C-1 Proposed Site Plan, C-2 Site Details, and ES-1 Erosion & Sedimentation Control Plan for grading and drainage design, notes and details. With the added detention basin, stormwater peak discharge following development will not exceed the runoff peak discharge prior to development.

I hope that this additional information and these responses are acceptable to you and your staff. PDS has been working very closely with the Owner and the Town of Bolton on the Zoning Change Application and Special Permit Application approval process. I really appreciate the guidance and feedback from your staff. I believe that we are well-prepared for the Public Hearing on July 13, 2022. If you should need additional information, please do not hesitate to contact me.

Sincerely,

PDS ENGINEERING & CONSTRUCTION, INC.



**Randy J. Becker, P.E.**

Senior Construction Manager

Cell (860) 978-6316

Email: [randyb@pdsec.com](mailto:randyb@pdsec.com)

cc: Steven Rockefeller, President, Able Coil & Electronics, Inc.  
Bill Jodice, President, PDS Engineering & Construction, Inc.  
Jim Rupert, Bolton Fire Marshal  
Bruce Dixon, Bolton Fire Chief  
Barbara Kelly, Inland Wetlands Commission  
Thad King, EHHD  
Joe Dillon, P.E., Jacobson

Attachments

PORTION OF LOT 2 TO BE COMBINED WITH 837 BOSTON TPKE.

SCHEDULE A

Beginning at the southwest corner of the herein described parcel and the northwest corner of land now or formerly of Michael Morin.

Thence N-68°-16'-23"-E a distance of 202.05 feet to a point;

Thence N-30°-13'-28"-E a distance of 132.00 feet to a point

Thence N-48°-28'-28"-E a distance of 312.18 feet to the southeast corner of the herein described parcel and land now or formerly of Daniel and Melissa Bryk. The previous three (3) courses were along land of the said Michael Morin.

Thence N-06°-42'-56"-W a distance of 257.92 feet along land of the said Daniel and Melissa Bryk to land now or formerly of RLB Real Estate Holdings LLC;

Thence S-76°-26'-58"-W a distance of 200.21 feet to a point;

Thence N-06°-07'-48"-W a distance of 83.42 feet to a point and land now or formerly of Lot 1. The previous two (2) courses were along land of the said RLB Real Estate Holdings LLC.

Thence S-82°-13'-29"-W a distance of 50.00 feet along land of the said Lot 1 to a point;

Thence along the arc of a curve to the left having a radius of 1,559.86 feet, a distance of 311.47 feet along Proposed Area of Lot 1 to Be Combined With 837 Boston Tpke. to a point and land now or formerly of Howard Road Realty, LLC;

Thence S-07°-46'-57"-E a distance of 548.79 feet along land of the said Howard Road Realty, LLC to the point and place of beginning.

The above described parcel is the major portion of the original Lot 2, contains 245,952 SF (5.65 AC) of land and is shown as "PROPOSED AREA OF LOT 2 TO BE COMBINED WITH 837 BOSTON TPKE." on a map entitled "PROJECT NAME: ABLE COIL & ELECTRONICS PROPOSED ZONE AMENDMENT 889 BOSTON TURNPIKE BOLTON, CONNECTICUT DRAWING TITLE: PROPOSED ZONE PLAN C-102 OWNER: HOWARD ROAD REALTY, LLC. 25 HOWARD ROAD PO BOX 9127 BOLTON, CONNECTICUT 06043 APPLICANT: ABLE COIL AND ELECTRONICS CO. 25 HOWARD ROAD PO BOX 9127 BOLTON, CONNECTICUT 06043 PDS ENGINEERING & CONSTRUCTION, INC. DATE 6-2-2022 ZONE CHANGE APPLICATION 6-16-2022 ADDED DIMENSIONS "

PORTION OF LOT 1 TO BE COMBINED WITH 837 BOSTON TPKE.

SCHEDULE A

Beginning at a point on the south street line of Boston Turnpike at the northwest corner of the herein described parcel and the northeast corner of land now or formerly of Howard Road Realty, LLC.

Thence along the arc of a curve to the right having a radius of 1,859.86 feet, a distance of 65.48 feet along the south street line of Boston Turnpike to a point and land now or formerly of Lot 1;

Thence S-07°-46'-57"-E a distance of 246.65 feet to a point;

Thence N-82°-13'-29"-E a distance of 233.13 feet to a point. The previous two (2) courses were along land of the said Lot 1.

Thence along the arc of a curve to the left having a radius of 1,559.86 feet, a distance of 311.47 feet along land of Proposed Area Of Lot 2 To Be Combined With 837 Boston Tpke. to the southwest corner of the herein described parcel and land of the said Howard Road Realty, LLC;

Thence N-07°-46'-57"-W a distance of 323.66 feet along land of the said Howard Road Realty, LLC to the point and place of beginning.

The above described parcel consists of a portion of the original Lot 1, contains 27,507 SF (0.63 AC) of land and is shown as "PROPOSED AREA OF LOT 1 TO BE COMBINED WITH 837 BOSTON TPKE." on a map entitled "PROJECT NAME: ABLE COIL & ELECTRONICS PROPOSED ZONE AMENDMENT 889 BOSTON TURNPIKE BOLTON, CONNECTICUT DRAWING TITLE: PROPOSED ZONE PLAN C-102 OWNER: HOWARD ROAD REALTY, LLC. 25 HOWARD ROAD PO BOX 9127 BOLTON, CONNECTICUT 06043 APPLICANT: ABLE COIL AND ELECTRONICS CO. 25 HOWARD ROAD PO BOX 9127 BOLTON, CONNECTICUT 06043 PDS ENGINEERING & CONSTRUCTION, INC. DATE 6-2-2022 ZONE CHANGE APPLICATION 6-16-2022 ADDED DIMENSIONS "



## REVISED LOT 1

### SCHEDULE A

Beginning at a point on the south street line of Boston Turnpike at the northeast corner of the herein described parcel and the northwest corner of land now or formerly of RLB Real Estate Holdings LLC.

Thence along the arc of a curve to the left having a radius of 1,859.86 feet, a distance of 300.79 feet along the south street line of Boston Turnpike to the northwest corner of the herein described parcel and the northeast corner of Proposed Area Of Lot 1 To Be Combined With 837 Boston Tpke.;

Thence S-07°-46'-57"-E a distance of 246.65 feet to a point;

Thence N-82°-13'-29"-E a distance of 233.13 feet to a point and land of Lot 2. The previous two (2) courses were along land of the said Proposed Area Of Lot 1 To Be Combined With 837 Boston Tpke.

Thence N-82°-13'-29"-E a distance of 50.00 feet along land of the said Lot 2 to the southeast corner of the herein described parcel and land of the said RLB Real Estate Holdings LLC;

Thence N-06°-07'-48"-W a distance of 316.58 feet along land of the said RLB Real Estate Holdings LLC to the point and place of beginning.

The above described parcel consists of the major portion of the original Lot 1 and a small portion of Lot 2, contains 82,056 SF (1.88 AC) of land and is shown as "PROPOSED TOTAL LOT 1 AREA "on a map entitled "PROJECT NAME: ABLE COIL & ELECTRONICS PROPOSED ZONE AMENDMENT 889 BOSTON TURNPIKE BOLTON, CONNECTICUT DRAWING TITLE: PROPOSED ZONE PLAN C-102 OWNER: HOWARD ROAD REALTY, LLC. 25 HOWARD ROAD PO BOX 9127 BOLTON, CONNECTICUT 06043 APPLICANT: ABLE COIL AND ELECTRONICS CO. 25 HOWARD ROAD PO BOX 9127 BOLTON, CONNECTICUT 06043 PDS ENGINEERING & CONSTRUCTION, INC. DATE 6-2-2022 ZONE CHANGE APPLICATION 6-16-2022 ADDED DIMENSIONS "

**BOLTON PLANNING & ZONING COMMISSION  
CHECKLIST FOR SITE PLAN REVIEW (§ 16A)  
AND SPECIAL PERMIT (§ 16B) APPLICATIONS**

March 11, 2009

THIS CHECKLIST MUST BE COMPLETED BY THE APPLICANT OR AN AUTHORIZED REPRESENTATIVE AND SUBMITTED WITH THE APPLICATION.

The Planning and Zoning Commission will use this checklist in determining the completeness or incompleteness of the application. The applicant is responsible for providing all the applicable information on this checklist. The applicant is encouraged to provide any additional information to clearly present a proposed activity and its potential effects on the community. The Commission may require additional information not included in this checklist to determine compliance with the regulations.

AN APPROVAL OF AN APPLICATION COULD BE DENIED IF AN APPLICATION LACKS SUFFICIENT INFORMATION.

Some of the items below are essential for any application while others may not be applicable for a particular proposal. The applicant is encouraged to ask the town staff to review the completed application with all supporting information and the completed checklist, prior to submitting the application to the Planning and Zoning Commission so that the staff can provide the applicant an opinion on the completeness of the application.

Pursuant to Section 16A.2.p, at time of application submission, the applicant may request in writing that the Commission determine that all or a part of the information required under Section 16A.2.c through o. (except subsections e., f., i., and j.) is NOT necessary in order to decide on an application.

Applicants may be subject to supplemental review fees to defray the costs of professional review services such as engineering or legal reviews. Please see attached information sheet.

Name of Development ABLE COIL & ELECTRONICS, INC. SPECIAL PERMIT #PL-22-4

Applicant RANDY BECKER, PDS ENG. & CONST., INC. Date 6/28/2022

Item	Description	Applicant		Staff	
		Included	Not Included	Completeness Opinion	
				Yes	No
1	Completed, signed application by applicant and owner	✓			
2	Payment of required application fees	✓			
2A	Statement of Use in accordance with § 16A.2.b	✓			
3	All draft deeds for any roads, road widenings and easements for drainage, conservation, driveways, utilities	✓			
4	Evidence of request for approval by the Health District and/or Sewer Authority for review, as appropriate		✓		
5	Evidence of submission of application to the Inland Wetlands Commission if it is within that Commission's jurisdiction		✓		
6	Evidence of submission of a request for review and approval by the Fire Marshal and Fire Chief of the water supply for fire protection	✓			
7	Copies of any required applications to other local, state or federal regulatory approvals	✓			
8	Written evidence of applicant's legal interest in the subject property (deed, lease option to purchase, bond for deed, etc.)	✓			

Item	Description	Applicant		Staff	
		Included	Not Included	Completeness Opinion	
				Yes	No
9	List of mailing address of all current property owners within 500 feet of the subject property, from the Town Assessor records (for special permit only)	✓			
10	List of all hazardous or potentially hazardous materials which will be present on the property with a full description of procedures that will be used to assure safety with the material safety data sheets	✓			
12	Digital copy of plans in DXF or DGN format if available	✓			
13	Paper and digital copies of all reports including hydrology, hydraulic and drainage computations and	✓			
14	14 sets of complete stamped and signed site plans measuring 24" x 36	✓			
	<b>THE FOLLOWING ITEMS 15 THROUGH 51 SHALL BE INCORPORATED IN PLANS</b>				
15	A-2 boundary survey of the subject property showing all existing and proposed boundary lines and markers, easements, adjoining property lines and the names of all current abutting property owners	✓			
16	Names of abutting lot owners	✓			
17	USDA Soils boundaries and types	✓			
18	Plan title block in the extreme lower right corner (not sideways) to include the name of the town of Bolton	✓			
19	All plan sheets numbered with the format "sheet x of y"		✓		
20	Clear legible plans with all lines, symbols and features readily identifiable	✓			
21	North arrow on each plan including the reference meridian	✓			
22	Graphic bar scale on each plan sheet, not smaller than 1"= 40' unless otherwise approved by the Commission	✓			
23	Overall plan of site at a smaller scale, with sheet index, if the site does not fit on one sheet at a scale of 1"=40'	✓			
24	Key map at a scale of 1"= 500' showing the relation of the site to abutting properties and streets, shown on plan and zoning district boundaries within 500' of site	✓			
25	Original and revision plan dates and revision explanations shown on the affected plan sheets	✓			
26	Existing and proposed grading with two foot contours to T-2 standards, for all ground surfaces, shown on plan	✓			
27	Existing and proposed structures and features, their uses and those to be removed, shown on the plan	✓			
28	HVAC equipment located outside the building(s)	✓			
29	Existing and proposed driveway entrances to street, parking, loading areas, fire lanes, sidewalks and construction detail drawings, shown on plan	✓			
30	Sight distances from property entrances along public roads shown on plan and on profile if grading is needed	✓			
31	Soil test locations and soil test results shown on plan		✓		
32	Existing and proposed sewage disposal systems and design information, shown on plan	✓			
33	Outside Storage Areas		✓		



Item	Description	Applicant		Staff	
		Included	Not Included	Completeness Opinion	
				Yes	No
34	Underground / overhead utilities, existing and proposed	✓			
35	Existing and proposed water supply shown on plan	✓			
36	Existing wells and sewage disposal systems on other properties that could conflict with proposed site improvements, shown on plan		✓		
37	Existing and proposed footing drains, curtain drains and dry wells, shown on plan	✓			
38	Existing and proposed drainage systems, any affected floodway or floodplain and construction detail drawings, shown on plan, including base flood elevation and floor elevation data.	✓			
39	Existing and proposed bridges and culverts on or adjacent to the site, shown on plan		✓		
40	Existing and proposed signs with dimensions and construction detail drawings, shown on plan	✓			
41	Existing and proposed fences and walls with dimensions and construction detail drawings, shown on plan		✓		
42	Zoning district boundaries affecting the site, shown on plan	✓			
43	Table shown on plan of zoning dimensions required and provided for lot area, street frontage, lot width, yard setbacks, impervious area, building coverage and the height and floor area of each building	✓			
44	Table on plan of parking / loading spaces required / provided	✓			
45	Fire lanes	✓			
46	Sidewalks and other pedestrian ways	✓			
47	Off-site traffic improvements	✓			
41	Limits of wetlands as delineated by a certified soil scientist with the soil scientist's signed certification, shown on plan or a certification signed by a soil scientist that no wetlands are within 100 feet		✓		
42	Natural features including 100 year flood plain areas, ponds, vernal pools, aquifers, slopes steeper than 25% and potential areas of endangered species, shown on plan		✓		
43	Landscaping plan including the locations, numbers, installed sizes, anticipated mature sizes, species and common names of proposed plants plus cost estimate based on published Connecticut DOT unit prices		✓		
44	Existing trees of 6" caliper or greater		✓		
45	Significant archaeological sites		✓		
46	Lighting plan including the location, size, height, light intensity coverage areas and manufacturer's product descriptions for each light type	✓			
47	Erosion and Sedimentation Control Plan, with narrative and construction detail drawings, in accordance with the latest Connecticut Guidelines for Soil Erosion and Sediment Control	✓			

Item	Description	Applicant		Staff	
		Included	Not Included	Completeness Opinion	
				Yes	No
48	Best management practices to remove contaminants, including sediments and oils, from runoff water, shown on plan, in construct detail drawings, and explained in a report by a qualified professional		✓		
49	Architectural elevation drawings of proposed buildings	✓			
50	Architectural floor plans of existing and proposed buildings	✓			
51	Perspective color drawings or digital views of the site as seen from adjacent roads and from abutting property lines showing the proposed conditions including buildings, landscaping and appurtenant features	✓			
52	Traffic Impact Report for applicable sites as described in Zoning Regulations Section 16A.2.k.		✓		
53	Thorough, well organized drainage design report for before and after development conditions, that conforms to the latest Conn. Dept. of Transportation and Conn. Dept. of Environmental Protection guidelines and requirements with appropriate calculations, maps, graphics and narrative descriptions of hydrology, hydraulics, assumptions, erosion controls, drainage paths and systems for the 1, 2, 10, 50 and 100 year storm events	✓			
54	Statement in drainage report that the after development flows for all storm events do not exceed the before development flows	✓			
55	Sanitary Waste Disposal Plan (if community sewerage system)	✓			
56	Evaluation of the impact of proposed development upon existing and potential public surface and ground drinking water supplies, pursuant to CGS, Section 8-2		✓		
57	Certified copy of Certificate of Public Convenience and Necessity in connection with a "water company", in accordance with CGS, Section 8-25a		✓		
58	Existing and proposed Covenants or Restrictions	✓			
59	Engineer's itemized cost estimate for the installation of all erosion and sediment controls based on published Connecticut DOT unit prices	✓			
60	Engineer's itemized cost estimate for site improvements based on published Connecticut DOT unit prices as basis for the establishment of a completion bond	✓			



PDS ENGINEERING &  
CONSTRUCTION, INC

June 28,2022

# Stormwater Management Report

**Able Coil & Electronics, Inc.**

## **15,000 Sq. Ft. Light Manufacturing Building Addition**

**By: Randy J. Becker, P.E.**

PDS Engineering & Construction, Inc.

107 Old Windsor Road

Bloomfield, CT 06002

(860) 242-8586

### **1. Applicant/Site Information**

**Howard Road Realty, LLC / Able Coil & Electronics, Inc.**

**837 Boston Turnpike, Bolton, CT 06043**

**Ph. (860) 646-5686**

**Special Permit #PL-22-4**

### **2. Project Narrative**

Since 1969 Able Coil & Electronics has manufactured precision-wound coils, toroids, transformers, solenoids, cable and connector harnesses, and many other electrical assemblies. We're currently operating out of two facilities, 837 Boston Turnpike and 25 Howard Road. In an effort to increase operational efficiencies and reduce cost, we're proposing to build a new 15,000 sq-ft building behind our existing 20,000 sq-ft facility at 837 Boston Turnpike. When complete, we plan to move operations from 25 Howard Road to 837 Boston Turnpike. Manufacturing operations performed in the new building will be light industrial and typical for our business. This includes coil winding, electrical assembly, and mechanical assembly. The following operations will also be performed in the new building:

- Small fabrication and repair work center to support operations, repair, and maintenance needs.
  - 3D print room to support prototype and custom tooling requirements.
  - 2 small plastic injection molding machines to over mold coils.
  - Storage of spooled wire, slow moving inventory, and finished goods.
  - We estimate 25 employees will work in the new building. The buildings will be connected via a connector so we can share both technical and supervisory resources in a more efficient manner.
- 
- The property is not located in Flood Hazard Zone A per Flood Insurance Rate Map (FIRM) Community-Panel Number 09109 - 0001B effective date June 1, 1981.
  - Wetlands exist on the property but are not within 200 feet of the proposed site development.



- A relatively new 5,625 sq-ft office building and existing 20,000 sq-ft light manufacturing building lie to the north of the proposed building addition.
- An existing 38-space paved parking lot lies to the west of the proposed addition. The office building entrance has a smaller, 6-space paved parking lot.
- Mature woods surround the developed site on three sides (Boston Turnpike / Route 44 borders on the north). Maintained lawns and landscaping separates the woods from the buildings and parking lots.
- The terrain generally slopes down from northeast to southwest, with all of the stormwater flowing above elevation 658.00 captured in a series of yard drains and directed to the existing detention basin, which was designed to handle all the overland flow from this sloping terrain, the building roofs, and the impervious paved surfaces.
- There is no change to the existing flow due to the proposed site development. Even though the existing 8" storm drain system can handle the peak discharge of a 100-year storm, provisions for an emergency overflow pipe are planned at the new catch basin where the new building connects to the existing building in the event of a blockage by debris or ice/snow. This 15" HDPE 250-ft long pipe will run under the new building at 1% slope and daylight into a grassed swale at elevation 662.52. The emergency flow would eventually empty into the new detention basin on the south end of the proposed parking lot.
- Impervious area will increase by 13,467 sq-ft of pavement, including a new 40-space parking lot to the southwest of the new building. Slope is approximately 5%, and runoff coefficient is 0.95.
- Footing drains and roof drains from the new building will connect to the existing stormwater drainage system.
- Site soils as defined by USDA NRCS soil surveys consist of Type 73C Charlton-Chatfield complex, 3 -15% slopes, very rocky, gently sloping to very steep, well-drained and somewhat excessively drained, loamy soils on glacial till uplands. The soils in this map unit make up about 10 percent of the state. The landscape is predominantly upland hill and ridges landscapes. The coarse, loamy soils formed in melt-out till. Stones and boulders are common on the surface in most places, and many areas have outcrops of bedrock. Depth to seasonal water table is greater than 6 feet. Charlton soils make up about 45 percent of this map unit. They are very deep, well drained, loamy soils with moderate or moderately rapid permeability in the substratum. Charlton soils are gently sloping to steep and are on hills. Chatfield soils make up about 30 percent of this map unit. They are moderately deep to bedrock, well drained, loamy soils with moderate or moderately rapid permeability in the substratum. Chatfield soils are gently sloping to steep and are on bedrock-controlled hills and ridges. Minor components make up about 25 percent of the map unit, including areas of moderately well drained Sutton soils and poorly drained Leicester soils. Sutton soils are in slight depressions in the landscape. Leicester soils are in depressions and drainageways. Also included are small areas of shallow, somewhat excessively drained Hollis soils where bedrock is 10 to 20 inches below the surface.
- Moderate depth to bedrock, rock outcrops, slope, frost action, and thin soil layer are major limiting factors of Chatfield soils. Large stones are a limitation of Charlton soils, although the depth to bedrock is very deep. Most areas of this map unit are in woodland and some areas are in community development. The soils of this map unit are suited to forestry and wildlife habitat. Stones and boulders need to be removed from the surface in some areas. Ledge is present on site and, if encountered while excavating, must be removed in an approved manner. The proposed building will be constructed into the slope with the finished floor 4 feet above the exterior front grade to accommodate a loading dock.
- Stormwater discharges from this site may carry negligible amounts of pollutants such as oil, dirt, chemicals, and lawn fertilizers to streams and rivers, and will not seriously harm water quality.

- To protect surface water quality and groundwater resources, the proposed development is designed to be built to minimize increases in runoff. The post-development drainage patterns will be the same as the pre-development drainage patterns on this project. The only difference is the new pavement area has an increased runoff coefficient as opposed to the existing lawn in this area.
- This development does not adversely affect critical areas, buffers, and setbacks established by the local, state, and federal regulatory authorities.
- The DEEP Water Quality Classification Map for Bolton indicates an on-site groundwater classification of GA. Class GA designated uses are existing private and potential public or private supplies of water suitable for drinking without treatment and baseflow for hydraulically-connected surface water bodies. Surface waters which are not specifically classified (as in this case) shall be considered as Class A. Class A designated uses are habitat for fish and other aquatic life and wildlife; potential drinking water supplies; recreation; navigation; and water supply for industry and agriculture.
- None of the on-site or adjacent waterbodies to this property (i.e. Lower Bolton Lake, Bolton Pond Brook, Hop River) are included on the Connecticut 303(d) 2020 List of Impaired Waters for Connecticut (EPA Category 5).

#### **Potential stormwater impacts**

- Potential pollution sources – Erosive soils, moderately steep slopes, vehicle fueling, vehicle washing, stockpiling of materials, and hazardous chemicals.
- Summary of calculated pre- and post-development peak flows
- Summary of calculated pre- and post-development groundwater recharge

#### **Critical on-site resources**

- Wells, aquifers – Existing onsite private well.
- Wetlands, streams, ponds – None within 200 feet of the development.
- Public drinking water supplies – None.

#### **Critical off-site (adjacent to or downstream of site) resources**

- Neighboring land uses – Residential, Commercial
- Wells, aquifers – Existing onsite private wells.
- Wetlands, streams, ponds – Lower Bolton Lake to the north (not in drainage area). Bolton Pond Brook to the east and Hop River to the south.
- Public drinking water supplies – None.

#### **Proposed stormwater management practices**

- Source controls and pollution prevention – Pollution potential is very limited on this site since erosive soils and moderately steep slopes are stabilized with lawns, curbs, pavement, or walls, no fueling or vehicle washing is anticipated, no stockpiling is anticipated, and no hazardous chemicals will be used outdoors.
- Alternative site planning and design – Emergency overflow pipe is being installed.

- Stormwater treatment practices – Catch basin will have a sump for collecting sediment and debris, to be maintained by the Owner. Rip-rap plunge pool surrounds the catch basin. New detention basin collects stormwater from added impervious pavement and the rip-rap level spreader prevents scouring downslope.
- Flood control and peak runoff attenuation management practices – Emergency overflow pipe is being installed in the new catch basin to prevent flooding at the lower inside corner where the buildings connect if and when debris or snow/ice covers the 8" pipe in the catch basin. Grassed swale is provided from the outfall of this pipe to the detention basin. Detention basins are oversized for the peak flow.

#### **Site plan (See Drawing C-1 for existing and proposed conditions)**

- Topography to determine drainage patterns, drainage boundaries, and flow paths
- Locations of stormwater discharges
- Perennial and intermittent streams, if any
- USDA soil types
- Vegetation and proposed limits of clearing and disturbance
- Resource protection areas such as wetlands, lakes, ponds, and other setbacks (stream buffers, drinking water well setbacks, septic setbacks, etc.)
- Roads, buildings, and other structures
- Utilities and easements
- Temporary and permanent conveyance systems (grass channels, swales, ditches, storm drains, etc.) including grades, dimensions, and direction of flow
- Location of floodplain and floodway limits and relationship of site to upstream and downstream properties and drainage systems
- Location, size, maintenance access, and limits of disturbance of proposed structural stormwater management practices
- Final landscaping for structural stormwater management practices and site revegetation
- Locations of non-structural stormwater management practices (i.e., source controls)
- Construction Schedule

### **3. Calculations for 13,467 Sq-Ft (0.31 Acre) Additional Pavement and 7,340 Sq-Ft (0.17 Acre) Lawn Area Below Elevation 658.00 (No change to existing drainage system above that elevation)**

#### **Pollutant Reduction**

- **Calculate Water Quality Volume (WQV)** = the volume of runoff (in acre-ft) generated by 1" of rainfall on the site; the amount that should be captured & treated in order to remove pollutants.
- $WQV = (1")(R)(A)/12$        $A = \text{area} = 20,807/43,560 = 0.48 \text{ Acre}$

- $R = \text{volumetric runoff coefficient} = 0.05 + 0.009(I)$ , where  $I = \% \text{ Impervious cover} = 13,467/20,807 = 65\%$   
 $R = 0.05 + 0.009(65) = 0.635$
- $WQV = (1)(0.635)(0.48)/12 = 0.0254 \text{ Ac-ft} = 1,106 \text{ cu ft}$  stormwater to be treated with post-construction BMP's
- **Calculate Water Quality Flow (WQF)** = the peak flow rate associated with the water quality design storm
- $Q = \text{Runoff depth (in watershed inches)} = [(WQV \text{ (in Ac-ft)} \times 12 \text{ inches/ft})] \div \text{Drainage area (Ac)}$   
 $= (0.0254 \text{ Ac-ft} \times 12) / 0.48 \text{ Ac} = 0.635 \text{ watershed inches}$
- $CN = 1000 / [10 + 5P + 10Q - 10(Q^2 + 1.25QP)^{1/2}]$
- Water Quality Design Storm Precipitation,  $P = 1.0 \text{ inch}$
- NRCS Runoff Curve Number,  $CN = 1000 / [10 + 5(1) + 10(0.635) - 10((0.635)^2 + 1.25(0.635))]^{1/2}$   
 $CN = 1000 / 10 + 5 + 6.35 - 10(1.094) = 1000 / 10.41 = 96$   
 $I_a = 0.083 \text{ in (from Table 4-1 TR55)} \quad I_a/P = 0.083 \text{ in / 1 in} = 0.083$   
 $T_c = 10 \text{ min. (minimum)} = 0.167 \text{ hr (from Chapter 3 of TR55)}$   
 $q_u = \text{unit peak discharge (cfs/mi}^2\text{/inch)} = 600 \text{ csm/in (from Exhibit 4-III TR55)}$
- $WQF = (q_u)(A)(Q) = (600)(0.00746348 \text{ mi}^2)(0.635) = 2.84 \text{ cfs}$

## Groundwater Recharge

- $\text{Groundwater Recharge Volume (GRV)} = (D)(A)(I)/12 = (0.25)(0.48)(0.65)/12 = 0.0065 \text{ Ac-ft}$   
 $= 283.14 \text{ cu ft}$
- Type 73C Charlton-Chatfield complex, 3 -15% slopes, very rocky
- Hydrologic Soil Group B (from NRCS National Cooperative Soil Survey)
- Type III Rainfall Distribution in Connecticut
- Groundwater Recharge Depth = 0.25 in (Table 7-4)
- $I = \text{Post-development site imperviousness (decimal, not \%)} = 0.65 \quad A = 20,807 \text{ sq-ft} = 0.48 \text{ Acre}$

### Calculate Post-Development Flow and Detention Basin Size (for new 13,467 sq-ft of pavement area)

- Rational Formula  $Q = C \times i \times A$
- Description of design storm frequency, intensity, & duration (100-year, 0.322 in/hr, 24-hr duration)
- Pavement area,  $A = 13,467 \text{ sq-ft} = 0.31 \text{ Acre} = 0.00048 \text{ mi}^2$
- Surface Coefficient,  $C = 0.25$  (pre-development);  $C = 0.95$  (post-development)
  - Pre-Development Peak runoff rates, volumes, and velocities (24-hour storm):
    - 1-year frequency:  $i = 0.107 \text{ in/hr}$ ;  $Q = 0.008 \text{ cfs}$
    - 2-year frequency:  $i = 0.131 \text{ in/hr}$ ;  $Q = 0.010 \text{ cfs}$
    - 10-year frequency:  $i = 0.205 \text{ in/hr}$ ;  $Q = 0.016 \text{ cfs}$
    - 50-year frequency:  $i = 0.285 \text{ in/hr}$ ;  $Q = 0.022 \text{ cfs}$
    - 100-year frequency:  $i = 0.322 \text{ in/hr}$ ;  $Q = 0.025 \text{ cfs}$
  - Post-Development Peak runoff rates, volumes, and velocities (24-hour storm):
    - 1-year frequency:  $i = 0.107 \text{ in/hr}$ ;  $Q = 0.032 \text{ cfs}$
    - 2-year frequency:  $i = 0.131 \text{ in/hr}$ ;  $Q = 0.038 \text{ cfs}$
    - 10-year frequency:  $i = 0.205 \text{ in/hr}$ ;  $Q = 0.060 \text{ cfs}$
    - 50-year frequency:  $i = 0.285 \text{ in/hr}$ ;  $Q = 0.084 \text{ cfs}$
    - 100-year frequency:  $i = 0.322 \text{ in/hr}$ ;  $Q = 0.095 \text{ cfs}$
- Stormwater peak discharge following development cannot exceed the runoff peak discharge prior to development. Detention basin storage is being incorporated into this development to reduce the peak stormwater runoff discharge. Prior to development, the peak runoff from a 100-year storm is 0.025 cfs. Post-development, due to the increased surface coefficient, the peak runoff is 0.095 cfs. Enough detention storage must be incorporated to reduce the predicted stormwater runoff peak discharge to the pre-development flow of 0.025 cfs.
- Inflow = 0.095 cfs
- Outflow = 0.025 cfs
- Outflow/Inflow =  $0.025/0.095 = 0.26315789$
- Runoff Depth,  $Q = 0.635 \text{ in}$
- Runoff Volume,  $V_r = 708.1136 \text{ cu ft.}$
- Storage Volume,  $V_s = 286.50563 \text{ cu ft.}$  (TR-55 Method)
- $V_s/V_r$  ratio = 0.40460534
- Rational Method (more conservative): Rainfall Intensity,  $i = 2.72 \text{ in.}$  (100-year storm, 1-hr duration)
- Peak Flow =  $0.95 \times 2.72 \text{ in.} \times 0.31 = 0.801 \text{ cfs}$
- Minimum capacity of the new detention basin is  $0.801 \text{ cfs} \times 60 \text{ min.} \times 60 \text{ sec.} = 2,884 \text{ cu ft.}$
- Detention Basin Capacity provided = average area per foot depth  $\times 2.75 \text{ ft depth} = 3,091 \text{ cu ft.}$
- Water Quality Volume = 1,106 cu ft.



#### 4. Design Drawings and Specifications




- Recommended size (no larger than 24" x 36" and no smaller than 8-1/2" x 11")
- Recommended scale (maximum scale of 1" = 40', larger scales up to 1" = 100' may be used to represent overall site development plans or for conceptual plans)
- Design details (cross-sections, elevation views, and profiles as necessary)
- Specifications
- Construction materials
- Reference to applicable material and construction standards
- Title block
- Legend
- North arrow
- Property boundary of subject property (including parcels, or portions thereof, of abutting land and roadways within one hundred feet of the property boundary)
- Site locus map (recommended scale 1" = 1,000') with a north arrow
- Seals of a licensed professionals (original design plans, calculations, and reports)
- Survey plan prepared according to the *Minimum Standards for Surveys and Maps in Connecticut*
- The class of survey represented on the plan
- Stamped by a professional land surveyor
- Depict topography at contour intervals of two feet
- The referenced or assumed elevation datum
- Two (2) benchmarks on the site within one hundred feet of the proposed construction
- Outside limits of disturbances
- Plan references

#### 5. Construction Erosion and Sediment Controls

- Erosion and sediment control plan that complies with the requirements of the current version of *Connecticut Guidelines for Soil Erosion and Sediment Control, DEP Bulletin 34*.

#### 6. Supporting Documents and Studies

- Provide other sources of information used in the design of construction and post-construction stormwater controls for the site development, as applicable.

Planning Permit	Applicant	Location
PL-22-5	<div><div> Randy Becker</div><div> 8602428586</div><div> randyb@pdsec.com</div></div>	837 BOSTON TPKE BOLTON, CT 06043

Permit Info

Permit For	Building Type
Zone Change Application	Commercial
Development Title	Occupancy Type
--	Commercial
Project Cost	
1500000	
Project Description	
12000 sq ft manufacturing / warehouse	
Is this a modification of a previously approved application?	
No, this is a new application.	

Additional Applicant Info

Applicant Type	Application Contact Name
Other	Bill Jodice

Additional Project Info

Legal Notice Date 1	Legal Notice Date 2
--	--
Existing Gross Sqft	Proposed Gross Sqft
--	--
Existing Parking Spaces	Proposed Parking Spaces
--	--
Total Acreage / Sqft	Linear Feet of Frontage
--	--
Distance to Town Line	
--	

Amendment to Zoning Regulations or Change of Zone

Current Zoning District	Proposed Zoning District
RMUZ	R2

Describe Amendment to Zoning Regulations or Change of Use; provide reason for amendment; demonstrate consistency with Bolton Plan of Conservation & Development:

REFER TO ZONING PLANS SUBMITTED FOR A BEFORE AND AFTER COMPARISON

Parcels Included in Project

MBL / Parcel ID	Land Records: Vol.
05	180
Land Records: Page	
1042	

Construction Progress

Construction Progress	Time Spent (hrs)
0	--

Setbacks

Front Required	Front Provided
--	--
Back Required	Back Provided
--	--
Left Required	Left Provided
--	--
Right Required	Right Provided
--	--
Open Space Required	Open Space Provided
--	--
Lot Coverage Required	Lot Coverage Provided
--	--

Engineer Information

Company Name	Engineer Name
PDS ENGINEERING & CONSTRUCTION INC	--
Address	City
107 OLD WINDSOR ROAD	BLOOMFIELD
State	Zip

<b>CT</b>	06002
<b>Phone</b>	<b>Registration #</b>
8602428586	--
<b>Insurance Expiration</b>	<b>AOR</b>
--	--
<b>Email</b>	
BILLJ@PDSEC.COM	

## Architect Information

<b>Company Name</b>	<b>Architect Name</b>
PDS ENGINEERING & CONSTRUCTION INC	--
<b>Registration #</b>	<b>License Expiration</b>
--	--
<b>Address</b>	<b>City</b>
107 OLD WINDSOR ROAD	BLOOMFIELD
<b>State</b>	<b>Zip</b>
CT	06002
<b>Phone</b>	<b>Email</b>
8602428586	BILLJ@PDSEC.COM
<b>AOR</b>	
--	

## Attorney Info

<b>Name</b>	<b>Address</b>
--	--
<b>City</b>	<b>State</b>
--	--
<b>Zip</b>	<b>Phone</b>
--	--
<b>Email</b>	
--	

## Contractors

## Other Experts Retained by Applicant

<b>Name</b>	<b>Title / Expertise</b>
RANDY BECKER	P.E.
<b>Address</b>	<b>Phone No</b>
107 OLD WINDSOR ROAD	8602428586
<b>New Field</b>	
--	

**Application Submission and Certification**

I hereby certify that I am the owner of the record of the named property or that the proposed work is authorized by the owner of record and I have been authorized to make this application as agent, and we agree to conform to all applicable laws, regulations, and ordinances. All information contained within is true and accurate to the best of my knowledge.

**Electronic Signature**

true

**Applicant Name**

WILLIAM JODICE



# Town of Bolton

222 BOLTON CENTER ROAD • BOLTON, CT 06043

## BOLTON PLANNING AND ZONING COMMISSION

### APPLICATION FOR AMENDMENT TO ZONING REGULATIONS OR CHANGE OF ZONE

1. Type of Application:

☐ Amendment to Zoning Regulations

☒ Change of Zone

2. Applicant(s) ABLE COIL AND ELECTRONICS CO.

Address 837 BOSTON TURNPIKE, BOLTON, CT Zip 06043

Phone # 860-646-5686 Fax # 860-646-5678 E-mail ablesales@ablecoil.com

3. Owner(s) of subject property (if Change of Zone; append list if necessary) \_\_\_\_\_

HOWARD ROAD REALTY, LLC

Address P.O. Box 9127 / 25 HOWARD ROAD, BOLTON, CT Zip 06043

Phone # N/A Fax # N/A E-mail N/A

4. Official Contact / Representative regarding this Application: STEVEN K. ROCKEFELLER

Address P.O. Box 9127 / 25 HOWARD ROAD, BOLTON, CT Zip 06043

Phone # 860-646-5686 Fax # 860-646-5678 E-mail srockefeller@ablecoil.com

5. Location of Subject Property / Properties (if Change of Zone; append extra sheet if necessary):

Street Address(es): 837 BOSTON TURNPIKE, BOLTON, CT 06043

Bolton Assessor's Map # 05; Block # \_\_\_\_\_; Lot # 159 / LOT 1 / LOT 2

Bolton Land Records: Vol. 180; Page: 1042

6. Current Zoning District (if Change of Zone): RMU2/R-2/GB/IND.

7. Proposed Zoning District (if Change of Zone): RMU2/GB/IND.

8. Describe Amendment to Zoning Regulations or Change of Zone; provide reason for amendment; demonstrate consistency with Bolton Plan of Conservation & Development (attach additional sheets if necessary): \_\_\_\_\_



REFER TO ZONING PLANS SUBMITTED FOR A  
BEFORE AND AFTER COMPARISON.

9. Application Requirements:

- a. ☐ Amendment to Zoning Regulations
- i. ☐ Application Fee: \$ \_\_\_\_\_
- ii. ☐ Six (6) copies of Amendment language with additions / deletions in the context of the existing Regulations
- b. ☒ Change of Zone
- i. ☐ Application Fee: \$ \_\_\_\_\_
- ii. ☐ Written evidence of Applicant's legal interest in the subject property (ies) (deed, purchase agreement, etc.)
- iii. ☒ List of property owners located within 500 feet of property(ies) to be rezoned, as listed in the most current Bolton Assessor's Records
- iv. ☐ Stamped mailing envelopes addressed to owners of property located within 500 feet of property(ies) to be rezoned, as listed in the most current Bolton Assessor's Records (the applicant is responsible for the cost of certified mailings)
- v. Six (6) sets of a Class "D" or higher boundary survey of the subject property(ies), prepared by a CT Licensed Surveyor depicting the proposed Change of Zone at a scale not smaller than 1"=100', and depicting properties, names of property owners, and road ROWs within 500 feet.
- vi. A list of all hazardous, or potentially hazardous, materials anticipated as part of the proposed use of the property.
- vii. A written statement of intended use of the property


10. Applicant's Endorsement:

I am a willful participant and fully familiar with the contents of this application.

Signature  Date 6/2/2022

11. Owner's Endorsement (for change of zone, only, and if separate from Applicant:

I am a willful participant and fully familiar with the contents of this application.

Signature  Date 6/2/2022

---

**For Town Use Only**

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Fee Paid \_\_\_\_\_ Check # \_\_\_\_\_

Date application received by Planning and Zoning Commission \_\_\_\_\_

Date of public hearing \_\_\_\_\_

Petition Received? Yes \_\_\_\_\_ No \_\_\_\_\_ Date (If Yes) \_\_\_\_\_

Date of Planning and Zoning Commission action \_\_\_\_\_

Date of newspaper publication of Planning and Zoning Commission action \_\_\_\_\_

Summary of Planning and Zoning Commission action \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**Revised June 2, 2009**

**PL-22-5 (Zone Change application):**

The proposed light manufacturing building at Able Coil and Electronics requires several zoning changes to consolidate the company's operations. The existing office building and the existing manufacturing building on Boston Turnpike lie in the RMUZ zone. This parcel would change to General Business zone. The property to the south of the existing manufacturing building is zoned Industrial and will remain as-is.

The Owner also owns adjacent Lot 1, which is in the RMUZ zone, and adjacent Lot 2, which is in the R-2 zone. Lot 1 will remain in the RMUZ zone; however, the lot lines are being modified. This lot will remain a sellable 1.88-acre lot for the Owner.

Lot 2 will lose the 50-foot R.O.W. to the east of Lot 1 and will be changed to the General Business zone. The 0.30-acre piece of Lot 2 directly south of Lot 1 will change from RMUZ to General Business.

MARQUES DAVID & DEBELLA-MARQUES ASHLEY & SURV  
WEI RULING  
DORGAN MICHAEL  
DEBLOIS DAVID J & SANDRA M  
CRAYCO JOYCE MUISENER  
BOLTON TOWN OF  
BOLTON TOWN OF  
CALHOUN STEVEN J  
BOLTON TOWN OF  
MORGANSON WAYNE  
ROBBINS THOMAS J & CARLA T  
STAVENS BROTHERS INC  
VERRASTRO KENNETH F  
FAULKNER JOSEPH & YOLANDE A & SURV  
DOMENICO ROBERT W  
CONNECTICUT STATE OF  
PERITO DOMENIC D & FOFANA KIMBERLY M  
MAIELI SILVIO C & MAIELI SYLVIA C  
DZEN RAYMOND A & JANICE L  
HOWARD ROAD REALTY LLC  
BASSETT DEBORAH ANN  
AAL ONLY LLC  
PEACOCK RICHARD & CATHERINE  
EAGLES NEST HOLDINGS LLC  
LAPENTA CHRISTOPHER  
BOLTON SELF STORAGE LLC  
BOLTON TOWN OF  
MCFATTER ROBERT & CHRISTINE MCFATTER  
BEAUDOIN RONALD A  
TOOMEY PAUL M & SHIRLEY A & SURV  
TOOMEY PAUL M & SHIRLEY A & SURV  
PERITO DOMENIC D & FOFANA KIMBERLY M  
ADAMS JAMES D & OUNPUU SYLVIA  
GRANT PARKER A & WENDIANNE C  
MORTENSEN GARY & MORTENSEN KAREN  
BRYK DANIEL T  
HOWARD ROAD REALTY LLC  
HOWARD ROAD REALTY LLC  
ST JOHN ERIC  
ST JOHN ERIC  
ST JOHN ERIC  
BOLTON MOUNTAIN VIEW LLC  
AAL ONLY LLC  
DELLERT MARK  
BOLTON TOWN OF  
KELLY DEVIN K

BOLTON TOWN OF  
BOLTON TOWN OF  
BOLTON TOWN OF  
LANDRY RONALD G & BUTLER SANDRA S  
ANDERSON MATTHEW P &  
RYGELIS ANTANAS  
BOMBRIA JAMES C & COLLEEN S  
MORIN MICHAEL M  
RLB REAL ESTATE HOLDINGS LLC  
HOWARD ROAD REALTY LLC  
PROSPECT APARTMENTS LLC  
LAWTON ALLEN A III  
BOLTON NOTCH SELF STORAGE LLC  
BOLTON NOTCH SELF STORAGE LLC  
MANEGGIA ANDREW T & JEANNE M  
OWREN PETER N & RHODA L  
BOLTON TOWN OF  
BOLTON ICE PALACE LLC

**LIST OF ABUTTERS WITHIN 500 FT OF 837 BOSTON TPKE**

44 STONEHEDGE LANE	BOLTON, CT 06043
345 BUFF CAP RD	TOLLAND, CT 06084
56 STONEHEDGE LANE	BOLTON, CT 06043
753 BOSTON TPKE	BOLTON, CT 06043
733 BOSTON TPKE	BOLTON, CT 06043
222 BOLTON CENTER RD	BOLTON, CT 06043
222 BOLTON CENTER RD	BOLTON, CT 06043
674 BOSTON TPKE	BOLTON, CT 06043
222 BOLTON CENTER RD	BOLTON, CT 06043
50 STONY RD	BOLTON, CT 06043
85 STONY RD	BOLTON, CT 06043
PO BOX 406	WILLINGTON, CT 06279
13013 MICHAEL CALLIN ALLEY	ORLANDO, FL 32828
12 NOTCH RD	BOLTON, CT 06043
18 NOTCH RD EXT	BOLTON, CT 06043
79 ELM	HARTFORD, CT 06106
15 VERNON RD	BOLTON, CT 06043
38 STONEHEDGE LA	BOLTON, CT 06043
59 STONEHEDGE LA	BOLTON, CT 06043
25 HOWARD RD	BOLTON, CT 06043
8 HOWARD RD	BOLTON, CT 06043
6134 30 ST NW	WASHINGTON, DC 29912
23 QUARRY RD	BOLTON, CT 06043
10 QUARRY RD SUITE C	BOLTON, CT 06043
382 HOP RIVER ROAD	BOLTON, CT 06043
131 OLD ANDOVER RD	HEBRON, CT 06248
222 BOLTON CENTER RD	BOLTON, CT 06043
81 STONY RD	BOLTON, CT 06043
2 COOK DR	BOLTON, CT 06043
38 TOOMEY LA	BOLTON, CT 06043
38 TOOMEY LA	BOLTON, CT 06043
15 VERNON RD	BOLTON, CT 06043
48 STONEHEDGE LANE	BOLTON, CT 06043
51 STONEHEDGE LA	BOLTON, CT 06043
922 BOSTON TPKE	BOLTON, CT 06043
61 STONEHEDGE LA	BOLTON, CT 06043
25 HOWARD RD	BOLTON, CT 06043
25 HOWARD RD	BOLTON, CT 06043
17 HOWARD RD	BOLTON, CT 06043
17 HOWARD RD	BOLTON, CT 06043
17 HOWARD RD	BOLTON, CT 06043
81 TUMBLEBROOK DR	VERNON, CT 06066
PO BOX 9585	BOLTON, CT 06043
12 QUARRY RD	BOLTON, CT 06043
222 BOLTON CENTER RD	BOLTON, CT 06043
66 STONY RD	BOLTON, CT 06043

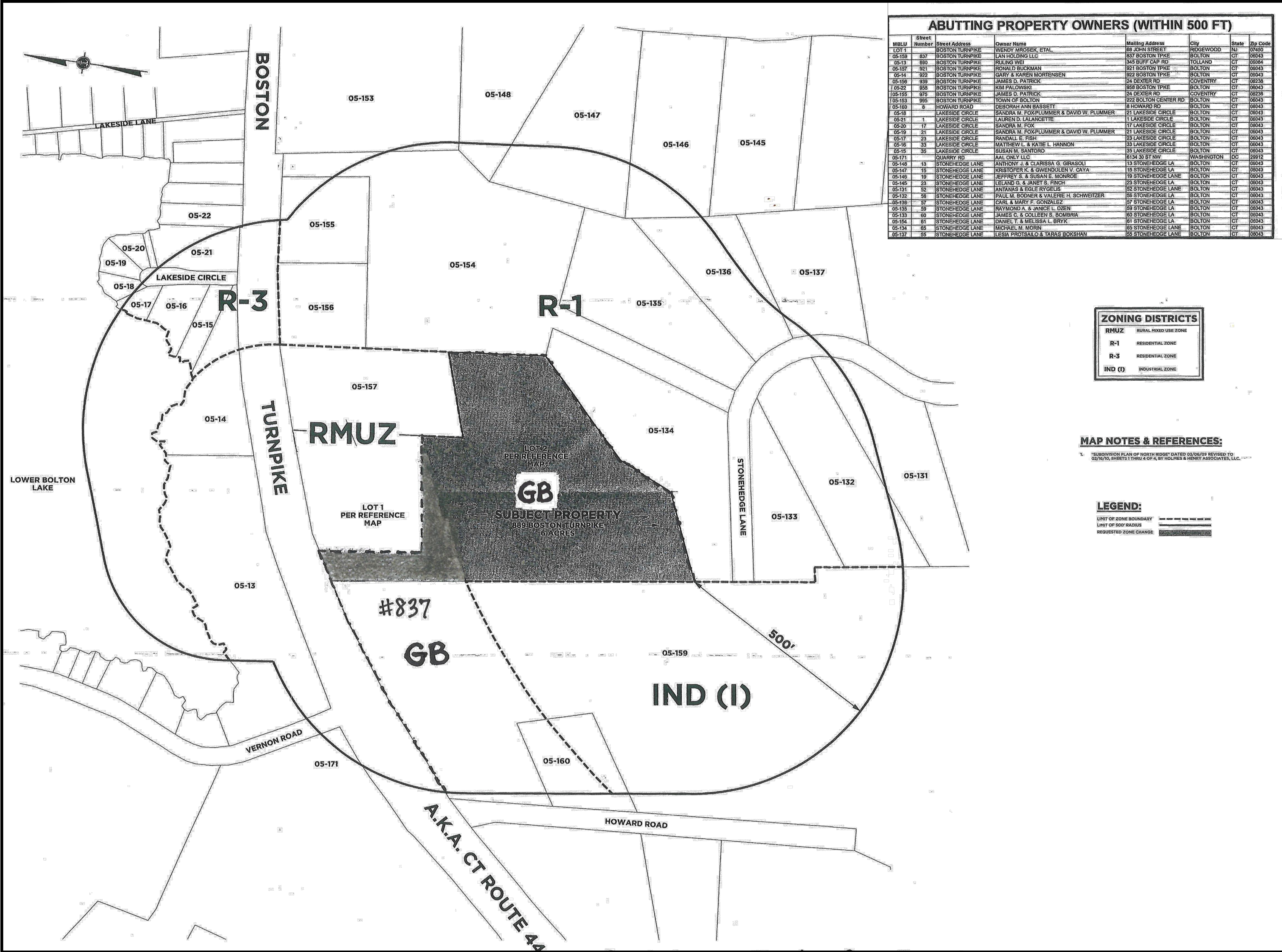


222 BOLTON CENTER RD  
222 BOLTON CENTER RD  
222 BOLTON CENTER RD  
126 BURBANK RD  
40 STONEHEDGE LN  
52 STONEHEDGE LANE  
60 STONEHEDGE LA  
65 STONEHEDGE LANE  
921 BOSTON TPKE  
P O BOX 9127  
17 SUNSET LN  
27 QUARRY RD  
220 HARTFORD TPKE  
220 HARTFORD TPKE  
70 STONY RD  
80 STONY RD  
222 BOLTON CENTER RD  
6 PROGRESS DRIVE

BOLTON, CT 06043  
BOLTON, CT 06043  
BOLTON, CT 06043  
ELLINGTON, CT 06029  
BOLTON, CT 06043  
BOLTON, CT 06043  
BOLTON, CT 06043  
BOLTON, CT 06043  
BOLTON, CT 06043  
BOLTON, CT 06043  
BOLTON, CT 06043  
BOLTON, CT 06043  
BOLTON, CT 06043  
BOLTON, CT 06043  
VERNON, CT 06066  
VERNON, CT 06066  
BOLTON, CT 06043  
BOLTON, CT 06043  
BOLTON, CT 06043  
CROMWELL, CT 06416







DATE

6-2-2022

ISSUE

ZONE CHANGE APPLICATION

**PDS ENGINEERING & CONSTRUCTION, INC.**

107 Old Windsor Road  
Bloomfield, Connecticut 06002  
Telephone: (860) 242-8586  
FAX (860) 242-8587

OWNER :

HOWARD ROAD REALTY, LLC.  
25 HOWARD ROAD  
PO BOX 9127  
BOLTON, CONNECTICUT 06043

APPLICANT :

ABLE COIL AND ELECTRONICS CO.  
25 HOWARD ROAD  
PO BOX 9127  
BOLTON, CONNECTICUT 06043

PROJECT NAME:

ABLE COIL & ELECTRONICS  
PROPOSED ZONE AMENDMENT

837 BOSTON TURNPIKE  
BOLTON, CONNECTICUT

DRAWING TITLE:

REVISED ZONING PLAN

ENGINEER: FB

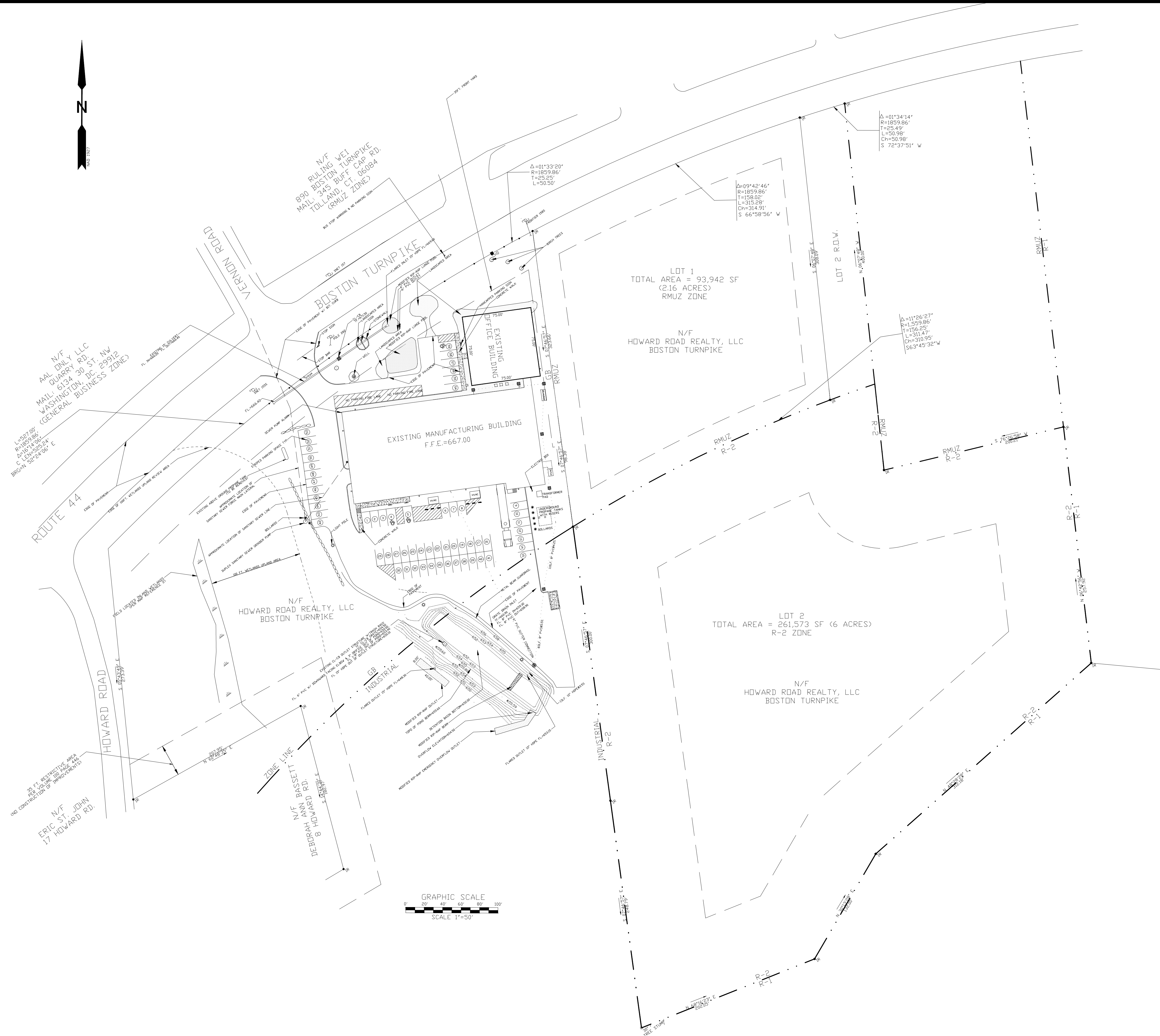
ARCHITECT:

PROJECT MGR:

DRAFTED BY: BF

C-100



[illegible]

**PDS ENGINEERING &  
CONSTRUCTION, INC.**

OWNER •

APPLICANT :

PROJECT NAME: **ABLE COIL & ELECTRONICS  
PROPOSED ZONE AMENDMENT**

DRAWING TITLE:  
**EXISTING ZONE PLAN**

PROJECT NAME:

ENGINEER: FB
ARCHITECT:
PROJECT MGR:
DRAFTED BY: BF



**C-102**



7012 2210 0000 1031 6926

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Restricted Delivery Fee (Endorsement Required)	
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Eric St John  
 17 Howard Road  
 Bolton, CT 06043

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Restricted Delivery Fee (Endorsement Required)	
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Sent To

James Adams & Sylvia Ounpuu  
 48 Stonehedge Lane  
 Bolton, CT 06043

7012 2210 0000 1031 6841

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Robert & Christine McFatter  
 81 Stony Road  
 Bolton, CT 06043

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Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.28

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Sent To

Bolton Mountain View LLC  
 81 Tumblebrook Drive  
 Vernon, CT 06066

7012 2210 0000 1031 6872

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Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
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Sent To

Gary & Karen Mortensen  
 922 Boston Tpk  
 Bolton, CT 06043

7012 2210 0000 1031 6859

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Certified Fee	3.75
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.28

Postmark  
Here

Sent To

Ronald Beaudoin  
 2 Cook Drive  
 Bolton, CT 06043

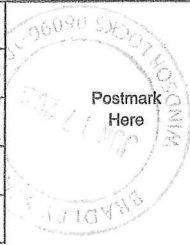
7012 2210 0001 1031 6259

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Certified Fee	3.75
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.28



Sent To

Allen Lawton  
 27 Quarry Road  
 Bolton, CT 06043

PS Form 3800, August 2006

See Reverse for Instructions

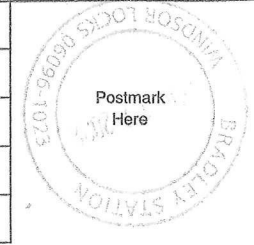
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Postage	\$ .53
Certified Fee	3.75
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.28



Sent To

Prospect Apartments LLC  
 17 Sunset Lane  
 Bolton, CT 06043

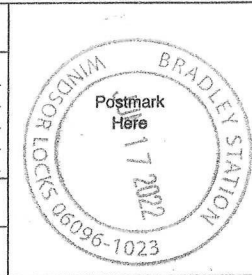
7021 0350 0000 7786 1416

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<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$ .53
Total Postage and Fees	\$ 4.28



Sent To

Michael Dorgan  
 56 Stonehedge Ln  
 Bolton, CT 06043

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

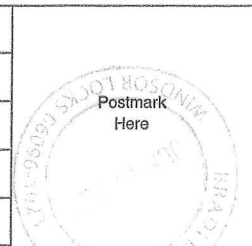
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Postage	\$ .53
Certified Fee	3.75
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.28



Sent To

Bolton Ice Palace LLC  
 6 Progress Drive  
 Cromwell, CT 06416

PS Form 3800, August 2006

See Reverse for Instructions

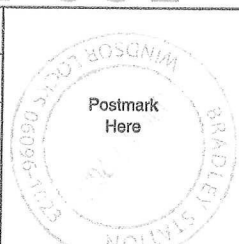
7012 2210 0001 1031 0008

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Postage	\$ .53
Certified Fee	3.75
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.28



Sent To

Andrew & Jeanne Maneggia  
 70 Stony Road  
 Bolton, CT 06043

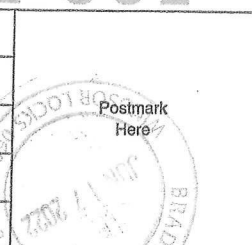
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Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
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Peter & Rhoda Owren  
 80 Stony Road  
 Bolton, CT 06043



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Certified Fee	3.75
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.28

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Matthew Anderson  
 40 Stonehedge Lane  
 Bolton, CT 06043

PS Form 3800, August 2006

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Certified Fee	3.75
Return Receipt Fee (Endorsement Required)	
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Total Postage & Fees	\$ 4.28

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Devin Kelly  
 66 Stony Road,  
 Bolton, CT 06043

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Certified Fee	3.75
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.28

Postmark  
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Sent To

James & Colleen Bombria  
 60 Stonehedge Lane  
 Bolton, CT 06043

7012 2210 0001 1031 7008

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Certified Fee	3.75
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.28

Postmark  
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Sent To

Antanas Rygelis  
 52 Stonehedge Lane  
 Bolton, CT 06043

7012 2210 0001 1031 7039

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Certified Fee	3.75
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.28

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Sent To

RLB Real Estate Holdings LLC  
 921 Boston Tpk  
 Bolton, CT 06043

7012 2210 0001 1031 7022

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Postage	\$ .53
Certified Fee	3.75
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.28

Postmark  
Here

Sent To

Michael Morin  
 65 Stonehedge Lane  
 Bolton, CT 06043

PS Form 3800, August 2006

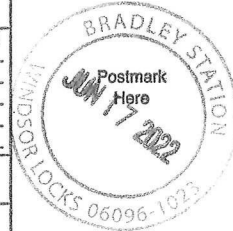
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Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$ .53
Total Postage and Fees	\$ 4.28



Raymond & Janice Dzen  
 59 Stonehedge Lane  
 Bolton, CT 06043

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

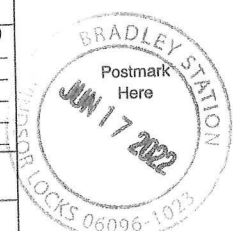
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Extra Services & Fees (check box, add fee as appropriate)	
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<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$ .53
Total Postage and Fees	\$ 4.28



Silvio & Sylvia Maieli  
 38 Stonehedge Lane  
 Bolton, CT 06043

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

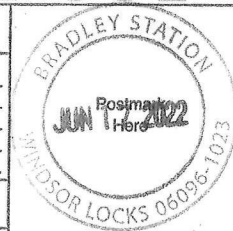
7021 1970 0001 7502 4596

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Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
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<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$ .53
Total Postage and Fees	\$ 4.28



AAL ONLY LLC  
 6134 30 Street NW  
 Washington, DC 29912

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

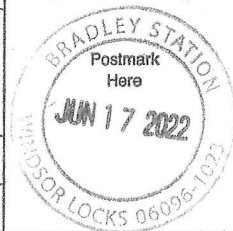
7021 1970 0001 7502 3094

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<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$ .53
Total Postage and Fees	\$ 4.28



Howard Road Realty LLC  
 25 Howard Road  
 Bolton, CT 06043

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

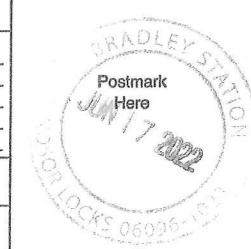
7019 1120 0000 1420 6853

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Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$ .53
Total Postage and Fees	\$ 4.28



Thomas & Carla Robbins  
 85 Stony Road  
 Bolton, CT 06043

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

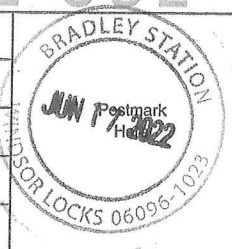
7012 2210 0001 1031 6940

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Postage	\$ .53
Certified Fee	\$ 3.75
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.28



Sent To

Mark Dellert  
 12 Quarry Road  
 Bolton, CT 06043

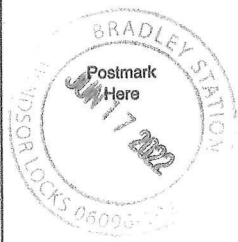
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Certified Mail Fee	3.75
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	.53
Total Postage and Fees	4.28



Stavens Brothers Inc  
P.O. Box 406  
Bolton, CT 06043

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

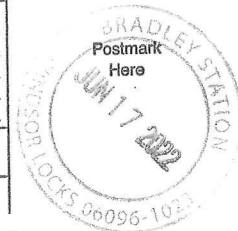
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<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	.53
Total Postage and Fees	4.28



Kenneth Verrastro  
13013 Michael Callin Alley  
Bolton, CT 06043

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

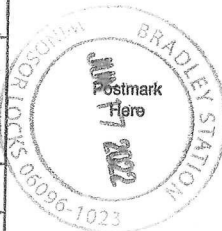
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Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
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<input type="checkbox"/> Certified Mail Restricted Delivery	\$
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Postage	.53
Total Postage and Fees	4.28



Robert Domenico  
18 Notch Road Ext  
Bolton, CT 06043

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

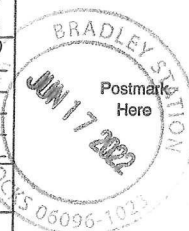
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<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	.53
Total Postage and Fees	4.28



Joseph & Yolande Faulkner  
12 Notch Road  
Bolton, CT 06043

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7016 0910 0001 1118 1375

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<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	.53
Total Postage and Fees	4.28



Domenic & Fofana Perito  
15 Vernon Road  
Bolton, CT 06043

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

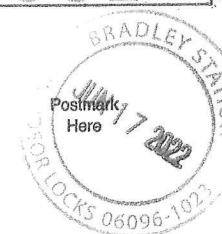
7021 1970 0001 7502 4695

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Postage	.53
Total Postage and Fees	4.28



State of Connecticut  
79 Elm  
Hartford, CT 06106

PS Form 3800, April 2015 PSN 7530-02-000-9047

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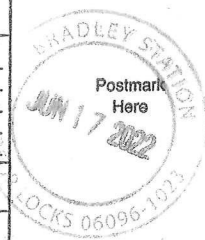
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<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$ .53
Total Postage and Fees	\$ 4.28



Richerd & Catharine Peacock  
23 Quarry Road  
Bolton, CT 06043

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7019 1120 0000 1416 2227

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<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$ .53
Total Postage and Fees	\$ 4.28



Steven Calhoun  
674 Boston Tpk  
Bolton, CT 06043

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

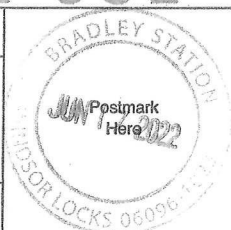
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<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$ .53
Total Postage and Fees	\$ 4.28



Wayne Morganson  
50 Stony Road  
Bolton, CT 06043

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

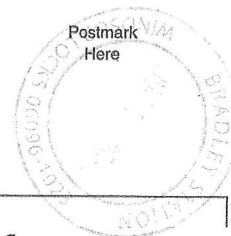
7012 2210 0001 1031 6933

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7021 1970 0001 7502 3223

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Postage	\$ .53
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Sent To Joyce Muisener Crapco  
Street and Apt. No. or PO Box No. 153 Boston Tpk  
City, State, ZIP+4 Bolton, CT 06043

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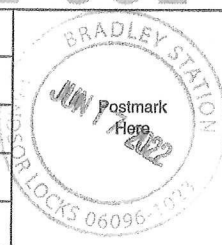
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7012 2210 0001 1031 7786 1409

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Postage	\$ .53
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Sent To: David + Sandra Deblais  
 Street and Apt. No., or PO Box No.: 753 Boston Tpk  
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7012 2210 0001 1031 6865

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Sent To: Paul & Shirley Toomey  
 38 Toomey Lane.  
 Bolton, CT 06043

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7012 2210 0001 1031 6869

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Sent To: Parker & Wendyann Grant  
 51 Stonehedge Lane  
 Bolton, CT 06043

PS Form 3800, August 2006 See Reverse for Instructions

7012 1970 0001 7502 3162

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Postage	\$ .53
Total Postage and Fees	\$ 4.28

Sent To: Deborah Ann Bassett  
 8 Howard Road  
 Bolton, CT 06043

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7012 2210 0001 1031 6902

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Return Receipt Fee (Endorsement Required)	
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Sent To: Daniel Bryk  
 61 Stonehedge Lane  
 Bolton, CT 06043

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Certified Fee	3.75
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.28

Sent To: Bolton Notch Self Storage LLC  
 220 Hartford Tpk  
 Vernon, CT 06066

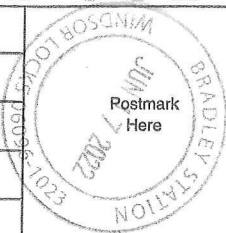
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Restricted Delivery Fee (Endorsement Required)	
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Christopher Lapenta  
382 Hop River Road  
Bolton, CT 06043

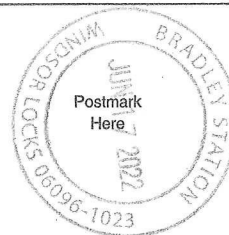
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Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.28



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Bolton Self Storage LLC  
131 Old Andover Road  
Hebron, CT 06248

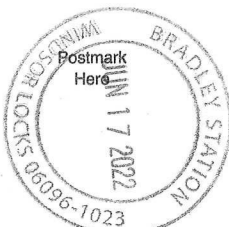
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<input type="checkbox"/> Return Receipt (electronic)	\$
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Postage	\$ .53
Total Postage and Fees	\$ 4.28



Sent To

WEI Ruling  
345 Bull Cap Rd  
Bolton, CT 06043

PS Form 3800, April 2015 PSN 7530-02-000-9047

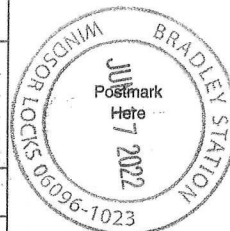
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<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$ .53
Total Postage and Fees	\$ 4.28



Sent To

David + Ashley margues  
44 Stonehead Ln  
Bolton, CT 06043

PS Form 3800, April 2015 PSN 7530-02-000-9047

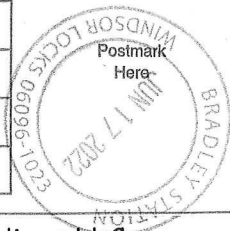
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10 Quarry Road, Ste C  
Bolton, CT 06043

PS Form 3800, August 2006

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7021 1970 0001 7499 9246

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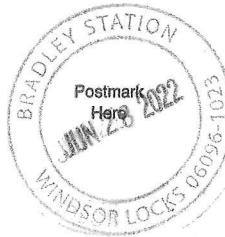
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Postage \$ **.53**

Total Postage and Fees \$ **4.28**



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 Street and Apt. No., or PO Box No. **345 Burr Cap Rd**  
 City, State, ZIP+4® **Tolland, CT 06084**

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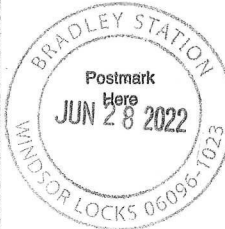
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☐ Certified Mail Restricted Delivery \$ \_\_\_\_\_  
☐ Adult Signature Required \$ \_\_\_\_\_  
☐ Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage \$ **.53**

Total Postage and Fees \$ **4.28**



Sent To **Kenneth Verrastro**  
 Street and Apt. No., or PO Box No. **13013 Michael Callin Alley**  
 City, State, ZIP+4® **Orlando, FL 32828**

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions





# Town of Bolton

222 BOLTON CENTER ROAD • BOLTON, CT 06043

Date: June 22, 2022

To: Planning & Zoning Commission

From: Patrice L. Carson, AICP, Consulting Director of Community Development

Subject: Able Coil and Electronics Co.'s appl. for a Zone Change from RMUZ and R2 to GB at 889/837 Boston Turnpike

---

## INFORMATION

**Application Date:** June 3, 2022

**Receipt Date:** June 8, 2022

**Public Notification:** Published in the *Hartford Courant* July 1, 2022 & July 8, 2022

**Public Hearing Date(s):** July 13, 2022

**Applicant:** Randy Becker, PDS Engineering & Construction (for the owner)

## PROPOSAL/EXISTING CONDITIONS/BACKGROUND

In 2016, applicants Joel Mrosek and Wendy Mrosek Broadbent, of 555 Main Street, Manchester, sought and received approval of a change of zone from RMUZ (Rural Mixed Use Zone) to R2 (Residence R2 Zone) at the rear portion (beyond 300 feet from Boston Turnpike) of 889 Boston Turnpike in order to develop multiple dwelling units that are not located on the second floor of commercial building. That project never materialized and the property was sold to Howard Road Realty LLC (for Able Coil).

Applicant Randy Becker of PDS Engineering & Construction, 107 Old Windsor Road, Bloomfield, CT, representing the new owners (Howard Road Realty LLC), is seeking a change of zone on the entirety of lot #2 (after reconfigured and combined with the abutting Able Coil property at 837 Boston Turnpike) from RMUZ (Rural Mixed Use Zone) and R2 (Residence R2 Zone) to GB (General Business) in order to develop a 12,000-15,000 square foot building addition, connected to the existing building, for light manufacturing. Able Coil would like to expand and consolidate the business they already conduct on Howard Road and Boston Turnpike to be more efficient. Their current operations are in the GB and I zones.

Located on the south side of Boston Turnpike east of Howard and Vernon Roads, the property is zoned RMUZ in the front 300 feet from Boston Turnpike and R-2 in the rear remaining property, and is surrounded by all different Zones – RMUZ to the north across Boston Turnpike, RMUZ and R1 to the east, R1 to the south, and I and GB to the west. Currently the property is vacant with access to the sewer line.

The history of zoning on this particular property is lengthy as the owners have tried to make use of the property over the years but it still remains vacant. In June, 2012, the entire property was re-zoned by the Bolton PZC to a newly created Zoning Classification of RMUZ – the front 300 feet rezoned from GB to RMUZ and the rear of the property rezoned from R2 to RMUZ. In 2016, at the request of the owners, the rear portion of the property was then returned to its previous zoning classification of R2 from RMUZ but the front 300 feet of the property remained RMUZ. This was done so that multiple residential dwelling units could be built on the first and second floors without having to be located on a second floor only above a commercial use on the first floor, and R2 is the only zone in Bolton that allows multiple residential dwelling development. This project never materialized. The new owners are also requesting a zone change in order to expand a current business operation.

### **PLAN OF CONSERVATION & DEVELOPMENT (POCD)**

The POCD adopted on November 26, 2015 is relevant to this application as follows:

Page 60 – Lists Policies and Action Steps to Improve Business Regulations/Policies. In general this section mentions reviewing business zone uses and standards in order to reduce restrictions on appropriate business development. To create an area for an existing business to expand and allowing for a buffer to neighboring properties seems to support this action step. The applicant's request in this respect would be in keeping with the neighborhood development.

Pages 50-52 – The POCD discusses trying to retain and expand existing businesses in the community. The two big commercial areas are along Route 44 (Boston Turnpike) and Route 6 (Hop River Road). The applicant's request would appear to meet with these goals and expected outcomes identified in the Plan.

### **STAFF ANALYSIS**

The applicant's rezoning request appears reasonable especially since there will be a buffer of RMUZ remaining next to the R-1 zone along Route 44, and the new GB zone represents an expansion of the existing zone and the uses that are allowed in that zone, which is the reason the applicant requested this change. The change of zone also will allow the property to finally be developed in a manner that has always seemed to be intended and is in keeping with the neighborhood development – expanding what currently exists. The POCD also appears to support this zone change.

### **STAFF RECOMMENDATION**

The staff has determined that:

- the application is complete
- the application complies with Town Regulations
- the zone is compatible with other surrounding zones in the neighborhood, and uses allowed in the zone are in keeping with the uses currently located and zoned for in that area.

Staff recommends approval of the Change of Zone application from RMUZ and R2 to GB.



# PL-22-6

Planning Permit

**Status:** Active**Date Created:** Jun 14, 2022

## Permit Info

**Permit For**

Zoning Regulations Amendment

**Building Type**

--

**Development Title**

--

**Occupancy Type**

--

**Project Cost**

--

**Project Description**

Bolton PZC's temporary moratorium on adult-use cannabis establishments to consider the development of regulations regarding the cultivation, sale, and distribution of adult use cannabis

**Is this a modification of a previously approved application?**

No, this is a new application.

**Comments**

--

## Additional Applicant Info

**Applicant Type**

Other

**Application Contact Name**

Bolton PZC

## Additional Project Info

**Date of Receipt**

--

**Hearing Not Required**☐**Legal Notice Date 1**

--

**Legal Notice Date 2**

--

**Hearings Commencement Deadline**

--

**Hearings Completion Deadline**

--

**Decision Deadline**

--

**Extended**☐**Existing Gross Sqft**

--

**Proposed Gross Sqft**

--

Existing Parking Spaces	Proposed Parking Spaces
--	--
Total Acreage / Sqft	Linear Feet of Frontage
--	--
Distance to Town Line	
--	

---

Amendment to Zoning Regulations or Change of Zone

Regulation Section(s) to be Created or Modified

17-2

Describe Amendment to Zoning Regulations or Change of Use; provide reason for amendment; demonstrate consistency with Bolton Plan of Conservation & Development:

Bolton PZC’s temporary moratorium on adult-use cannabis establishments to consider the development of regulations regarding the cultivation, sale, and distribution of adult use cannabis

Internal Use

Conditions

--

Petition Received?

--

Date of Newspaper Publication for Public Hearing

--

Date of Newspaper Publication of Planning and Zoning Commission Action

--

Summary of Planning and Zoning Commission Action

--

Bond Required?

--

Legal/Technical Review NOT Required

☐

Date of Planning and Zoning Commission Action

--

Date Application Received by Inland/Wetlands Commission (if applicable)

--

Date in Inland/Wetlands Commission Action (if applicable)

--

Construction Progress

Construction Progress

--

Time Spent (hrs)

--

Setbacks

Front Required

--

Front Provided

--

Back Required

--

Back Provided

--

Left Required

--

Left Provided

--

Right Required

--

Right Provided

--

Open Space Required

--

Open Space Provided

--

Lot Coverage Required

--

Lot Coverage Provided

--

---

Engineer Information

Company Name

--

Engineer Name

--

Address

--

City

--

State

--

Zip

--

Phone

--

Registration #

--

Insurance Expiration

--

AOR

--

Email

--

---

Architect Information

Company Name

--

Architect Name

--

Registration #

--

License Expiration

--

Address

--

City

--

State

--

Zip

--

Phone

--

Email

--

AOR

--

Attorney Info

Name

--

Address

--

City

--

State

--

Zip

--

Phone

--

Email

--

Application Submission and Certification

I hereby certify that I am the owner of the record of the named property or that the proposed work is authorized by the owner of record and I have been authorized to make this application as agent, and we agree to conform to all applicable laws, regulations, and ordinances. All information contained within is true and accurate to the best of my knowledge.

Electronic Signature

Patrice L. Carson  
06/14/2022

Applicant Name

Bolton PZC

Attachments

- docx

220608 Temporary Cannabis Moratorium Sec 17-2.docx

Uploaded by Patrice Carson on Jun 14, 2022 at 3:36 pm
- pdf

CRCOG Referral Form for 6 month Moratorium for cannabis Regulations 220610.pdf

Uploaded by Patrice Carson on Jun 14, 2022 at 3:37 pm
- docx

220713 PZC Legal Notice hearing Temporary Moratorium on Cannabis.docx

Uploaded by Patrice Carson on Jun 14, 2022 at 3:54 pm
- pdf

CRCOG Response to Referral 6-24-22 Town Letters.pdf

Uploaded by Patrice Carson on Jun 24, 2022 at 11:44 am

History

Date	Activity
Jun 14, 2022 at 3:23 pm	Patrice Carson started a draft of Record PL-22-6
Jun 14, 2022 at 3:27 pm	Patrice Carson submitted Record PL-22-6
Jun 14, 2022 at 3:33 pm	Patrice Carson waived payment step Permit Fee on Record PL-22-6
Jun 14, 2022 at 3:33 pm	approval step Application Review was assigned to Danielle Palazzini on Record PL-22-6
Jun 14, 2022 at 3:33 pm	Patrice Carson assigned approval step Application Review to Patrice Carson on Record PL-22-6
Jun 14, 2022 at 3:33 pm	Patrice Carson approved approval step Application Review on Record PL-22-6



Date	Activity
Jun 14, 2022 at 3:33 pm	approval step Legal/Technical Review was assigned to Patrice Carson on Record PL-22-6
Jun 14, 2022 at 3:33 pm	Patrice Carson assigned approval step Engineering Approval to Patrice Carson on Record PL-22-6
Jun 14, 2022 at 3:33 pm	Patrice Carson altered approval step Engineering Approval, changed status from Inactive to Skipped on Record PL-22-6
Jun 14, 2022 at 3:33 pm	Patrice Carson assigned approval step Fire Marshal Approval to Patrice Carson on Record PL-22-6
Jun 14, 2022 at 3:33 pm	Patrice Carson altered approval step Fire Marshal Approval , changed status from Inactive to Skipped on Record PL-22-6
Jun 14, 2022 at 3:37 pm	Patrice Carson added attachment CRCOG Referral Form for 6 month Moratorium for cannabis Regulations 220610.pdf to Record PL-22-6
Jun 14, 2022 at 3:52 pm	Patrice Carson approved approval step Legal/Technical Review on Record PL-22-6
Jun 14, 2022 at 3:52 pm	approval step Planning Approval was assigned to Patrice Carson on Record PL-22-6
Jun 14, 2022 at 3:54 pm	Patrice Carson added attachment 220713 PZC Legal Notice hearing Temporary Moratorium on Cannabis.docx to Record PL-22-6
Jun 24, 2022 at 11:44 am	Patrice Carson added attachment CRCOG Response to Referral 6-24-22 Town Letters.pdf to Record PL-22-6

### Timeline

Label	Status	Activated	Completed	Assignee	Due Date
Permit Fee	Waived	Jun 14, 2022 at 3:27 pm	Jun 14, 2022 at 3:33 pm	-	-
 Application Review	Complete	Jun 14, 2022 at 3:33 pm	Jun 14, 2022 at 3:33 pm	Patrice Carson	-
Engineering Approval	Skipped	-	Jun 14, 2022 at 3:33 pm	Patrice Carson	-
Fire Marshal Approval	Skipped	-	Jun 14, 2022 at 3:33 pm	Patrice Carson	-
 Legal/Technical Review	Complete	Jun 14, 2022 at 3:33 pm	Jun 14, 2022 at 3:52 pm	Patrice Carson	-
 Planning Approval	Active	Jun 14, 2022 at 3:52 pm	-	Patrice Carson	-
 Application Approval	Inactive	-	-	-	-
 Bond Received	Inactive	-	-	-	-
 Legal/Technical Review Release	Inactive	-	-	-	-

# Temporary Moratorium - Cannabis Establishments

## SUMMARY

Following the passage of Public Act 21-1 (SB 1201) or “RERACA” which legalizes the cultivation, sale, transport and distribution of adult use cannabis, the Town’s Planning & Zoning Commission seeks to establish a temporary moratorium on Cannabis Establishments and Uses so that it can take the time necessary to thoughtfully contemplate the development of regulations regarding these uses.

## LANGUAGE TO BE ADDED

### (NEW) Section 17-2: Temporary Moratorium on Cannabis Establishments

#### **Section 1: Purpose**

Following the passage of Public Act 21-1 (June Special Session), as of July 1, 2021, the personal use and possession of cannabis by adults over the age of 21 became legal in the State of CT. The law also requires that the CT Department of Consumer Protection draft regulations pertaining to the use and sale of cannabis and to begin accepting applications for licenses. The law further provides for Municipalities to prohibit or enact reasonable restrictions on cannabis establishments. However, if standards are not established, such uses will be deemed a permitted use in zoning districts where similar retail and commercial establishments are allowed.

The potential regulation of recreational cannabis creates a multitude of legal, regulatory and safety issues that must be carefully considered. The establishment of a temporary moratorium on the use of land and structures in the Town of Bolton for cannabis establishments and uses as defined in PA 21-1 will allow sufficient time for the Town to consider the various components of this new industry, develop regulations which appropriately address these establishments and coordinate with other Town agencies.

#### **Section 2: Definition of Terms:**

For the purpose of this section, the terms referred to herein shall be defined and used as outlined in PA 21-1.

**Cannabis Establishment:** a non-profit, person(s) or business entity otherwise engaged in an activity which would be defined as a producer, dispensary facility, cultivator, micro-cultivator, retailer, hybrid retailer, food and beverage manufacturer, product manufacturer, product packager, transporter and, delivery service by PA-21-1 (SB 1201).

#### **Section 3: Temporary Moratorium:**

For the reasons set for above, and notwithstanding any other provisions of the Zoning Regulations to the contrary, the Planning & Zoning Commission hereby adopts a temporary moratorium related to the acceptance, review and/or approval of applications seeking to establish the use of land and/or structures for a Cannabis Establishment and other uses related to recreational marijuana. This moratorium shall be in effect six (6) months from the date of adoption or until such time as the Commission adopts Zoning Regulations that regulate the establishments and activities described herein, whichever occurs earlier. While this moratorium is in effect, the Commission will undertake a planning process to evaluate the potential impact of allowing these establishments and uses and consider any draft regulatory language provided by the CT Department of Consumer Protection with the ultimate goal of adopting a new Zoning Regulation which addresses these uses in a manner that is suitable to the Town.

# ZONING REFERRAL FORM

<b>FOR: NOTIFICATION OF REFERRALS BY ZONING COMMISSIONS</b> Please fill in, save a copy for your records and send with appropriate attachments by certified mail or electronically to: <a href="mailto:zoningref@crcog.org">zoningref@crcog.org</a>		
<b>FROM:</b> <input type="checkbox"/> Zoning Commission <input type="checkbox"/> Planning and Zoning Commission <input type="checkbox"/> City or Town Council (acting as Zoning Commission)		<b>Municipality:</b>
<b>TO:</b> Capitol Region Council of Governments Policy Development & Planning Department 241 Main Street Hartford, CT 06106		<b>Date of Referral:</b>
<i>Pursuant to the provisions of Section 8-3b of the General Statutes of Connecticut, as amended, the following proposed zoning amendment is referred to the Capitol Region Council of Governments for comment:</i>		
<b>NATURE OF PROPOSED CHANGE:</b>		
<input type="checkbox"/> Adoption of amendment of <b>ZONING MAP</b> for any area within 500 feet of another Capitol Region Municipality. <b>Attach map showing proposed change.</b>		<input type="checkbox"/> Adoption or amendment of <b>ZONING REGULATIONS</b> applying to any zone within 500 feet of another Capitol Region Municipality. <b>Attach copy of proposed change in regulations.</b>
THE CHANGE WAS REQUESTED BY: <input type="checkbox"/> Municipal Agency: <input type="checkbox"/> Petition		
DATE PUBLIC HEARING IS SCHEDULED FOR:		
MATERIAL SUBMITTED HEREWITH:		
<input type="checkbox"/> Regulation Changes	<input type="checkbox"/> Map of Change	<input type="checkbox"/> Supporting Statements
<input type="checkbox"/> Public Notice	<input type="checkbox"/> Other (Specify):	
HAS THIS REFERRAL BEEN SUBMITTED PREVIOUSLY TO CRCOG? <input type="checkbox"/> YES <input type="checkbox"/> NO. IF YES, ON WHAT DATE:		
<b>(FOR USE BY CRCOG)</b>		<b>Name:</b>
<b>Date Received:</b>		<b>Title:</b>
<b>Sent certified/e-mail?</b>		<b>Address:</b>
<b>File Number</b>		<b>Phone:</b> <b>Email:</b>

BY LAW, THE ZONING COMMISSION SHALL GIVE WRITTEN NOTICE OF ITS PROPOSAL TO THE REGIONAL COUNCIL OF GOVERNMENTS

**NOT LATER THAN THIRTY DAYS** BEFORE THE PUBLIC HEARING TO BE HELD IN RELATION TO THE SUBJECT SUBDIVISION.

**NOTICE SHALL BE MADE BY CERTIFIED MAIL, RETURN RECEIPT REQUESTED OR BY EMAIL TO [zoningref@crcog.org](mailto:zoningref@crcog.org).**

CRCOG-2017

Andover / Avon / Berlin / Bloomfield / Bolton / Canton / Columbia / Coventry / East Granby / East Hartford / East Windsor / Ellington / Enfield / Farmington  
Glastonbury / Granby / Hartford / Hebron / Manchester / Mansfield / Marlborough / New Britain / Newington / Plainville / Rocky Hill / Simsbury / Somers  
South Windsor / Southington / Stafford / Suffield / Tolland / Vernon / West Hartford / Wethersfield / Willington / Windsor / Windsor Locks

*A voluntary Council of Governments formed to initiate and implement regional programs of benefit to the towns and the region*

Bolton Planning & Zoning Commission  
Notice of Public Hearing

The Bolton Planning & Zoning Commission will hold a Public Hearing on Wednesday, July 13, 2022 at 7:45pm virtually through Zoom, to hear:

1 Able Coil and Electronics Co.'s appl. for a Zone Change from RMUZ and R-2 to GB at 837-889 Boston Tpke (#PL-22-5).

2 Able Coil and Electronics Co.'s appl. for a Special Permit for a 12,000 sf metal building for light manufacturing at 837-889 Boston Tpke (#PL-22-4).

3 Bolton PZC's temporary moratorium on adult-use cannabis establishments to consider the development of regulations regarding the cultivation, sale, and distribution of adult use cannabis (#PL-22-6)

Said proposals are on file for review in the Bolton Land Use Department and on the Town's Website at:

<https://town.boltonct.org/boards-commissions/planning-and-zoning>

All interested parties may attend virtually and testify or may submit written testimony.

Dated at Bolton, CT, this 14<sup>th</sup> day of June, 2022.

Thomas Manning  
P&Z Chairman

To be published in the *Hartford Courant* on July 1, 2022 and July 8, 2022

June 24, 2022

**TO:** BOLTON PLANNING AND ZONING COMMISSION

**REPORT ON ZONING REFERRAL Z-2022-85: Proposed zoning amendment pertaining to a temporary moratorium on cannabis establishments.**

**COMMISSIONERS:** Receipt is acknowledged of the above-mentioned referral. Notice of this proposal was transmitted to the Policy and Planning Division of the Capitol Region Council of Governments under the provisions of Section 8-3b of the Connecticut General Statutes, as amended.

**COMMENT:** The staff of the Regional Planning Commission of the Capitol Region Council of Governments has reviewed this zoning referral and finds no apparent conflict with regional plans and policies or the concerns of neighboring towns.

The public hearing date has been scheduled for 7/10/2022.

In accordance with our procedures this letter will constitute final CRCOG action on this referral. Questions concerning this referral should be directed to Christopher Henchey.

**DISTRIBUTION:** Planner: Andover, Glastonbury, Hebron, Manchester, Vernon, Coventry

Respectfully submitted,

Jennifer Bartiss-Earley, Chairman  
Regional Planning Commission

Brendan Malone, Vice Chairman  
Regional Planning Commission



Christopher Henchey  
Transportation Planner





## PL-22-7

### Planning Permit

**Status:** Active

**Date Created:** Jul 5, 2022

#### Applicant

Asim Etem  
asimetem@gmail.com  
60 Villa Louisa Rd  
Bolton , CT 06043  
8609850744

#### Location

60 VILLA LOUISA RD  
BOLTON, CT 06043

#### Owner:

Asim Etem  
60 60 VILLA LOUISA RD Bolton, Connecticut 06043-7540

#### Permit Info

##### Permit For

Special Permit Application

##### Building Type

Business

##### Development Title

--

##### Occupancy Type

Commercial

##### Project Cost

600,000

##### Project Description

bed & breakfast

##### Is this a modification of a previously approved application?

No, this is a new application.

##### Comments

--

#### Additional Applicant Info

##### Applicant Type

Owner

##### Application Contact Name

Asim Etem

#### Additional Project Info

##### Date of Receipt

--

##### Hearing Not Required

☐

##### Legal Notice Date 1

##### Legal Notice Date 2

--	--
Hearings Commencement Deadline	Hearings Completion Deadline
--	--
Decision Deadline	Extended
--	<input type="checkbox"/>
Existing Gross Sqft	Proposed Gross Sqft
--	4,000
Existing Parking Spaces	Proposed Parking Spaces
--	6
Total Acreage / Sqft	Linear Feet of Frontage
--	--
Distance to Town Line	
--	

---

Internal Use	
Conditions	
--	
Petition Received?	
--	
Date of Newspaper Publication for Public Hearing	
--	
Date of Newspaper Publication of Planning and Zoning Commission Action	
--	
Summary of Planning and Zoning Commission Action	
--	
Bond Required?	Legal/Technical Review NOT Required
--	<input type="checkbox"/>
Date of Planning and Zoning Commission Action	
--	
Date Application Received by Inland/Wetlands Commission (if applicable)	
--	
Date in Inland/Wetlands Commission Action (if applicable)	
--	

---

Construction Progress	
Construction Progress	Time Spent (hrs)
0	--

<b>Setbacks</b>	
<b>Front Required</b>	<b>Front Provided</b>
--	--
<b>Back Required</b>	<b>Back Provided</b>
--	--
<b>Left Required</b>	<b>Left Provided</b>
--	--
<b>Right Required</b>	<b>Right Provided</b>
--	--
<b>Open Space Required</b>	<b>Open Space Provided</b>
--	--
<b>Lot Coverage Required</b>	<b>Lot Coverage Provided</b>
--	--

---

**Engineer Information**

<b>Company Name</b>	<b>Engineer Name</b>
Barton & Loguidice	--
<b>Address</b>	<b>City</b>
--	--
<b>State</b>	<b>Zip</b>
--	--
<b>Phone</b>	<b>Registration #</b>
--	--
<b>Insurance Expiration</b>	<b>AOR</b>
--	--
<b>Email</b>	
--	

---

**Architect Information**

<b>Company Name</b>	<b>Architect Name</b>
Simona Tudor	Simona Tudor
<b>Registration #</b>	<b>License Expiration</b>
--	--
<b>Address</b>	<b>City</b>
--	--
<b>State</b>	<b>Zip</b>
Connecticut	--

<b>Phone</b>	<b>Email</b>
--	--
<b>AOR</b>	
--	

---

**Attorney Info**

<b>Name</b>	<b>Address</b>
Bob Martino	--
<b>City</b>	<b>State</b>
HArtford	--
<b>Zip</b>	<b>Phone</b>
--	--
<b>Email</b>	
--	

---

**Zoning Site Plan and Special Permit Checklist**

**All draft deeds for any roads, road widenings and easements for drainage, conservation, driveways, utilities**

--

**Evidence of request for approval by the Health District and/or Sewer Authority for review, as appropriate**

--

**Evidence of submission of application to the Inland Wetlands Commission if it is within that Commission's jurisdiction**

--

**Evidence of submission of a request for review and approval by the Fire Marshal and Fire Chief of the water supply for fire protection**

--

**Copies of any required applications to other local, state or federal regulatory approvals**

--

**Written evidence of applicant's legal interest in the subject property (deed, lease option to purchase, bond for deed, etc.)**

--

**List of mailing address of all current property owners within 500 feet of the subject property, from the Town Assessor records (for special permit only)**

Included

**List of all hazardous or potentially hazardous materials which will be present on the property with a full description of procedures that will be used to assure safety with the material safety data sheets**

--

**Digital copy of plans in DXF or DGN format if available**

Included

**Paper and digital copies of all reports including hydrology, hydraulic and drainage computations and**

--

**14 sets of complete stamped and signed site plans measuring 24” x 36**

--

**A-2 boundary survey of the subject property showing all existing and proposed boundary lines and markers, easements, adjoining property lines and the names of all current abutting property owners**

Included

**Names of abutting lot owners**

**USDA Soils boundaries and types**

Included

--

**Plan title block in the extreme lower right corner (not sideways) to include the name of the town of Bolton**

--

**All plan sheets numbered with the format “sheet x of y”**

--

**Clear legible plans with all lines, symbols and features readily identifiable**

Included

**North arrow on each plan including the reference meridian**

--

**Graphic bar scale on each plan sheet, not smaller than 1”= 40’ unless otherwise approved by the Commission**

--

**Overall plan of site at a smaller scale, with sheet index, if the site does not fit on one sheet at a scale of 1”=40’**

--

**Key map at a scale of 1”= 500’ showing the relation of the site to abutting properties and streets, shown on plan and zoning district boundaries within 500’ of site**

--

**Original and revision plan dates and revision explanations shown on the affected plan sheets**

--

**Existing and proposed grading with two foot contours to T-2 standards, for all ground surfaces, shown on plan**

--

**Existing and proposed structures and features, their uses and those to be removed, shown on the plan**

--

**HVAC equipment located outside the building(s)**

--

**Existing and proposed driveway entrances to street, parking, loading areas, fire lanes, sidewalks and construction detail drawings, shown on plan**

--

**Sight distances from property entrances along public roads shown on plan and on profile if grading is needed**

--

**Soil test locations and soil test results shown on plan**

--

**Existing and proposed sewage disposal systems and design information, shown on plan**

--



Outside Storage Areas\tField

--

Underground / overhead utilities, existing and proposed

--

Existing and proposed water supply shown on plan

--

Existing wells and sewage disposal systems on other properties that could conflict with proposed site improvements, shown on plan

--

Existing and proposed footing drains, curtain drains and dry wells, shown on plan

--

Existing and proposed drainage systems, any affected floodway or floodplain and construction detail drawings, shown on plan, including base flood elevation and floor elevation data.

--

Existing and proposed bridges and culverts on or adjacent to the site, shown on plan

--

Existing and proposed signs with dimensions and construction detail drawings, shown on plan

--

Existing and proposed fences and walls with dimensions and construction detail drawings, shown on plan

--

Zoning district boundaries affecting the site, shown on plan

--

Table shown on plan of zoning dimensions required and provided for lot area, street frontage, lot width, yard setbacks, impervious area, building coverage and the height and floor area of each building

--

Table on plan of parking / loading spaces required / provided

--

Fire lanes

--

New Sidewalks and other pedestrian waysField

--

Off-site traffic improvements

--

Limits of wetlands as delineated by a certified soil scientist with the soil scientist's signed certification, shown on plan or a certification signed by a soil scientist that no wetlands are within 100 feet

--

Natural features including 100 year flood plain areas, ponds, vernal pools, aquifers, slopes steeper than 25% and potential areas of endangered species, shown on plan

--

Landscaping plan including the locations, numbers, installed sizes, anticipated mature sizes, species and common names of proposed plants plus cost estimate based on published Connecticut DOT unit prices

--	
Existing trees of 6" caliper or greater	Significant archaeological sites
--	--
Lighting plan including the location, size, height, light intensity coverage areas and manufacturer's product descriptions for each light type	
--	
Erosion and Sedimentation Control Plan, with narrative and construction detail drawings, in accordance with the latest Connecticut Guidelines for Soil Erosion and Sediment Control	
--	
Best management practices to remove contaminants, including sediments and oils, from runoff water, shown on plan, in construct detail drawings, and explained in a report by a qualified professional	
--	
Architectural elevation drawings of proposed buildings	
--	
Architectural floor plans of existing and proposed buildings	
--	
Perspective color drawings or digital views of the site as seen from adjacent roads and from abutting property lines showing the proposed conditions including buildings, landscaping and appurtenant features	
--	
Traffic Impact Report for applicable sites as described in Zoning Regulations Section 16A.2.k.	
--	
Thorough, well organized drainage design report for before and after development conditions, that conforms to the latest Conn. Dept. of Transportation and Conn. Dept. of Environmental Protection guidelines and requirements with appropriate calculations, maps, graphics and narrative descriptions of hydrology, hydraulics, assumptions, erosion controls, drainage paths and systems for the 1, 2, 10, 50 and 100 year storm events	
--	
Thorough, well organized drainage design report for before and after development conditions, that conforms to the latest Conn. Dept. of Transportation and Conn. Dept. of Environmental Protection guidelines and requirements with appropriate calculations, maps, graphics and narrative descriptions of hydrology, hydraulics, assumptions, erosion controls, drainage paths and systems for the 1, 2, 10, 50 and 100 year storm events	
--	
Statement in drainage report that the after development flows for all storm events do not exceed the before development flows	
--	
Sanitary Waste Disposal Plan (if community sewerage system)	
--	
Evaluation of the impact of proposed development upon existing and potential public surface and ground drinking water supplies, pursuant to CGS, Section 8-2	
--	
Certified copy of Certificate of Public Convenience and Necessity in connection with a "water company", in accordance with CGS, Section 8-25a	
--	
Existing and proposed Covenants or Restrictions	
--	

--

Engineer's itemized cost estimate for public improvements based on published Connecticut DOT unit prices as basis for the establishment of a performance bond.

--

Engineer's itemized cost estimate in connection with any restoration guarantee required pursuant to Section 12

--

Application Submission and Certification

I hereby certify that I am the owner of the record of the named property or that the proposed work is authorized by the owner of record and I have been authorized to make this application as agent, and we agree to conform to all applicable laws, regulations, and ordinances. All information contained within is true and accurate to the best of my knowledge.





Electronic Signature

Asim Etem  
07/05/2022

Applicant Name

Asim Etem

Attachments










-  Home Plan.pdf  
Uploaded by Asim Etem on Jul 5, 2022 at 2:40 pm
-  Site\_Plan\_Tue\_Jul\_5\_2022\_14-40-47.pdf  
Uploaded by Danielle Palazzini on Jul 5, 2022 at 4:03 pm
-  list of abutters.500 ft.pdf  
Uploaded by Danielle Palazzini on Jul 5, 2022 at 4:10 pm
-  Applicant Owners Application Signature.pdf  
Uploaded by Danielle Palazzini on Jul 5, 2022 at 4:22 pm

History

Date	Activity
Jul 5, 2022 at 2:18 pm	Asim Etem started a draft of Record PL-22-7
Jul 5, 2022 at 2:19 pm	Asim Etem altered Record PL-22-7, changed ownerEmail from "" to "asimetem@gmail.com"
Jul 5, 2022 at 2:19 pm	Asim Etem altered Record PL-22-7, changed ownerName from "" to "Asim Etem"
Jul 5, 2022 at 2:19 pm	Asim Etem altered Record PL-22-7, changed ownerPhoneNo from "" to "8609850744"
Jul 5, 2022 at 2:19 pm	Asim Etem altered Record PL-22-7, changed ownerPostalCode from "06043" to "06043-7540"
Jul 5, 2022 at 2:19 pm	Asim Etem altered Record PL-22-7, changed ownerState from "CT" to "Connecticut"
Jul 5, 2022 at 2:19 pm	Asim Etem altered Record PL-22-7, changed ownerStreetNo from "" to "60 "
Jul 5, 2022 at 2:41 pm	Asim Etem submitted Record PL-22-7
Jul 5, 2022 at 2:42 pm	completed payment step Permit Fee on Record PL-22-7
Jul 5, 2022 at 2:42 pm	approval step Application Review was assigned to Danielle Palazzini on Record PL-22-7
Jul 5, 2022 at 4:03 pm	Danielle Palazzini added attachment Site_Plan_Tue_Jul_5_2022_14-40-47.pdf to Record PL-22-7
Jul 5, 2022 at 4:03 pm	Danielle Palazzini removed attachment Hearing Files from Record PL-22-7
Jul 5, 2022 at 4:10 pm	Danielle Palazzini added attachment list of abutters.500 ft.pdf to Record PL-22-7
Jul 5, 2022 at 4:22 pm	Danielle Palazzini added attachment Applicant Owners Application Signature.pdf to Record PL-22-7

Date	Activity
Jul 5, 2022 at 4:24 pm	Danielle Palazzini changed List of mailing address of all current property owners within 500 feet of the subject property, f from "" to "Included" on Record PL-22-7
Jul 5, 2022 at 4:24 pm	Danielle Palazzini changed Digital copy of plans in DXF or DGN format if available from "" to "Included" on Record PL-22-7
Jul 5, 2022 at 4:24 pm	Danielle Palazzini changed A-2 boundary survey of the subject property showing all existing and proposed boundary lines and from "" to "Included" on Record PL-22-7
Jul 5, 2022 at 4:25 pm	Danielle Palazzini changed Names of abutting lot owners from "" to "Included" on Record PL-22-7
Jul 5, 2022 at 4:25 pm	Danielle Palazzini changed Clear legible plans with all lines, symbols and features readily identifiable from "" to "Included" on Record PL-22-7

### Timeline

Label		Status	Activated	Completed	Assignee	Due Date
	Permit Fee	Paid	Jul 5, 2022 at 2:41 pm	Jul 5, 2022 at 2:42 pm	-	-
	Application Review	Active	Jul 5, 2022 at 2:42 pm	-	Danielle Palazzini	-
	Legal/Technical Review	Inactive	-	-	-	-
	Engineering Approval	Inactive	-	-	-	-
	Fire Marshal Approval	Inactive	-	-	-	-
	Planning Approval	Inactive	-	-	-	-
	Application Approval	Inactive	-	-	-	-
	Bond Received	Inactive	-	-	-	-
	Legal/Technical Review Release	Inactive	-	-	-	-

13. Project Engineer: \_\_\_\_\_  
Address \_\_\_\_\_ Zip \_\_\_\_\_  
Phone # \_\_\_\_\_ Fax # \_\_\_\_\_ E-mail \_\_\_\_\_

14. Project Architect: \_\_\_\_\_  
Address \_\_\_\_\_ Zip \_\_\_\_\_  
Phone # \_\_\_\_\_ Fax # \_\_\_\_\_ E-mail \_\_\_\_\_

15. Other Experts Retained by Applicant: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

16. Briefly describe the proposed use of the subject property. Provide greater detail in Project Narrative.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

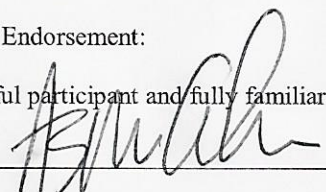
17. Square footage of new / expanded space: \_\_\_\_\_ # of new parking spaces \_\_\_\_\_

18. List the Section(s) of the Zoning Regulations under which application is made: \_\_\_\_\_  
\_\_\_\_\_

19. Provide all the applicable items for a complete application including a completed Checklist for Site Plan Review and Special Permit Applications. A completed checklist must be provided to comprise a complete application.

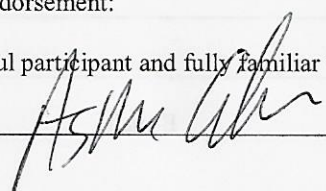
20. Applicant's Endorsement:

I am a willful participant and fully familiar with the contents of this application.

Signature  Date 7-5-2022

21. Owner's Endorsement:

I am a willful participant and fully familiar with the contents of this application.

Signature  Date 7-5-2022

**NOTE:** If there are any material changes to this application, the Applicant shall immediately notify the Town Staff in writing.

Applicants may be subject to Supplemental Review fees to defray the cost of Professional Review Services such as engineering or legal reviews.

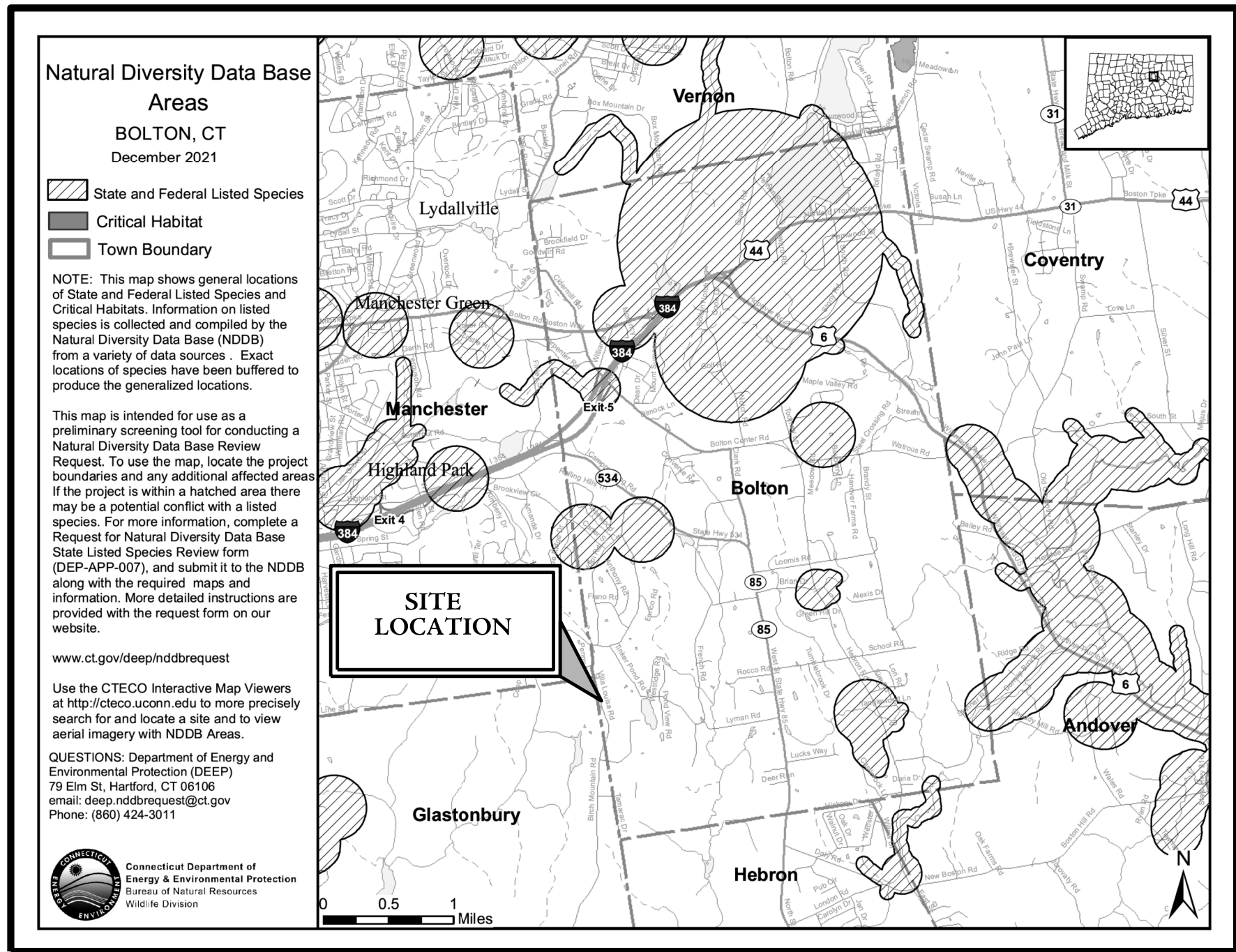


# SITE DEVELOPMENT PLAN

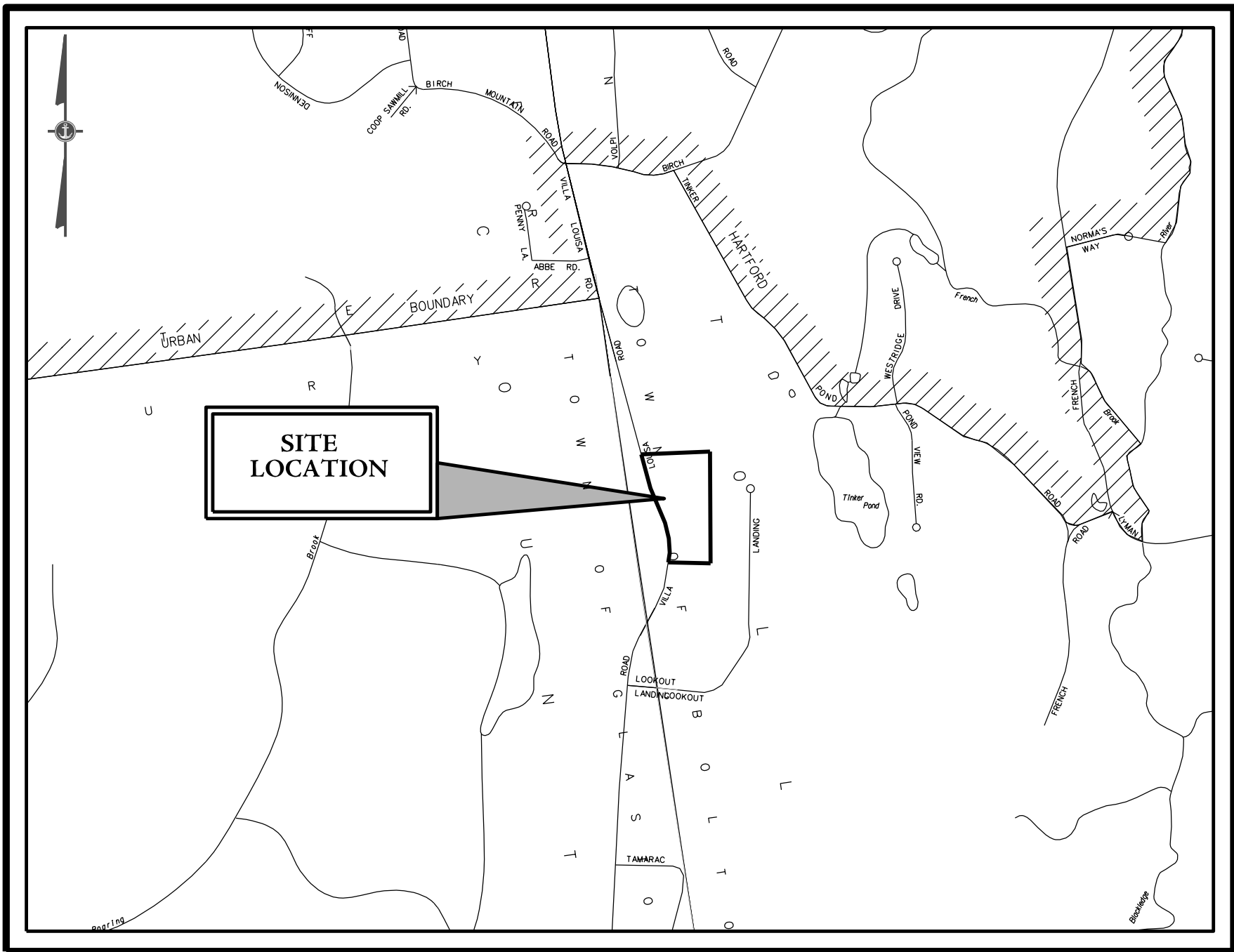
PREPARED FOR:

60 VILLA LOUISA ROAD, LLC  
60 VILLA LOUISA ROAD - BOLTON, CT

DATE: JANUARY 31, 2022  
REVISIONS:



**NATURAL DIVERSITY DATA BASE AREAS**  
**BOLTON**  
NOT TO SCALE



**LOCATION MAP**  
NOT TO SCALE

**APPLICANT / OWNER:**

60 VILLA LOUISA ROAD, LLC  
60 VILLA LOUISA ROAD  
BOLTON, CT 06043

**PREPARED BY:**

**Barton & Loguidice**

41 Sequin Drive  
Glastonbury, CT 06033  
Phone: (860) 633-8770  
Fax: (860) 633-5971  
[www.bandlct.com](http://www.bandlct.com)

Civil Engineering • Environmental Consulting • Land Surveying • Construction Management

**LIST OF SHEETS**

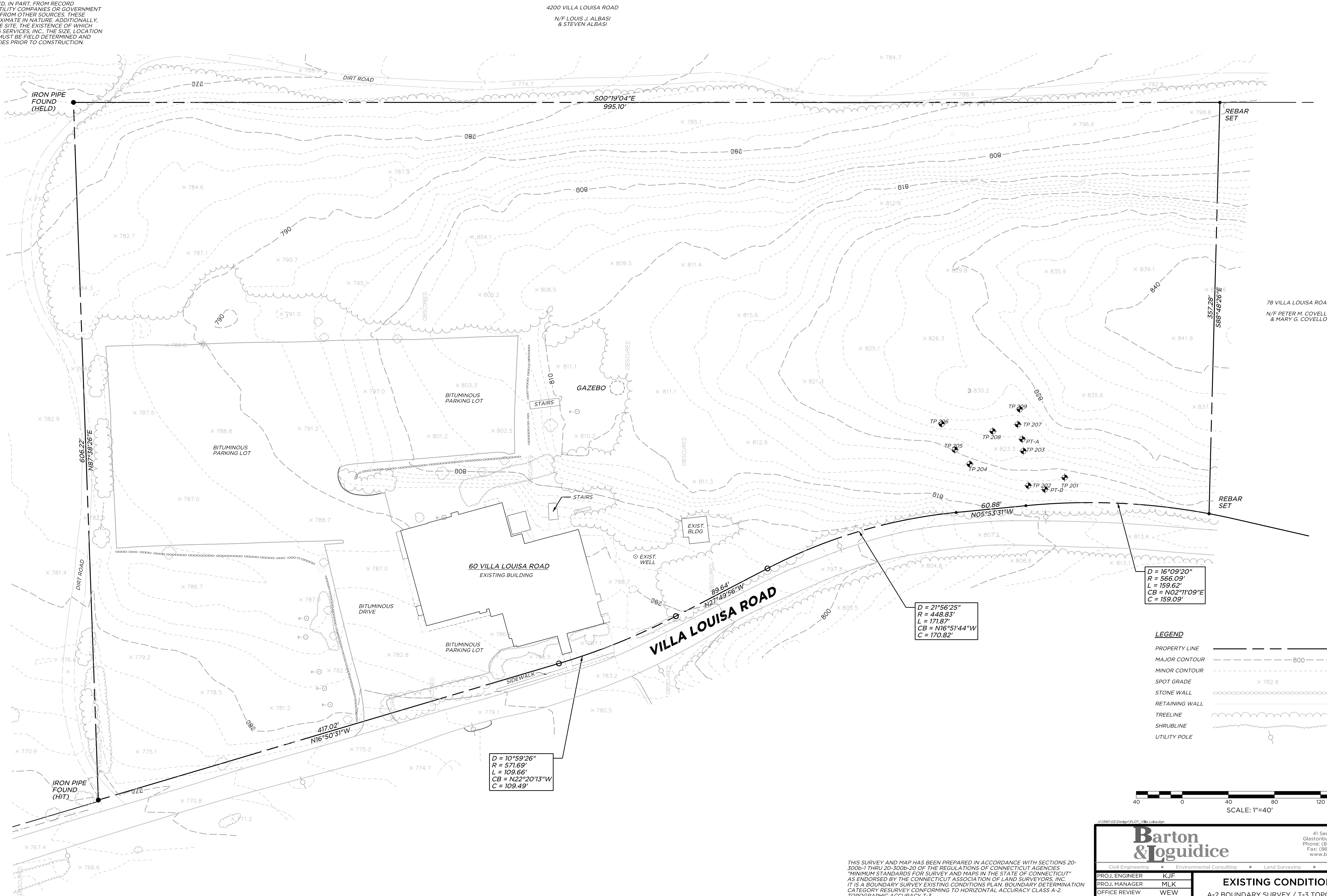
EXISTING CONDITIONS PLAN	1
OVERALL SITE LAYOUT	2
SITE DESIGN & GRADING PLAN	3
CONSTRUCTION DETAILS	4

NOTES

- 1) BEARINGS, COORDINATES AND ELEVATIONS SHOWN ARE BASED UPON HORIZONTAL DATUM NAD 83 AND VERTICAL DATUM NAVD 1988 OBTAINED VIA RTK GPS THROUGH THE SUPERIOR VRS NETWORK.
- 2) FIELD SURVEY WAS CONDUCTED BY ANCHOR ENGINEERING SERVICES, INC. IN MAY 2018.
- 3) TOPOGRAPHY SHOWN HEREON IS BASED UPON AERIAL MAPPING PROVIDED BY EASTERN TOPOGRAPHICS. COMPILATION DATE: JUNE 4, 2018. GROUND CONTROL WAS ESTABLISHED BY ANCHOR ENGINEERING SERVICES, INC.
- 4) UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENT AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO ANCHOR ENGINEERING SERVICES, INC.. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG: 1-(800) 922-4455.

MAP REFERENCES

- 1) PROPERTY OF MARY FACCHETTI, VILLA LOUISA ROAD, BOLTON, CONNECTICUT. SCALE: 1"=50'. DATE: APRIL 1968. BY: DOUGLAS PRIOR L.S.#6095.
- 2) PROPOSED ZONE CHANGE MAPPING, GENERAL LOCATION MAP, PREPARED FOR MIKE COVELLO, PROPERTY LOCATION NO. 78 VILLA LOUISA ROAD, BOLTON, CONNECTICUT. SCALE: 1"=40'. DATE: MARCH 13, 2002. BY: JOEL M. FULLER, L.S.#1497.



LOT AREA  
446,493 SQ. FT.  
10.25 ACRES

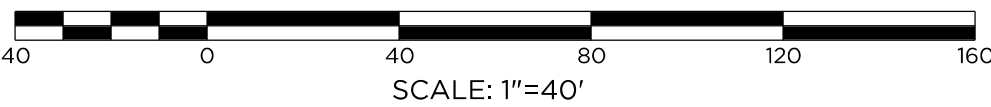
D = 16°09'20"  
R = 566.09'  
L = 159.62'  
CB = N02°11'09"E  
C = 159.09'

D = 21°56'25"  
R = 448.83'  
L = 171.87'  
CB = N16°51'44"W  
C = 170.82'

D = 10°59'26"  
R = 571.69'  
L = 109.66'  
CB = N22°20'13"W  
C = 109.49'

LEGEND

- PROPERTY LINE ————
- MAJOR CONTOUR ———— 800 ————
- MINOR CONTOUR - - - - -
- SPOT GRADE x 782.8
- STONE WALL ————
- RETAINING WALL ————
- TREELINE ————
- SHRUBLINE ————
- UTILITY POLE ————



THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT AGENCIES "MINIMUM STANDARDS FOR SURVEY AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS A BOUNDARY SURVEY EXISTING CONDITIONS PLAN, BOUNDARY DETERMINATION CATEGORY RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2, TOPOGRAPHIC ACCURACY T-3.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

MAREK L. KEMENT, CT. P.E., L.S. #21694

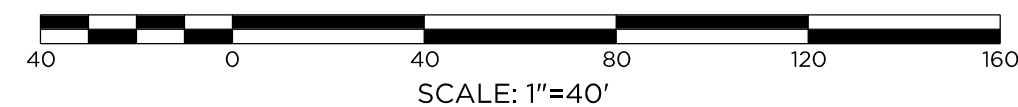
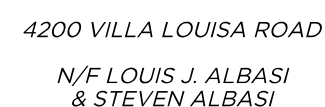
ANY ORIGINAL OR DUPLICATE OF THIS MAP IS NOT VALID UNLESS IT BEARS THE EMBOSSED SEAL OF THE SURVEYOR WHOSE REGISTRATION APPEARS ABOVE. NO OTHER CERTIFICATION OR WARRANTY IS EXPRESSED OR IMPLIED.

**Barton & Loguidice**

41 Sequin Drive  
Glastonbury, CT 06033  
Phone: (860) 633-8770  
Fax: (860) 633-5971  
www.bandict.com

PROJ. ENGINEER	KJF	EXISTING CONDITIONS PLAN			
PROJ. MANAGER	MLK	A-2 BOUNDARY SURVEY / T-3 TOPOGRAPHY SURVEY			
OFFICE REVIEW	WEW	PREPARED FOR			
REVISIONS		60 VILLA LOUISA ROAD LLC			
		60 VILLA LOUISA ROAD BOLTON, CT			
		PROJECT	DATE	SHEET NO.	1 OF 4
SCALE: 1"=40'		4390-002	1/31/22		





<h1 style="text-align: center;">ZONING COMPLIANCE TABLE</h1>			
<p style="text-align: center;">NEIGHBORHOOD BUSINESS ZONE (NB) (SECTION 11 OF THE BOLTON ZONING REGULATIONS)</p>			
	REQUIREMENTS	EXISTING	PROPOSED
MIN. LOT AREA:	40,000 SF	446,493 SF	NO CHANGE
MIN. LOT FRONTAGE:	150 FT	1,008.69 FT	NO CHANGE
MIN. FRONT YARD:	35 FT	N/A	+/- 108 FT
MIN. SIDE YARD:	25 & 50 FT*	+/- 270 FT	+/- 191 FT
MIN. REAR YARD:	25 & 50 FT*	+/- 347 FT	+/- 172 FT
MAX. BUILDING HEIGHT:	35 FT (OR) 2.5 STORIES	< 35 FT	35 FT
MIN. LOT COVERAGE:	20%	3.1%	3.7%
MAX. IMPERVIOUS COVERAGE:	50%	18.2%	22.3%**

\*MINIMUM SIDE AND REAR YARDS SHALL BE 25 FT; EXCEPT BOTH YARDS SHALL BE 50 FT MINIMUM WHERE ABUTTING A RESIDENTIAL ZONE.

\*\*MAX. IMPERVIOUS COVERAGE INCLUDES ENTIRE LOT.

\*\*\*EXISTING BANQUET HALL IS NON-CONFORMING (N/C) TO CURRENT FRONT YARD SETBACK.

		41 Sequin Drive Glastonbury, CT 06033 Phone: (860) 633-8770 Fax: (860) 633-5971 <a href="http://www.bandict.com">www.bandict.com</a>	
Civil Engineering   •   Environmental Consulting   •   Land Surveying   •   Construction Management			
<b>PROJ. ENGINEER</b> MJP	<h2 style="margin: 0;">OVERALL SITE LAYOUT</h2> <p style="font-size: 1.2em; margin: 10px 0;">PREPARED FOR</p> <h1 style="margin: 0;">60 VILLA LOUISA ROAD LLC</h1> <div style="display: flex; justify-content: space-between; font-weight: bold; font-size: 1.1em;"> <span>60 VILLA LOUISA ROAD</span> <span>BOLTON, CT</span> </div>		
<b>PROJ. MANAGER</b> MLK			
<b>OFFICE REVIEW</b> MLK			
<b>REVISIONS</b>			
<b>SCALE:</b> 1"=40'		<b>PROJECT</b> 4390-002	<b>DATE</b> 1/31/2022
		<b>SHEET NO.</b> <span style="font-size: 1.5em; font-weight: bold;">2</span>	<b>OF</b> <span style="font-size: 1.5em; font-weight: bold;">4</span>





## GENERAL NOTES

- PARCEL DETAILS:
  - PARCEL ID: MAP/BLOCK/LOT 19-12
  - LOT AREA: 446,493 SQUARE FEET (OR) 10.25 ACRES.
- ZONING:
  - THE ZONING DISTRICT OF THIS PARCEL IS NEIGHBORHOOD BUSINESS (NB).
  - USE OF LAND: BANQUET FACILITY/RESIDENTIAL/BE& BREAKFAST
  - USE OF LAND AND STRUCTURES SHALL COMPLY WITH THE APPLICABLE STANDARDS OF THE TOWN'S ZONING REGULATIONS. SEE ZONING COMPLIANCE TABLE, FOR THE MINIMUM LOT AND BULK REQUIREMENTS ASSOCIATED WITH THIS ZONE.
- UTILITIES/CBYD:
  - UNDERGROUND UTILITIES, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENT AGENCIES, FROM PAROL'S TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO ANCHOR ENGINEERING SERVICES, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES.
  - THE CONTRACTOR SHALL CALL "CALL BEFORE YOU DIG" 1-800-922-4455 (OR) #811 AND HAVE ALL UTILITIES MARKED ON THE GROUND PRIOR TO CONSTRUCTION.
  - ALL UTILITY SERVICES ARE TO BE UNDERGROUND, UNLESS OTHERWISE SHOWN ON THIS PLAN. THE EXACT LOCATION AND SIZE OF ELECTRIC, TELEPHONE, CABLE TELEVISION, GAS, OR OTHER ARE TO BE DETERMINED BY THE RESPECTIVE UTILITY COMPANIES.
- REGULATIONS/PERMITTING:
  - THE CONTRACTOR AND/OR DEVELOPER SHALL CONFORM TO ALL REQUIREMENTS OF THE ZONING REGULATIONS, BUILDING CODE, AND OF ALL AGENCIES OF THE TOWN AND STATE OF CONNECTICUT.
  - ALL MATERIALS AND METHODS OF CONSTRUCTION WITHIN THE TOWN OR STATE RIGHT-OF-WAY SHALL CONFORM TO THE LATEST PUBLIC IMPROVEMENT STANDARDS.
  - THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED TOWN AND/OR STATE PERMITS PRIOR TO ANY CONSTRUCTION ACTIVITY.
- FOUNDATION/ARCHITECTURE:

SEE ARCHITECTURAL BUILDING PLANS FOR ACCURATE BUILDING DIMENSIONS AND DETAILS. PROPOSED BUILDING ELEVATIONS AND FOUNDATION LOCATION SUBJECT TO CHANGE AS FIELD CONDITIONS WARRANT. ALL DIMENSIONS AND BUILDING ELEVATIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.
- GRADING/ELEVATIONS:
  - PROPOSED CONTOURS ARE SHOWN IN AREAS OF PROPOSED CONSTRUCTION AND FINISH GRADING SHALL BE ACCOMPLISHED AS INDICATED BY THE PROPOSED CONTOURS.
  - ALL ELEVATIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER. DRAINAGE SWALES SHALL BE CONSTRUCTED AS INDICATED TO DIVERT SURFACE WATER RUNOFF AWAY FROM ANY STRUCTURE AND SEPTIC SYSTEM.
- SEDIMENT & EROSION CONTROL:

SEDIMENT AND EROSION CONTROL MEASURES AS DEPICTED ON THESE PLANS SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT COVER AND STABILIZATION ARE ESTABLISHED. ALL EROSION & CONTROL MEASURES SHALL CONFORM TO THE "2002 CONNECTICUT GUIDELINES FOR SOIL AND SEDIMENT CONTROL" AND IN ALL CASES BEST MANAGEMENT PRACTICES SHALL PREVAIL. ANY ADDITIONAL SEDIMENT & EROSION CONTROL MEASURES DEEMED NECESSARY BY TOWN STAFF OR THE DESIGN ENGINEER SHALL BE INSTALLED BY THE SITE CONTRACTOR. ALL EROSION CONTROLS ARE TO BE INSPECTED BEFORE, DURING, AND AFTER EVERY STORM EVENT AND REPAIRED OR REPLACED AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANING OF NEARBY STREETS, AS ORDERED BY THE TOWN OR STATE, OF ANY DEBRIS ASSOCIATED WITH THIS SITE'S CONSTRUCTION ACTIVITIES.
- WATER SUPPLY:
  - THE PROPOSED STRUCTURE IS TO BE CONNECTED TO A PRIVATE DOMESTIC WATER WELL. LOCATION AS SHOWN. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.
  - MINIMUM SEPARATING DISTANCE TO THE POTABLE WATER SUPPLY WELL OF 75 FEET FROM ANY PART OF ANY SUBSURFACE SEWAGE DISPOSAL SYSTEM (ON SITE OR OFF); AND 25 FEET FROM A FOUNDATION DRAIN SHALL BE MAINTAINED.
  - INSTALLATION OF THE PRIVATE DOMESTIC WATER WELL AND CONSTRUCTION MATERIALS USED SHALL COMPLY WITH THE LATEST REVISIONS OF THE CONNECTICUT PUBLIC HEALTH CODE.
- WASTEWATER DISPOSAL SYSTEM:
  - THE PROPOSED STRUCTURE IS TO BE CONNECTED TO AN ON-SITE SUBSURFACE SEWAGE DISPOSAL SYSTEM.
  - INSTALLATION OF AND MATERIALS USED FOR THE CONSTRUCTION OF THE SUBSURFACE DISPOSAL SYSTEM AND ITS COMPONENTS SHALL COMPLY WITH ALL RESPECTS WITH THE LATEST REVISION OF THE STATE OF CONNECTICUT PUBLIC HEALTH CODE. SEE SEPTIC SYSTEM NOTES FOR ADDITIONAL INFORMATION REGARDING DESIGN AND INSTALLATION.
- GUTTERS/ROOF DRAINS:

GUTTERS AND ROOF DRAINS SHALL BE TIED INTO THE TOWN STORM DRAINAGE SYSTEM WHERE FEASIBLE. WHERE REQUIRED, ROOF LEADERS ARE TO DISCHARGE TO SPLASH PADS AT GRADE AND BE DIRECTED AWAY FROM THE FOUNDATION.
- FOOTING PERIMETER DRAINS:

DUE TO SOIL CONDITIONS AND BASEMENT ELEVATIONS, A FOOTING PERIMETER DRAIN IS RECOMMENDED. THE FOOTING DRAIN SHALL BE CONSTRUCTED OF TIGHT PIPE AND INSTALLED NO LESS THAN 35 FT UPGRADIENT OR 50 FEET DOWN GRADIENT OF ANY SUBSURFACE DISPOSAL SYSTEM. THE FOOTING DRAIN SHALL DISCHARGE TO DAYLIGHT OR CONNECT TO THE TOWN'S STORM DRAINAGE SYSTEM WHENEVER POSSIBLE. DESIGN OR LOCATION DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER PRIOR TO INSTALLATION.
- RETAINING WALL:

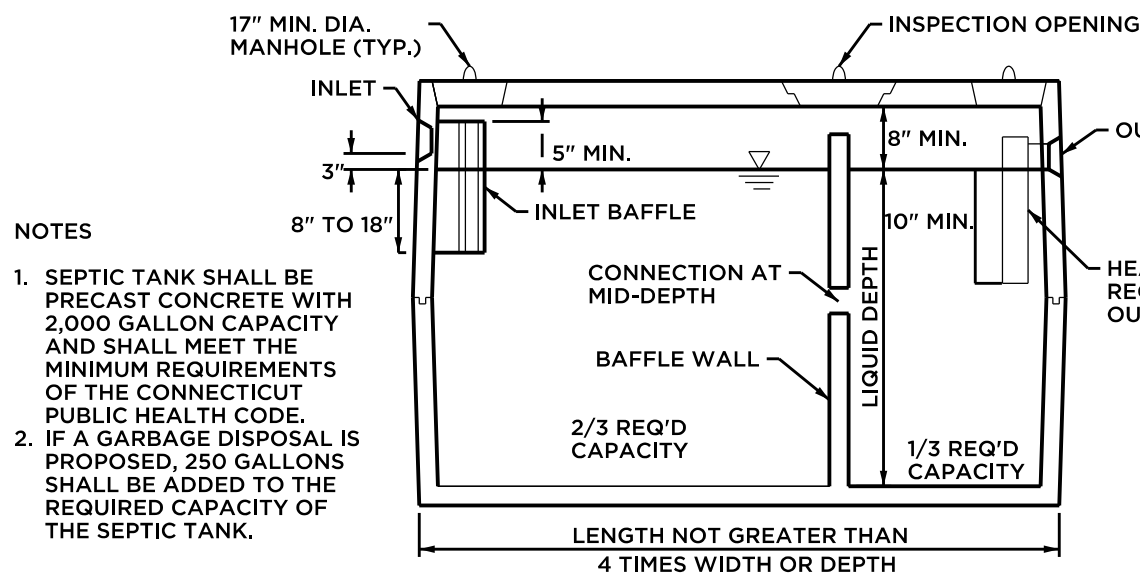
ANY RETAINING WALL OR DECORATIVE LANDSCAPING WALL EXCEEDING FOUR (4) FEET IN HEIGHT SHALL REQUIRE A BUILDING PERMIT. THE WALL DESIGN AND STRUCTURAL CALCULATIONS IN COMPLIANCE WITH THE REQUIREMENTS OF THE BUILDING CODE SHALL BE SUBMITTED FOR APPROVAL.
- DISTURBED AREAS/SEEDING:

ALL AREAS, EXCEPT SIDEWALKS AND DRIVEWAYS, DISTURBED DURING CONSTRUCTION MUST BE RESTORED WITH 4" MINIMUM OF TOPSOIL AND STABILIZED WITH VEGETATION AS SOON AS POSSIBLE AFTER THE FOUNDATION IS COMPLETED TO PREVENT EROSION. ALL AREAS ARE TO BE RAKED, SEEDED, AND FERTILIZED. LAWN AND ANY OTHER LANDSCAPING MUST BE PLANTED PRIOR TO A CERTIFICATE OF OCCUPANCY. RECOMMENDED SEEDING DATES ARE FROM MARCH 15 TO JUNE 15 AND FROM SEPTEMBER 15 TO OCTOBER 15.
- LOT CORNERS/PINNING:

WHEN A CERTIFICATE OF OCCUPANCY IS REQUESTED, ALL LOT (AND EASEMENT) CORNERS MUST BE FLAGGED FOR FIELD IDENTIFICATION. ANY LOT CORNER MISSING OR DAMAGED MUST BE RE-ESTABLISHED BY A LICENSED CONNECTICUT LAND SURVEYOR.
- RECORD DRAWINGS/AS-BUILT:

WHEN A CERTIFICATE OF OCCUPANCY IS REQUESTED, RECORD DRAWINGS OF THE ENTIRE SITE SHALL BE SUBMITTED TO THE TOWN UPON COMPLETION OF THE WORK AND SHALL BE IN THE FORM ACCEPTABLE TO THE TOWN. THE CONTRACTOR/DEVELOPER/OWNER SHALL BE RESPONSIBLE FOR PROCURING ALL INFORMATION NECESSARY TO GENERATE SAID DRAWINGS.

## SEPTIC TANK CROSS SECTION



## SEPTIC SYSTEM DESIGN

DESIGN PARAMETERS			
NUMBER OF BEDROOMS:	6	EFFECTIVE LEACHING AREA (ELA) REQ.:	742.5 SF
PERCOLATION RATE (MIN/INCH):	4 MIN./IN	GARBAGE DISPOSAL PROPOSED:	NO
SEPTIC TANK SIZE REQUIRED (MIN):	2,000 GAL.	LARGE CAPACITY TUB (>100 GAL):	NO
MINIMUM LEACHING SYSTEM SPREAD (MLSS)			
RESTRICTIVE LAYER: (TEST PIT #201)	39 INCHES	HYDRAULIC GRADIENT/SLOPE:	> 15%
HYDRAULIC FACTOR (HF):	16	MLSS (REQUIRED):	= (HF) x (FF) x (PF)
FLOW FACTOR (FF):	2.25		= (16) x (2.25) x (1.0)
PERCOLATION FACTOR (PF):	1.0		= 36 LINEAR FEET
LEACH FIELD DESIGN			
LEACHING SYSTEM USED:	MANTIS DW-58 (LOW-PRO)	CENTER-TO-CENTER SPACING:	14 LINEAR FEET
PRODUCT DIMENSIONS:	72"W x 60"L x 12"H	CONFIGURATION (AS SHOWN):	1 ROWS AT 65 LF
EFFECTIVE LEACHING RATIO:	11.6 SF/LF	NUMBER OF UNITS:	13 UNITS TOTAL
ELA (PROVIDED) = (1) x (65 LF) x (11.6 SF) =	754 SF	MLSS (PROVIDED) =	65 LINEAR FEET

## SEPTIC SYSTEM NOTES

- GENERAL PROVISIONS:
  - INSTALLATION OF AND MATERIALS USED FOR THE CONSTRUCTION OF THE SUBSURFACE SEWAGE DISPOSAL SYSTEM (SDS) AND ALL ITS COMPONENTS SHALL COMPLY WITH THE LATEST REVISION OF THE STATE OF CONNECTICUT PUBLIC HEALTH CODE, AS AMENDED.
  - PRIOR TO THE START OF CONSTRUCTION, THE SDS IS TO BE STAKED BY A LICENSED LAND SURVEYOR AND A BENCHMARK MUST BE SET WITHIN 40 FEET OF THE SEPTIC SYSTEM LEACHING AREA.
  - A ONE HUNDRED PERCENT (100%) SEPTIC RESERVE AREA HAS BEEN PROVIDED, AS SHOWN.
  - IF THE CONTRACTOR FINDS CONDITIONS DIFFERENT THAN THOSE NOTED ON THE PLANS OR IF CONDITIONS ARE ADVERSE TO CONSTRUCTION, THEN THE CONTRACTOR MUST STOP WORK IMMEDIATELY AND NOTIFY THE DESIGN ENGINEER.
  - THE SEPTIC SYSTEM SHOULD NOT BE CONSTRUCTED DURING WET WEATHER CONDITIONS OR IF THE SUBSOIL IS SATURATED. CARE MUST BE TAKEN TO PROTECT LEACHING SYSTEM FROM ANY ACTIVITY THAT MAY RESULT IN SEDIMENTATION OR COMPACTION OF THE SOILS.
- SEWER PIPE:
  - THE SEWER PIPE FROM THE HOUSE TO THE SEPTIC TANK SHALL BE 4" DIAMETER PVC SCHEDULE 40 ASTM D 1785 PRESSURE WATER PIPE OR APPROVED EQUAL. THE MINIMUM SLOPE SHALL BE 1/4 INCH PER FOOT.
  - PIPING AFTER THE SEPTIC TANK TO THE DISTRIBUTION BOX (D-BOX) SHALL BE A 4" DIAMETER PVC SDR-35 ASTM 3034 PIPE OR APPROVED EQUAL.
  - ALL CHANGES OF PIPE DIRECTION SHALL BE MADE WITH PROPER FITTINGS. PIPE LEADING INTO AND OUT OF THE SEPTIC TANK AND D-BOXES SHALL BE PROPERLY SECURED INTO PLACE AFTER THE PIPE INSTALLATION IS COMPLETE. INSTALLED PIPING SHALL BE PROTECTED DURING CONSTRUCTION AND FINAL GRADING TO AVOID CRUSHING OR DISPLACING.
- SEPTIC TANK AND DISTRIBUTION BOXES:
  - THE SEPTIC TANK AND D-BOXES SHALL BE PRECAST CONCRETE OR APPROVED EQUAL AND SHALL BE STANDARD PRODUCTS OF A SUPPLIER REGULARLY ENGAGED IN THE MANUFACTURE OF SUCH UNITS.
  - THE SEPTIC TANK SHALL BE SET LEVEL ON A FIRM BED OF NATIVE SOIL OR SAND FILL AND ALL D-BOXES SHALL BE SET LEVEL IN A FULLY EXCAVATED TRENCH AFTER BACKFILLING WITH STONE.
  - SEPTIC TANK ACCESS PORTS LOCATED MORE THAN 12 INCHES (12") BELOW GRADE SHALL REQUIRE RISERS ON ALL ACCESS PORTS.
- LEACHING SYSTEM INSTALLATION:

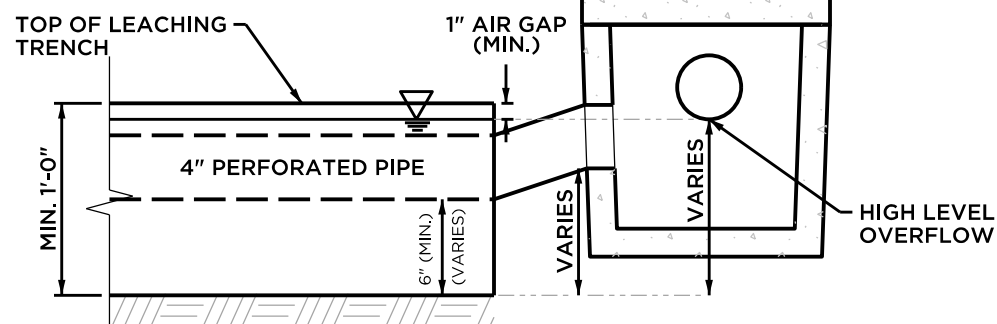
THE AREA WHERE THE PROPOSED LEACHING SYSTEM IS TO BE INSTALLED SHALL BE PROPERLY PREPARED PRIOR TO PERFORMING ANY ACTUAL INSTALLATION OF THE SUBSURFACE DISPOSAL SYSTEM. THE AREA FOR THE PROPOSED LEACHING SYSTEM SHALL MEAN THE ENTIRE AREA WITHIN THE PERIMETER 15 FEET OUTSIDE THE ENDS AND SIDES OF THE PRIMARY LEACHING SYSTEM SHOWN.

  - SELECT FILL (IF APPLICABLE):
    - WHERE PLAN INDICATES THAT FILLING SHALL OCCUR, ALL VEGETATION SHALL BE REMOVED AND TOPSOIL CAREFULLY STRIPPED AND STOCKPILED FOR LATER REPLACEMENT OVER THE FILL AREA.
    - THE AREA TO BE FILLED SHALL BE ROUGHENED BY HAND OR MACHINE, IN A DIRECTION PARALLEL TO THE PROPOSED LEACHING TRENCHES, TO ALLOW PROPER UNITING WITH THE PROPOSED FILL. AFTER PREPARATION, THIS AREA SHALL BE PROTECTED FROM TRAFFIC.
    - THE FILL MATERIAL SHALL CONFORM TO THE FILL SPECIFICATIONS OUTLINED IN SECTION VIII.A OF THE LATEST REVISION TO THE CONNECTICUT PUBLIC HEALTH CODE REGULATIONS AND TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS. ALL FILL SHALL BE ACCEPTABLE TO THE HEALTH DISTRICT.

SIEVE SIZE	PERCENT PASSING	
	(WET SIEVE)	(DRY SIEVE)
#4	100	100
#10	70 - 100	100
#40	10 - 50*	10 - 75
#100	0 - 20	0 - 5
#200	0 - 20	0 - 5
#200	0 - 5	0 - 2.5

\*PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%

- THE FILL MATERIAL SHALL BE DUMPED ON THE UPHILL SIDE OF THE PROPOSED LEACHING AREA AND SPREAD TOWARD THE DOWNHILL SIDE WITH A BULLDOZER, TAKING CARE THAT MACHINERY RIDES ONLY ON NEW FILL.
- THE FILL SHALL BE SPREAD OVER THE ENTIRE AREA IN 12 INCH (12") LIFTS AND COMPACTED BY HEAVY MACHINERY TO A POINT WHERE IT IS FIRM UPON COMPLETION OF THE SPREADING AND COMPACTING. THE ENTIRE FILLED AREA SHALL BE BACKLADDED AND SPECIAL CARE SHALL BE TAKEN TO ENSURE THAT THE ENTIRE FILL AREA, AND TOE OF SLOPE, IS EVENLY AND ADEQUATELY COMPACTED.
- AFTER THE AREA FOR THE PROPOSED LEACHING SYSTEM HAS BEEN PROPERLY FILLED, THE LEACHING SYSTEM SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
- SPECIAL RECOMMENDATIONS:
  - LOW FLOW SANITARY FIXTURES AND FLOW RESTRICTIVE SHOWER HEADS ARE RECOMMENDED FOR INSTALLATION IN PROPOSED HOUSE.
  - GARBAGE GRINDERS ARE NOT RECOMMENDED FOR USE WITH SUBSURFACE DISPOSAL SYSTEMS. IF A GARBAGE DISPOSAL IS TO BE INSTALLED, THEN THE SIZE OF THE SEPTIC TANK SHALL BE INCREASED BY A MINIMUM OF 250 GALLONS.
  - IF A LARGE CAPACITY (100 GALLON OR GREATER) TUB IS INSTALLED THEN THE SIZE OF THE SEPTIC TANK SHALL BE INCREASED BY A MINIMUM OF 250 TO GALLONS. SEE THE CONNECTICUT PUBLIC HEALTH CODE FOR CAPACITY INCREASE REQUIREMENTS.
- INSPECTION/AS-BUILT:
  - AFTER CONSTRUCTION AND PRIOR TO COVERING, THE SEPTIC SYSTEM INSTALLER SHALL NOTIFY THE HEALTH DISTRICT THAT THE SITE IS READY FOR INSPECTION. THE HEALTH DISTRICT SHALL INSPECT ALL COMPONENTS OF THE SEPTIC SYSTEM FOR COMPLIANCE WITH THE STATE OF CONNECTICUT PUBLIC HEALTH CODE AND APPROVED PLANS PRIOR TO COVERING.
  - A RECORD PLAN (AS-BUILT) OF THE SEWAGE DISPOSAL SYSTEM AND ITS COMPONENTS SHALL BE PREPARED BY THE INSTALLER AND BE SUBMITTED TO THE HEALTH DISTRICT.



## D-BOX CONNECTION DETAIL

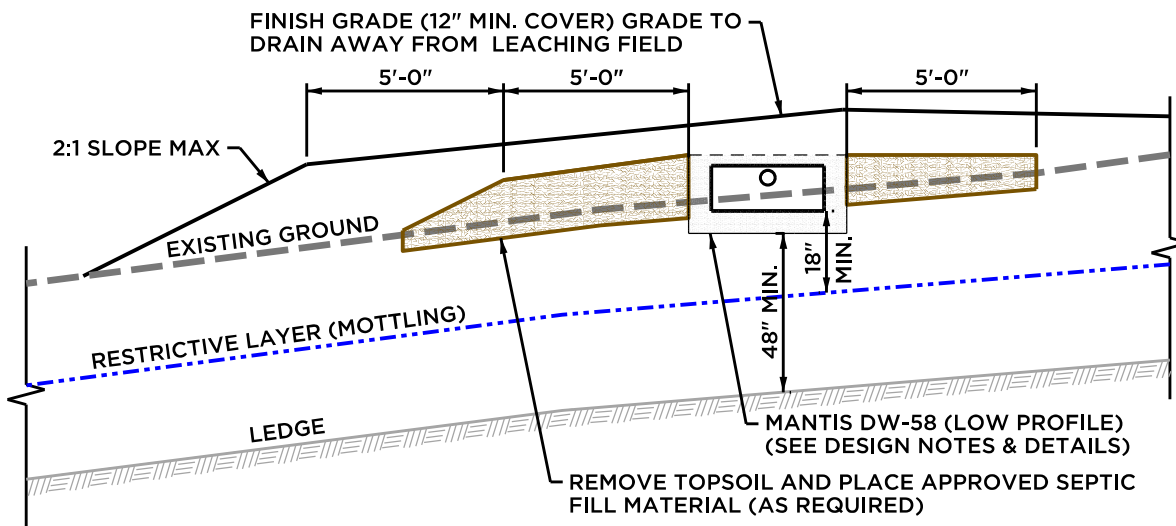
## SOIL TEST OBSERVATION RESULTS

SOIL TESTING PERFORMED BY: WITNESSED BY HEALTH DISTRICT: EXCAVATION PERFORMED BY:		BARTON & LOGUIDICE, LLC (MAREK KEMENT, PE/LS) ON APRIL 30, 2018 EASTERN HIGHLANDS HEALTH DISTRICT (HOLLY HOOD, RS). KEMENT & SON CONSTRUCTION, INC.	
TEST PIT: TP-201		TEST PIT: TP-202	
DEPTH (INCHES)	SOIL DESCRIPTION	DEPTH (INCHES)	SOIL DESCRIPTION
0 - 5 5 - 26 26 - 39	TOPSOIL ORANGE BROWN RED BROWN SAND TILL	0 - 4 4 - 20 20 - 29	TOPSOIL ORANGE BROWN RED BROWN SAND TILL
GROUNDWATER OBSERVED AT: N/A SEEPAGE OBSERVED AT: N/A MOTTLING OBSERVED AT: N/A ROOTS OBSERVED AT: 26" LEDGE OBSERVED AT: 39" RESTRICTIVE LAYER AT: 39"		GROUNDWATER OBSERVED AT: N/A SEEPAGE OBSERVED AT: N/A MOTTLING OBSERVED AT: N/A ROOTS OBSERVED AT: 20" LEDGE OBSERVED AT: 29" RESTRICTIVE LAYER AT: 29"	
STANDPIPE INSTALLED: NO TOP OF PIPE ELEVATION: N/A		STANDPIPE INSTALLED: NO TOP OF PIPE ELEVATION: N/A	
TEST PIT: TP-204		TEST PIT: TP-205	
DEPTH (INCHES)	SOIL DESCRIPTION	DEPTH (INCHES)	SOIL DESCRIPTION
	UNSUITABLE SOIL		UNSUITABLE SOIL
GROUNDWATER OBSERVED AT: N/A SEEPAGE OBSERVED AT: N/A MOTTLING OBSERVED AT: N/A ROOTS OBSERVED AT: 16" LEDGE OBSERVED AT: 16" RESTRICTIVE LAYER AT: 16"		GROUNDWATER OBSERVED AT: N/A SEEPAGE OBSERVED AT: N/A MOTTLING OBSERVED AT: N/A ROOTS OBSERVED AT: 12" LEDGE OBSERVED AT: 12" RESTRICTIVE LAYER AT: 12"	
STANDPIPE INSTALLED: NO TOP OF PIPE ELEVATION: N/A		STANDPIPE INSTALLED: NO TOP OF PIPE ELEVATION: N/A	
TEST PIT: TP-207		TEST PIT: TP-208	
DEPTH (INCHES)	SOIL DESCRIPTION	DEPTH (INCHES)	SOIL DESCRIPTION
0 - 5 5 - 24 24 - 40	TOPSOIL ORANGE BROWN RED BROWN SAND TILL (FIRM)		UNSUITABLE SOIL
GROUNDWATER OBSERVED AT: N/A SEEPAGE OBSERVED AT: N/A MOTTLING OBSERVED AT: N/A ROOTS OBSERVED AT: 24" LEDGE OBSERVED AT: 40" RESTRICTIVE LAYER AT: 40"		GROUNDWATER OBSERVED AT: N/A SEEPAGE OBSERVED AT: N/A MOTTLING OBSERVED AT: N/A ROOTS OBSERVED AT: N/A LEDGE OBSERVED AT: 12" RESTRICTIVE LAYER AT: 12"	
STANDPIPE INSTALLED: NO TOP OF PIPE ELEVATION: N/A		STANDPIPE INSTALLED: NO TOP OF PIPE ELEVATION: N/A	
TEST PIT: TP-209		TEST PIT: TP-209	
DEPTH (INCHES)	SOIL DESCRIPTION	DEPTH (INCHES)	SOIL DESCRIPTION
0 - 2 2 - 6 6 - 18 18 - 28	LEAF LITTER TOPSOIL ORANGE BROWN SILTY VERY FINE SANDY LOAM LOAMY SAND TILL GRAY		
GROUNDWATER OBSERVED AT: N/A SEEPAGE OBSERVED AT: N/A MOTTLING OBSERVED AT: N/A ROOTS OBSERVED AT: 18" LEDGE OBSERVED AT: 28" RESTRICTIVE LAYER AT: 28"		GROUNDWATER OBSERVED AT: N/A SEEPAGE OBSERVED AT: N/A MOTTLING OBSERVED AT: N/A ROOTS OBSERVED AT: 18" LEDGE OBSERVED AT: 28" RESTRICTIVE LAYER AT: 28"	
STANDPIPE INSTALLED: NO TOP OF PIPE ELEVATION: N/A		STANDPIPE INSTALLED: NO TOP OF PIPE ELEVATION: N/A	

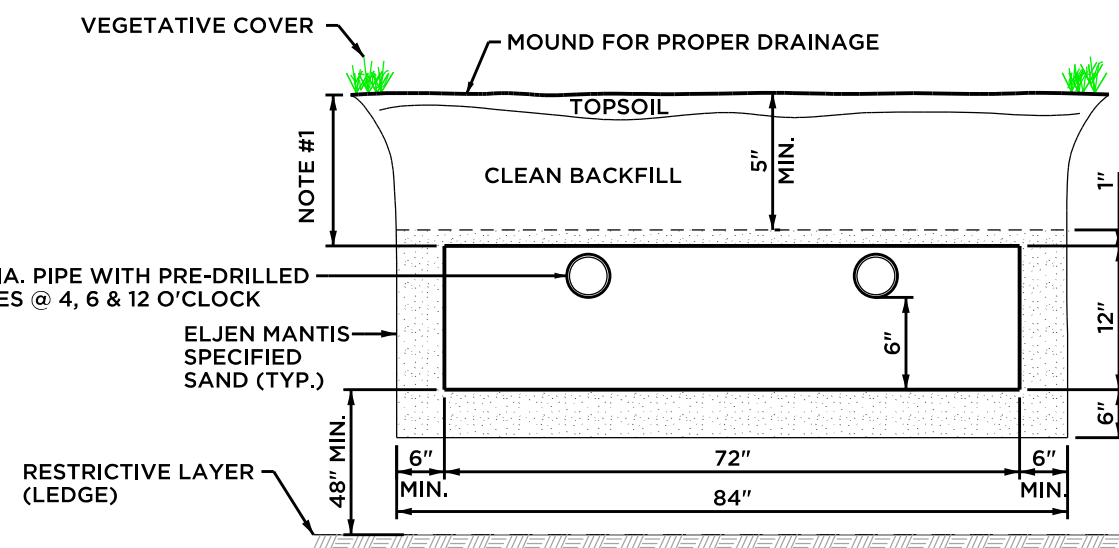
## PERC TEST RESULTS

PERC TEST PERFORMED ON 5/30/2018  
BY BARTON & LOGUIDICE  
(HOLES WERE PRE-PAVED PRIOR TO TESTING)

PERC TEST - A DEPTH @ 20"	PERC TEST - B DEPTH @ 19"
RATE = 4 MIN/INCH	RATE = 4 MIN/INCH



## LEACHING SYSTEM CROSS-SECTION (TYP.)



## MANTIS DW-58 (LOW PROFILE) SAND FILL CROSS SECTION

## EROSION & SEDIMENTATION CONTROL PLAN:

- ALL EROSION AND CONTROL MEASURES WILL BE INSTALLED AT THE PROJECT SITE PRIOR TO CONSTRUCTION WHEREVER POSSIBLE.
- AN ANTI-TRACKING APRON WILL BE INSTALLED AT THE ENTRANCE TO THE CONSTRUCTION SITE IN ORDER TO PREVENT THE TRANSPORT OF SEDIMENTS OFF THE CONSTRUCTION SITE BY TRUCK AND CONSTRUCTION EQUIPMENT TRAFFIC.
- AN EROSION CONTROL SYSTEM SHALL BE INSTALLED AROUND ALL ON-SITE STOCKPILES OF SOIL.
- DUST CONTROL MEASURES SHALL BE APPLIED THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- DUST CONTROL MEASURES WILL BE APPLIED DURING THE CONSTRUCTION PERIOD UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED, AS REQUIRED BY FIELD CONDITIONS.
- TEMPORARY SEDIMENT TRAPS WILL BE INSTALLED AS NECESSARY DURING CONSTRUCTION ACTIVITIES. ALL TEMPORARY STORMWATER DISCHARGE WILL BE DIRECTED TO THESE TRAPS.

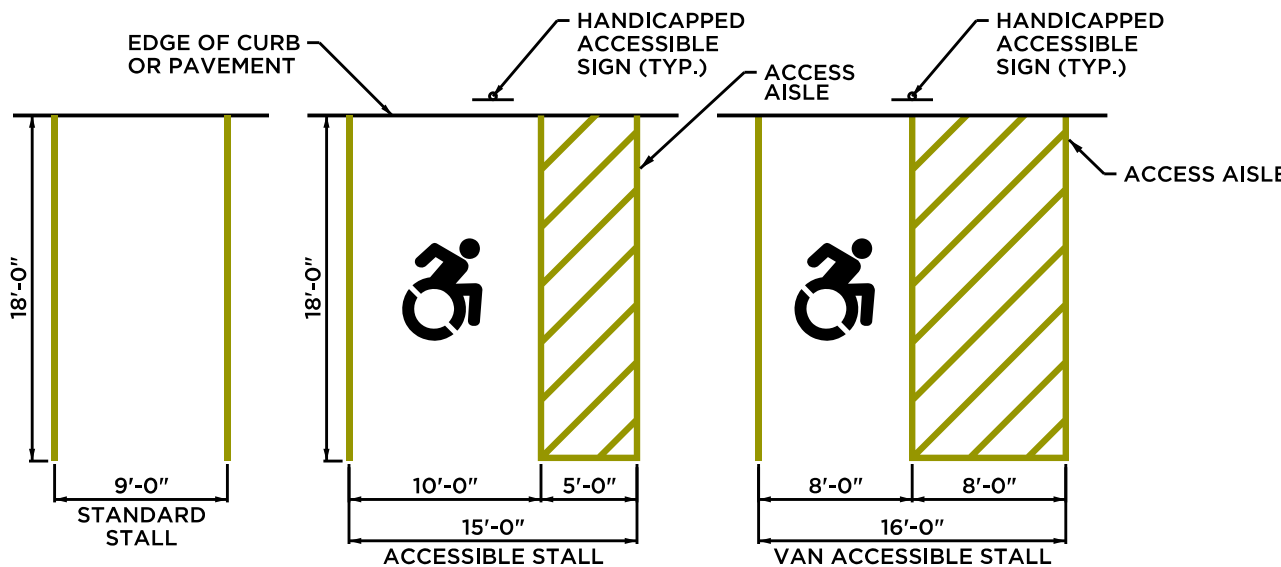
## EROSION & SEDIMENTATION CONTROL NOTES:

- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS, OR AS DIRECTED BY THE TOWN PRIOR TO CONSTRUCTION.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", DATED 2002, AS AMENDED AND THE TOWN REGULATIONS.
- ALL EROSION CONTROL DEVICES SHALL BE MAINTAINED OR REPLACED BY THE CONTRACTOR DURING THE CONSTRUCTION PERIOD AS NECESSARY OR AS REQUIRED BY THE ENGINEER OR TOWN.
- ALL ON-SITE EROSION AND SEDIMENT CONTROLS ARE REQUIRED TO BE INSPECTED WITHIN 24-HOURS AFTER A RAIN EVENT OF AT LEAST A HALF-INCH, AND MAINTAINED, REPLACED OR INCREASED AS REQUIRED BY SPECIFIC FIELD CONDITIONS.
- SEDIMENT REMOVED FROM ANY CONTROL STRUCTURES SHALL BE DISPOSED OF IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN.
- ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF DEEMED NECESSARY OR REQUIRED BY THE ENGINEER OR TOWN.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR IMPLEMENTING ALL EROSION AND SEDIMENTATION CONTROL DEVICES AS SHOWN ON THESE PLANS OR AS ORDERED BY THE ENGINEER.
- ALL DISTURBED AREAS ARE TO BE RAKED, SEEDED AND FERTILIZED PER "TURF ESTABLISHMENT" SPECIFICATION IN CT017 818, AT THE COMPLETION OF PROJECT.
- AREAS OUTSIDE OF PAVED AREAS, WALKS, AND BUILDINGS ARE TO RECEIVE A MINIMUM 4" OF TOPSOIL.
- THE FOLLOWING DATES FOR SEEDING SHALL BE USED:

SPRING: APRIL 15 TO JUNE 15  
FALL: AUGUST 15 TO SEPTEMBER 15
- THE FOLLOWING GRASS SEED MIXTURES SHALL BE APPLIED AT A RATE NO LESS THAN 100 LBS. PER ACRE:


SPECIES	PROPORTION BY WEIGHT (POUNDS)	MINIMUM PURITY (PERCENT)	MINIMUM GERMINATION (PERCENT)
VELVET BENTGRASS, (AGROSTIS CANADENSIS)	25	96	85
RED FESCUE (FESTUCA RUBRA L. SSP. RUBRA)	35	97	80
PARTRIDGE PEA (CHAMAECRISTA FASCICULATA)	10	95	90
INDIAN GRASS (SORGHASTRUM NUTANS)	15	95	90
CANADA WILD RYE (ELYMUS CANADENSIS)	5	95	90
KENTUCKY BLUE GRASS (POA PRATENSIS)	10	95	90

- TEMPORARY GRASS SEEDING, IF NECESSARY, SHALL BE PERENNIAL RYE GRASS (LOLIUM PERENNE) APPLIED AT A RATE OF 100 LBS. PER ACRE.



## PARKING STALL DETAILS

- GENERAL NOTES:
- ACCESS AISLES SHALL ADJOIN AN ACCESSIBLE ROUTE.
  - ACCESS AISLES (CROSS HATCH) SERVING CAR PARKING SPACES SHALL BE 60 INCHES (1525 mm) MINIMUM IN WIDTH. ACCESS AISLES SERVING VAN PARKING SPACES SHALL BE 96 INCHES (2440 mm) MINIMUM IN WIDTH. TWO PARKING SPACES SHALL BE PERMITTED TO SHARE A COMMON ACCESS AISLE. IF A CAR AND A VAN SPACE SHARE A COMMON ACCESS AISLE, THAT AISLE SHALL BE 96 INCHES MINIMUM IN WIDTH.
  - PARKING SPACES MAY HAVE ACCESS AISLES PLACED ON EITHER SIDE OF THE CAR OR VAN PARKING SPACE. VAN PARKING SPACES THAT ARE ANGLED SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACE.
  - ACCESSIBLE PARKING SPACES SHALL BE IDENTIFIED BY ABOVE GRADE SIGNS IN ACCORDANCE WITH DETAILS.

C:\390\02\Design\PLOT_Villa Louisa.dgn				
		41 Sequin Drive Glastonbury, CT 06033 Phone: (860) 633-9770 Fax: (860) 633-5971 www.bandct.com		
Civil Engineering • Environmental Consulting • Land Surveying • Construction Management				
PROJ. ENGINEER	MJP	CONSTRUCTION NOTES  PREPARED FOR		
PROJ. MANAGER	MLK			
OFFICE REVIEW	MLK			
REVISIONS		60 VILLA LOUISA ROAD LLC  60 VILLA LOUISA ROAD BOLTON, CT		
SCALE: AS NOTED		PROJECT 4390-002	DATE 1/31/2022	SHEET NO. 4 OF 4



Issued For	Date
Proposed Plans Review	XXXX.XXXX
Proposed Plans Review	XXXX.XXXX
CD	5.1.2022
FOR PERMIT	4.5.2022



PROPOSAL FOR 60 VILLA LOUISA ROAD,  
BOLTON, CONNECTICUT

FOR PERMIT

SIMONA TUDOR  
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60 VILLA  
LOUISA RD.

Title: PROPOSED  
PLANS  
  
Job No.: 60 VL  
Date: 11.22.21  
Scale: AS NOTED  
Drawn by: SwagSB  
Dwg #: A-0

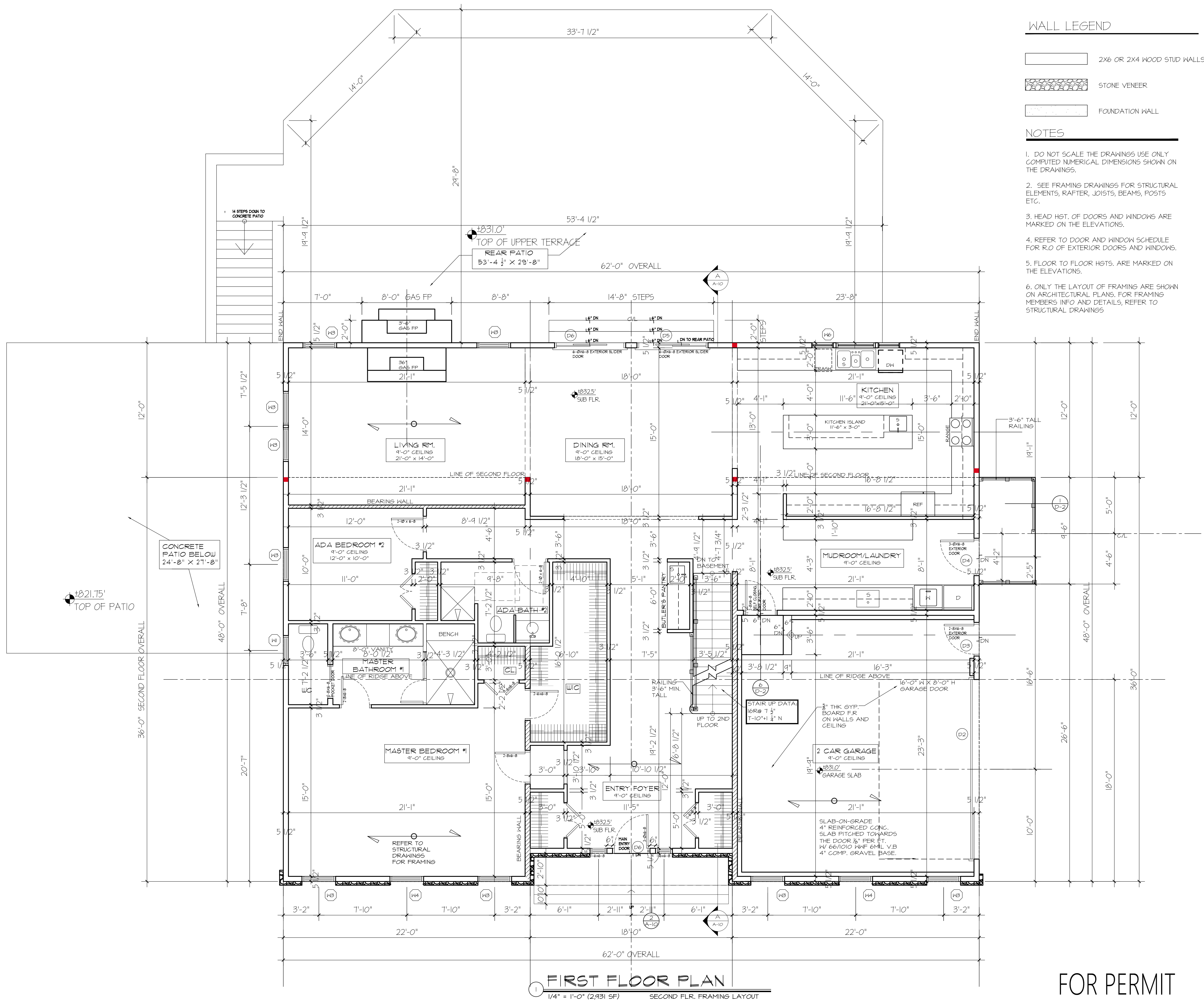
## WALL LEGEND

	2X6 OR 2X4 WOOD STUD WALLS
	STONE VENEER
	FOUNDATION WALL

## NOTES

- DO NOT SCALE THE DRAWINGS USE ONLY COMPUTED NUMERICAL DIMENSIONS SHOWN ON THE DRAWINGS.
- SEE FRAMING DRAWINGS FOR STRUCTURAL ELEMENTS, RAFTER, JOISTS, BEAMS, POSTS ETC.
- HEAD HGT. OF DOORS AND WINDOWS ARE MARKED ON THE ELEVATIONS.
- REFER TO DOOR AND WINDOW SCHEDULE FOR R.O. OF EXTERIOR DOORS AND WINDOWS.
- FLOOR TO FLOOR HGTS. ARE MARKED ON THE ELEVATIONS.
- ONLY THE LAYOUT OF FRAMING ARE SHOWN ON ARCHITECTURAL PLANS. FOR FRAMING MEMBERS INFO AND DETAILS, REFER TO STRUCTURAL DRAWINGS

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60 VILLA  
LOUISA RD.

Title:  
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PLANS

Job No.: 60 VL

Date: 11.22.21

Scale: AS NOTED


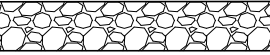
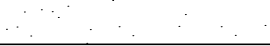
Drawn by: SnagSB

Dwg #: A-1

FOR PERMIT

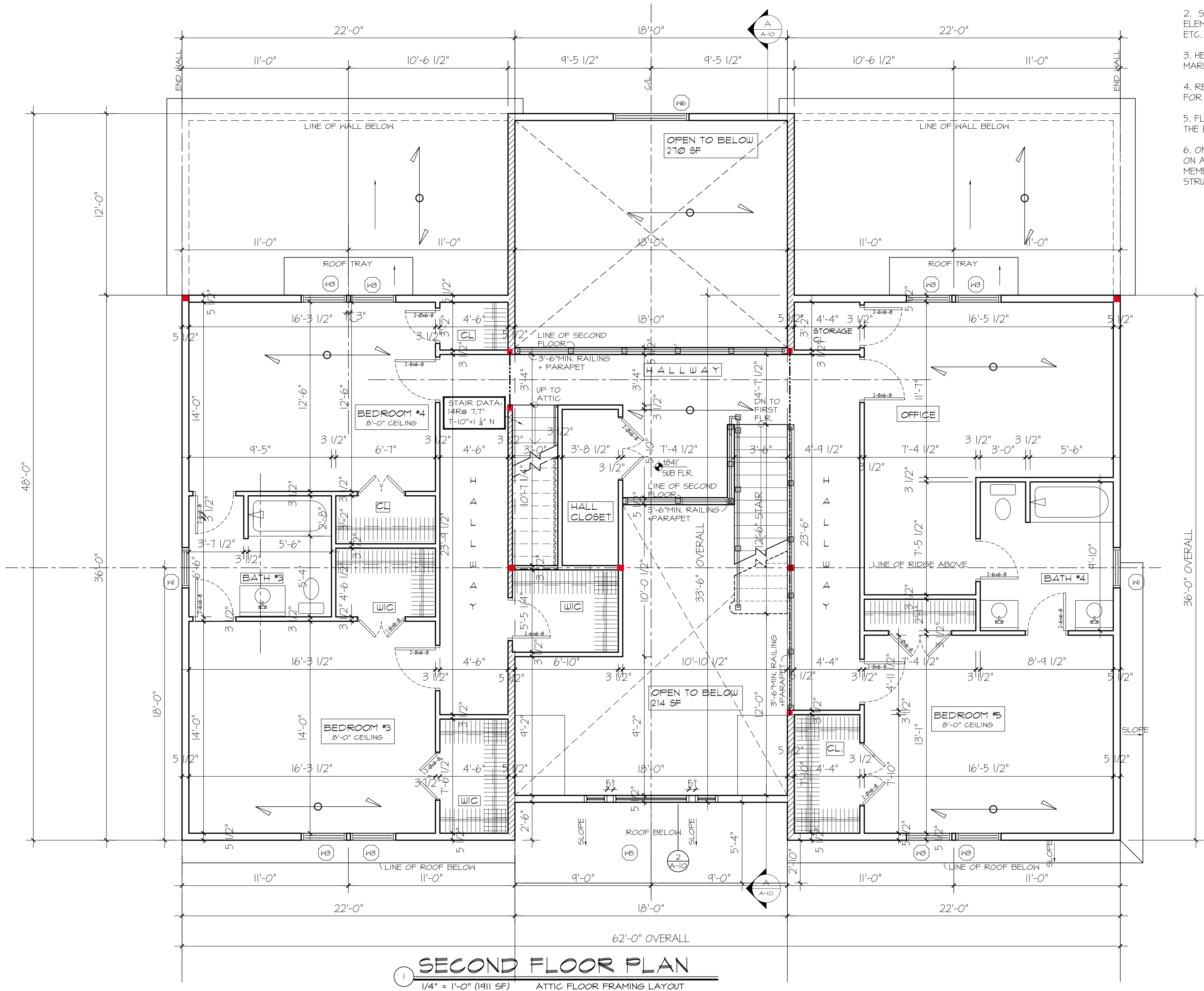
FIRST FLOOR PLAN  
1/4" = 1'-0" (2,931 SF)  
SECOND FLR. FRAMING LAYOUT

## WALL LEGEND

	2X6 OR 2X4 WOOD STUD WALLS
	STONE VENEER
	FOUNDATION WALL

## NOTES

- DO NOT SCALE THE DRAWINGS USE ONLY COMPUTED NUMERICAL DIMENSIONS SHOWN ON THE DRAWINGS.
- SEE FRAMING DRAWINGS FOR STRUCTURAL ELEMENTS, RAFTER, JOISTS, BEAMS, POSTS ETC.
- HEAD HGT. OF DOORS AND WINDOWS ARE MARKED ON THE ELEVATIONS.
- REFER TO DOOR AND WINDOW SCHEDULE FOR R.O. OF EXTERIOR DOORS AND WINDOWS.
- FLOOR TO FLOOR HGTS. ARE MARKED ON THE ELEVATIONS.
- ONLY THE LAYOUT OF FRAMING ARE SHOWN ON ARCHITECTURAL PLANS. FOR FRAMING MEMBERS INFO AND DETAILS, REFER TO STRUCTURAL DRAWINGS



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60 VILLA  
LOUISA RD.

Title:  
PROPOSED  
PLANS

Job No.: 60 VL

Date: 11.22.21

Scale: AS NOTED

Drawn by: SS

Fig #: A-2

FOR PERMIT



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FOR PERMIT	5.27.2022



Title: \_\_\_\_\_

PROPOSED  
PLANS

Job No.: 60 VL \_\_\_\_\_

Date: 11.22.21 \_\_\_\_\_

Scale: AS NOTED \_\_\_\_\_

Drawn by: SwagSB \_\_\_\_\_

Dwg #: A-3 \_\_\_\_\_

Drawn by Swagata Sharma

Issued For	Date
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Proposed Plans Review	XX.XX.XXXX
CD	5/1/2022
FOR PERMIT	5/21/2022

## NOTES

- 
- WALL LEGEND**
- 2X6 OR 2X4 WOOD STUD WALLS
  - STONE VENEER
  - FOUNDATION WALL
- NOTES**
- DO NOT SCALE THE DRAWINGS USE ONLY COMPUTED NUMERICAL DIMENSIONS SHOWN ON THE DRAWINGS.
  - SEE FRAMING DRAWINGS FOR STRUCTURAL ELEMENTS, RAFTER, JOISTS, BEAMS, POSTS ETC.
  - HEAD HGT. OF DOORS AND WINDOWS ARE MARKED ON THE ELEVATIONS.
  - REFER TO DOOR AND WINDOW SCHEDULE FOR R.O. OF EXTERIOR DOORS AND WINDOWS.
  - FLOOR TO FLOOR HGTs. ARE MARKED ON THE ELEVATIONS.
  - ONLY THE LAYOUT OF FRAMING ARE SHOWN ON ARCHITECTURAL PLANS, FOR FRAMING MEMBERS INFO AND DETAILS, REFER TO STRUCTURAL DRAWINGS
- FOUNDATION PLAN**  
1/4" = 1'-0"  
FIRST FLOOR FRAMING LAYOUT
- FOR PERMIT**

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Dwg #: A-4

FOR PERMIT



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FOR PERMIT	5.21.2022



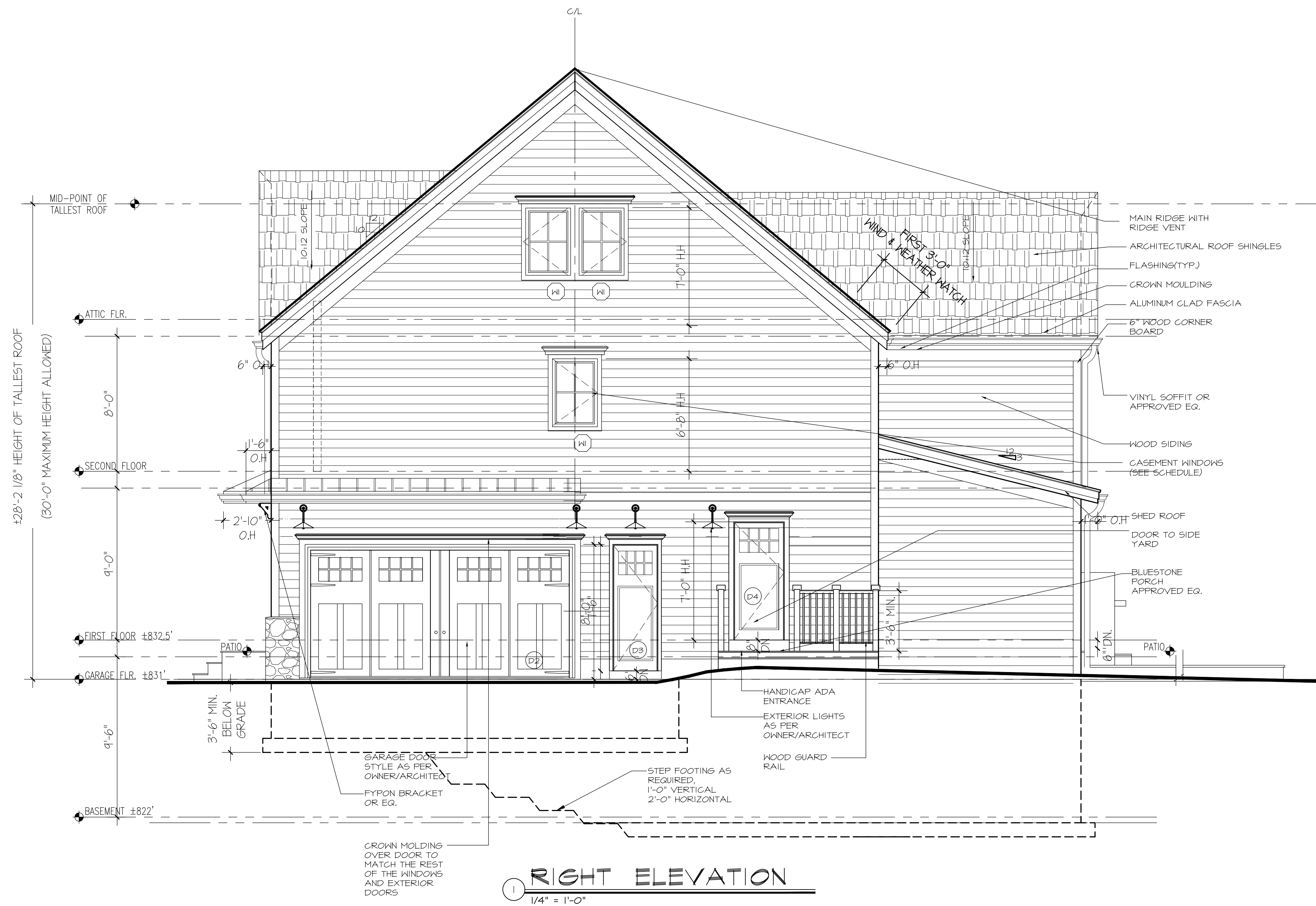
SIMONA TUDOR  
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60 VILLA  
LOUISA RD.

Title:  
PROPOSED  
ELEVATIONS  
Job No.: 60 VL  
Date: 11.22.21  
Scale: AS NOTED  
Drawn by: SwagatB  
Dwg #: A-5

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60 VILLA  
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Title:  
PROPOSED  
ELEVATIONS

Job No.: 60 VL

Date: 11.22.21

Scale: AS NOTED

Drawn by: SnagSB

Dwg #: A-6

Drawn by Swagata Sharma

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60 VILLA  
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Title:  
PROPOSED  
ELEVATIONS

Job No.: 60 VL

Date: 11.22.21

Scale: AS NOTED

Drawn by: Swagata Sharma

Dwg #: A-7

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60 VILLA  
LOUISA RD.

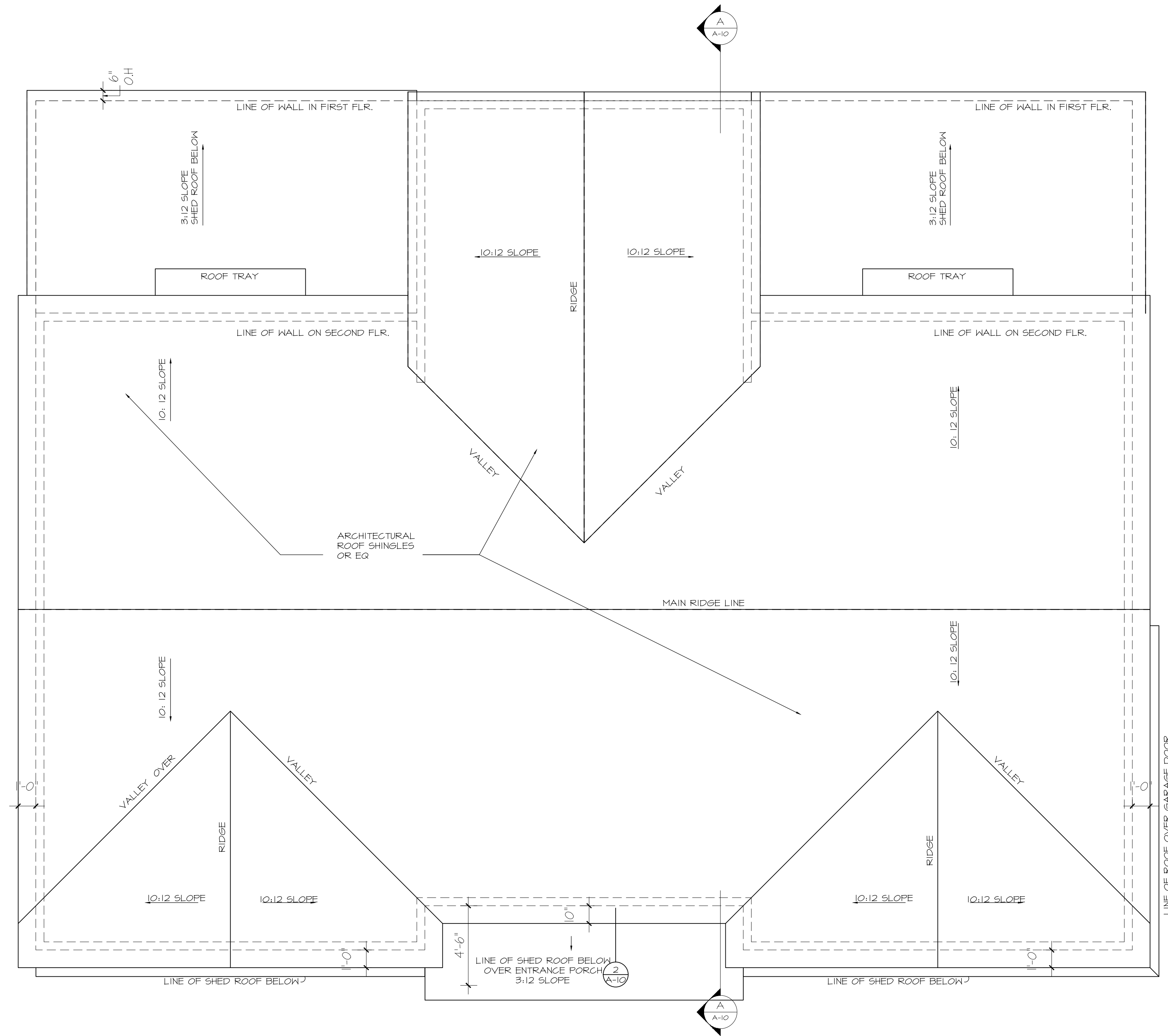
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ELEVATIONS

Job No.: 60 VL  
Date: 11.22.21  
Scale: AS NOTED  
Drawn by: SwagSB  
Png #: A-8

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1 ROOF PLAN  
1/4" = 1'-0"

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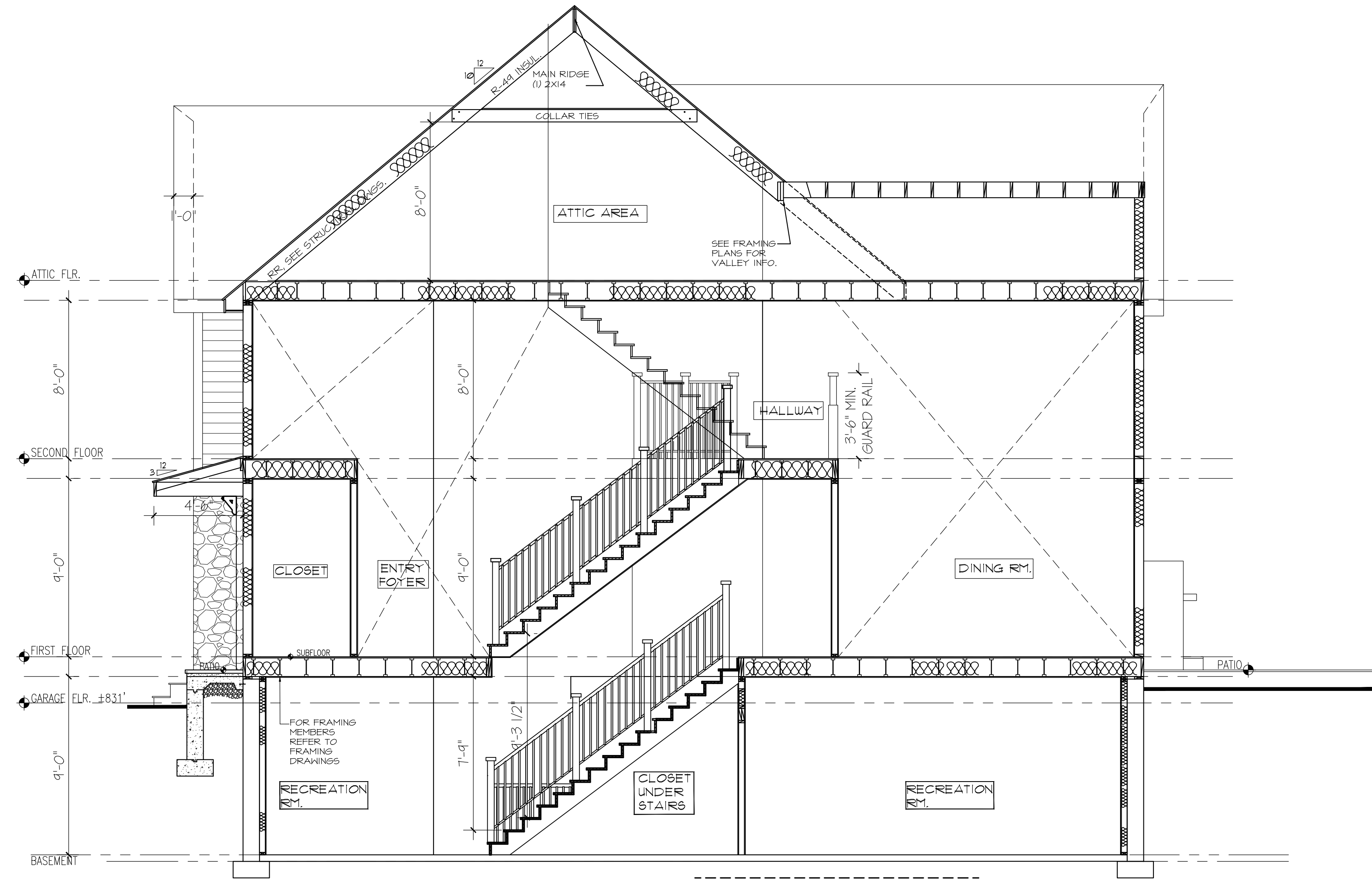
60 VILLA  
LOUISA RD.

Title:  
PROPOSED  
ROOF  
Job No.: 60 VL  
Date: 11.22.21  
Scale: AS NOTED  
Drawn by: SwagSB  
Dwg #: A-9

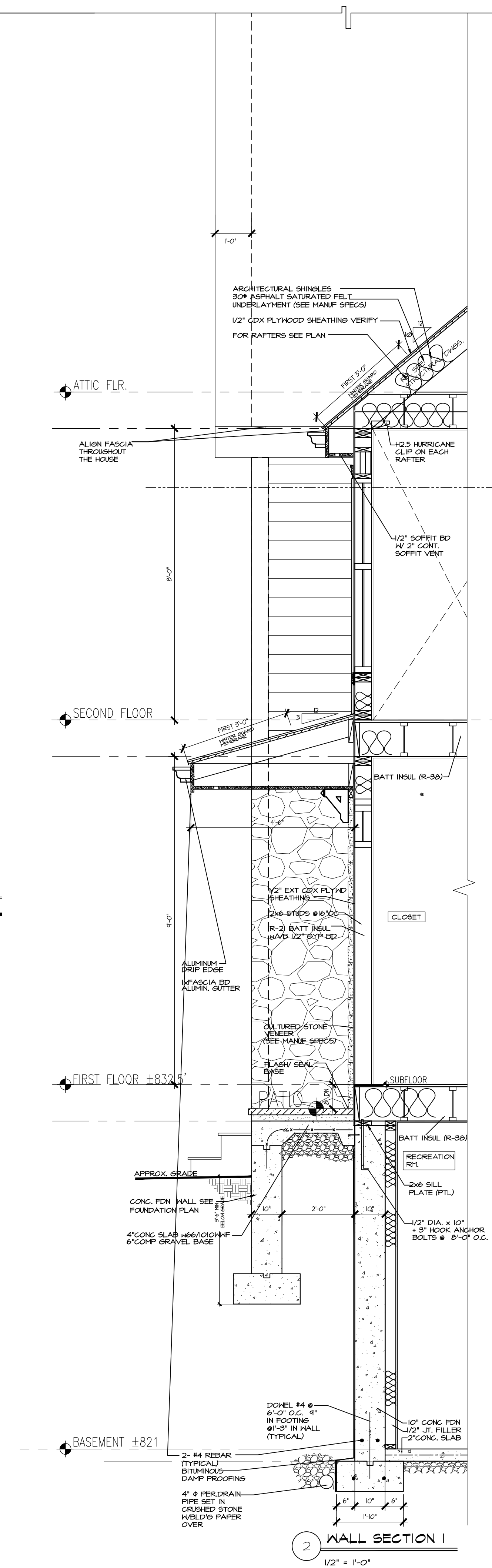
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SECTION AA  
1/4" = 1'-0"



WALL SECTION I  
1/2" = 1'-0"

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60 VILLA  
LOUISA RD.

Title:  
PROPOSED  
SECTION AND  
WALL SECTION

Job No.: 60 VL

Date: 11.22.21

Scale: AS NOTED

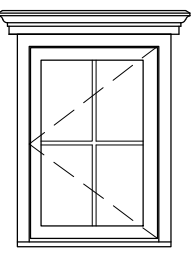
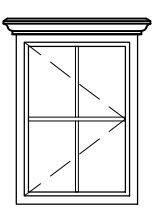
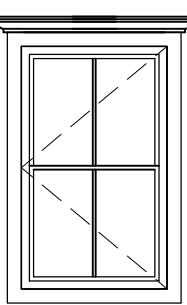
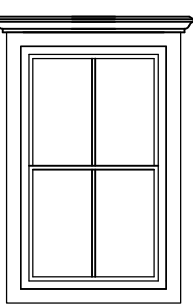
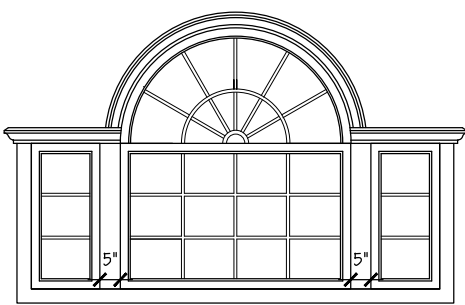
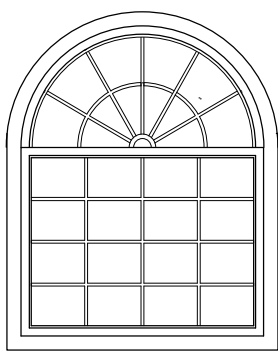
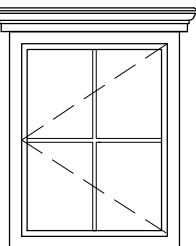
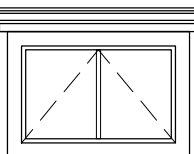
Drawn by: SwagSB

Dwg #: A-10

Drawn by Swagata Sharma

FOR PERMIT

Windows Schedule:

								
FOR SWING, REFER TO ELEVATIONS	FOR SWING, REFER TO ELEVATIONS	FOR SWING, REFER TO ELEVATIONS						
W1	W2	W3	W4	W5	W6	W7	W8	W9

General Notes:

- 1) GC TO PROVIDE SHOP DRAWINGS FOR ARCHITECTS/OWNER APPROVAL PRIOR TO PLACING WINDOW ORDER.
- 2) ALL WINDOWS TO BE MARVIN ELEVATE OR APPROVED EQUAL.
- 3) ALL PATIO DOORS TO BE MARVIN ELEVATE OR APPROVED EQUAL.

1010.4 Emergency escape and rescue: Every sleeping room below the fourth story in occupancies in Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency escape or rescue. Each emergency escape and rescue window shall have a minimum net clear opening of 5.7 square feet. The net clear opening shall be at least 24 inches in height and at least 20 inches in width. The net clear opening dimensions shall be obtained by the normal operation of the window from the inside. Where windows are provided for emergency escape and rescue, the windows shall have the bottom of the clear opening not more than 44 inches above the floor.

Bars, grilles or screens placed over emergency escape windows shall be releaseable or removable from the inside without use of a key, tool or force greater than that which is required for normal operation of the window.

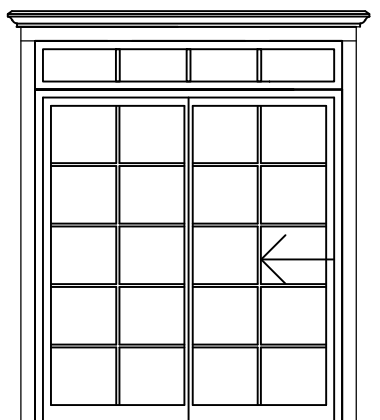
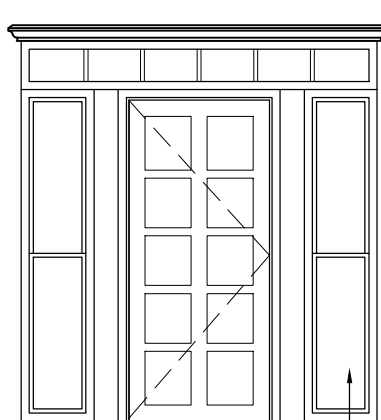
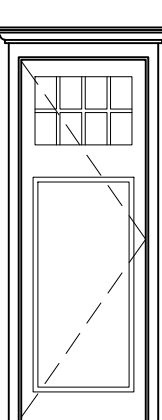
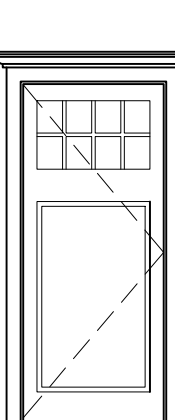
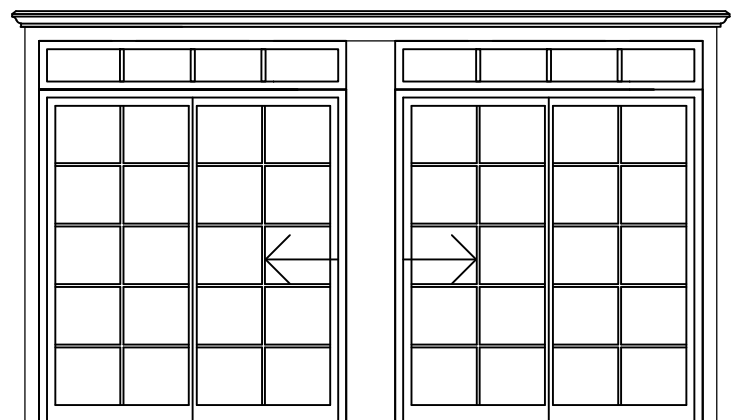
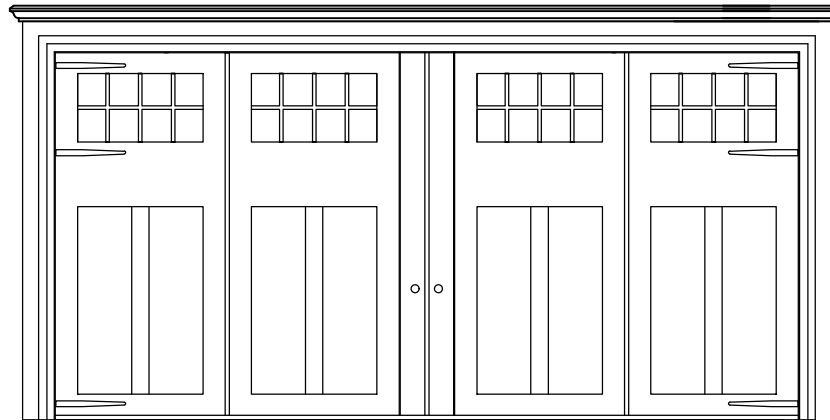
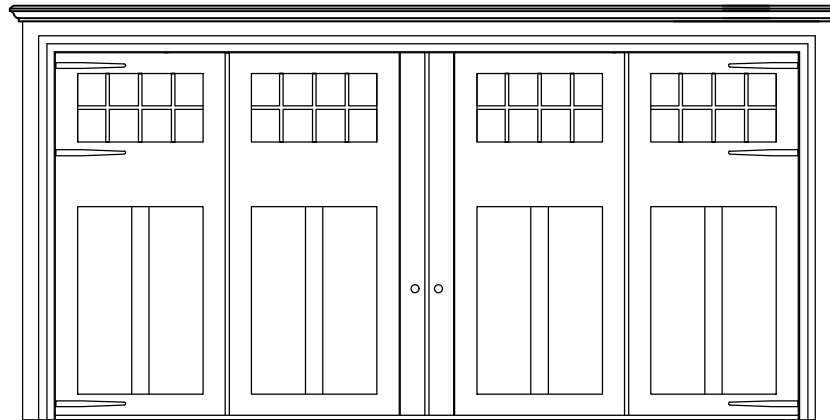
Exceptions:

- 1) The minimum net clear opening for grade floor windows shall be 5 square feet.

Unit Schedule:

Unit:	Cat. No.	Product:	Frame Size	Rough Opening	U-Factor	Remarks
W1	ELCA 3347 E	Casement	2'-8" X 3'-11-1/8"	2'-9" X 3'-11 5/8"	0.300	6'-8" HH, Egress size
W2	ELCA 2539	Casement	2'-0" X 3'-3-1/8"	2'-1" X 3'-3 5/8"	0.300	5'-1 1/2" HH
W3	ELCA 3759 E	Casement	3'-0" X 4'-11-1/8"	3'-1" X 4'-11 5/8"	0.300	6'-8" HH, Egress Window
W4	ELCAP 3759	Casement Picture	3'-0" X 4'-11-1/8"	3'-1" X 4'-11 5/8"	0.300	6'-8" HH
W5	ELCAP 5735 ELCAP 1735	Casement Picture Casement Picture Direct glaze round tops	4'-8" X 2'-11-1/8" 1'-4" X 2'-11-1/8" 4'-8" X 2'-4"	4'-9" X 2'-11-5/8" 1'-5" X 2'-11-1/8" 4'-9"X2'-4 1/2"	0.300 0.300 0.300	6'-8" HH, Units are mullied together.
W6	ELCAP 5747	Casement Picture Direct glaze round tops	4'-8" X 3'-11-1/8" 4'-8" X 2'-4"	4'-9" X 3'-11-5/8" 4'-9"X2'-4 1/2"	0.300 0.300	7'-8" HH, Units are mullied together.
W7						
W8	ELCA 3347 E	Casement	3'-0" X 3'-11-1/8"	3'-1" X 3'-11 5/8"	0.300	6'-8" HH, Egress size
W9	ELAWN 3723	Awning	3'-0" X 2'-11-1/8"	3'-1" X 2'-11 5/8"	0.300	6'-8" HH, Egress size

Door Schedule. Garage doors:

						
D1	D6	D3	D4	D5	D6	D2

General Notes:

- 1) GC to provide shop drawings of doors for Architects/Owner approval prior to placing door order.

Unit Schedule:

Unit:	Cat. No.	Product:	Door Size	Hardware:	Remarks
D1	xxxx w/ Transoms	Exterior Door	6'-0" X 6'-8" sliders w/ transom 1'-0" H X 6'-0" W	XXXX	2 panel Sliders patio door 1'-0"h X 6'-0"w Transom
D2	xx	Garage Door	16'-0" x 7'-0"	XXXX	Insulated
D3	XXX	Exterior Door	2'-8" X 7'-6"	XXXX	Insulated Solid Door w/ lights
D4	xx	Exterior Door	3'-0" x 6'-8"	XXXX	Insulated Solid Door w/ lights
D5	xx w/ Transoms	Exterior Door	6'-0" X 6'-8" sliders w/ transoms 1'-0" H X 6'-0" W	XXXX	Hollow Masonite
D6	xx w/ Transoms	Interior Door	6'-0" X 6'-8" sliders w/ transoms 1'-0"H X 6'-0" W	XXXX	Hollow Masonite

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Issued For

Date

Proposed Plans Review XXXXXXXX

Proposed Plans Review XXXXXXXX

CD 5.7.2022

FOR PERMIT 5.27.2022

SIMONA TUDOR  
ARCHITECT

PHONE  
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simonatorai@gmail.com

60 VILLA  
LOUISA RD.

Title:

DOOR & WINDOW  
SCHEDULE

Job No.: 60 VL

Date: 11.22.21

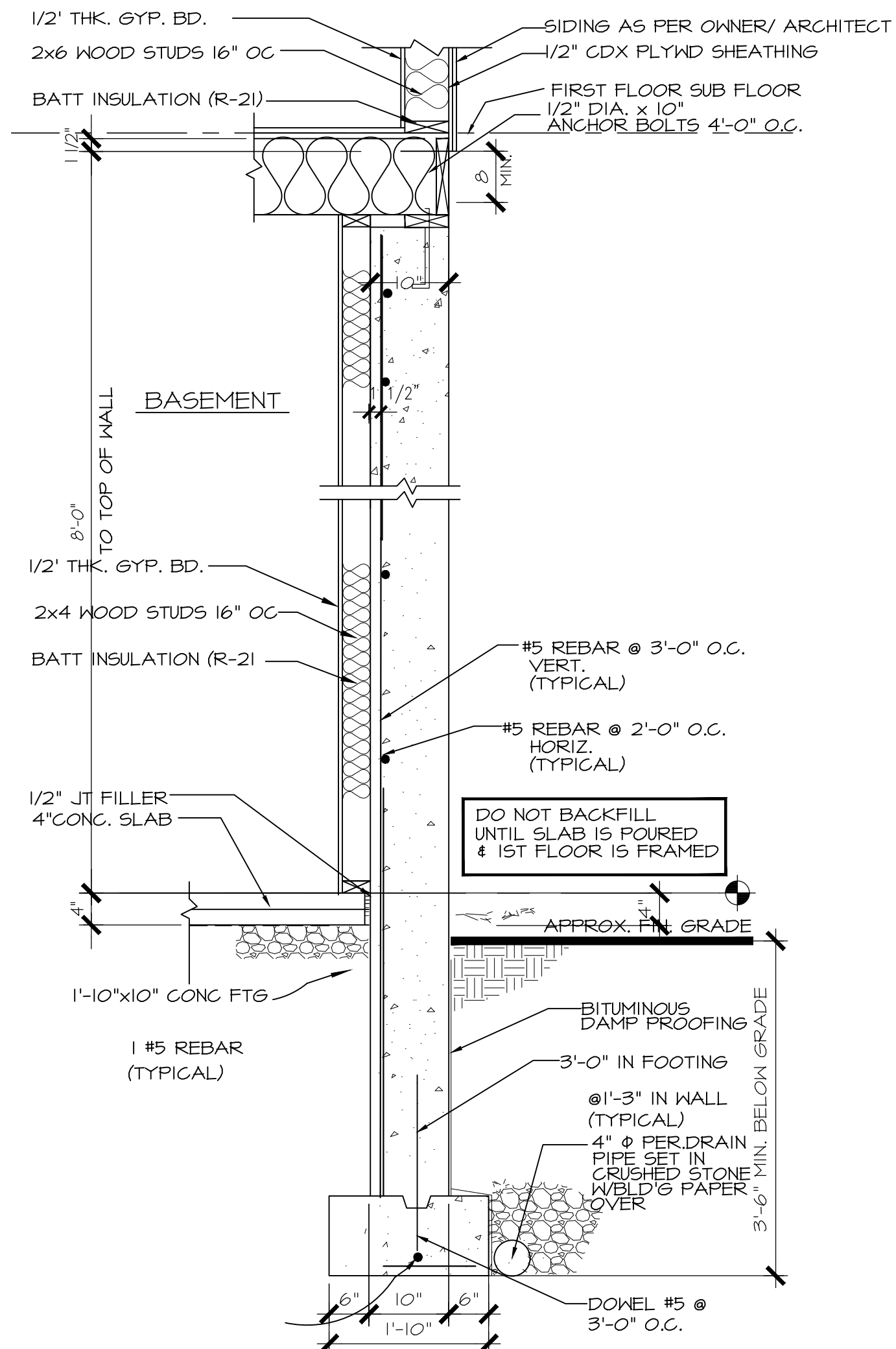
Scale: AS NOTED

Drawn by: SwagatB

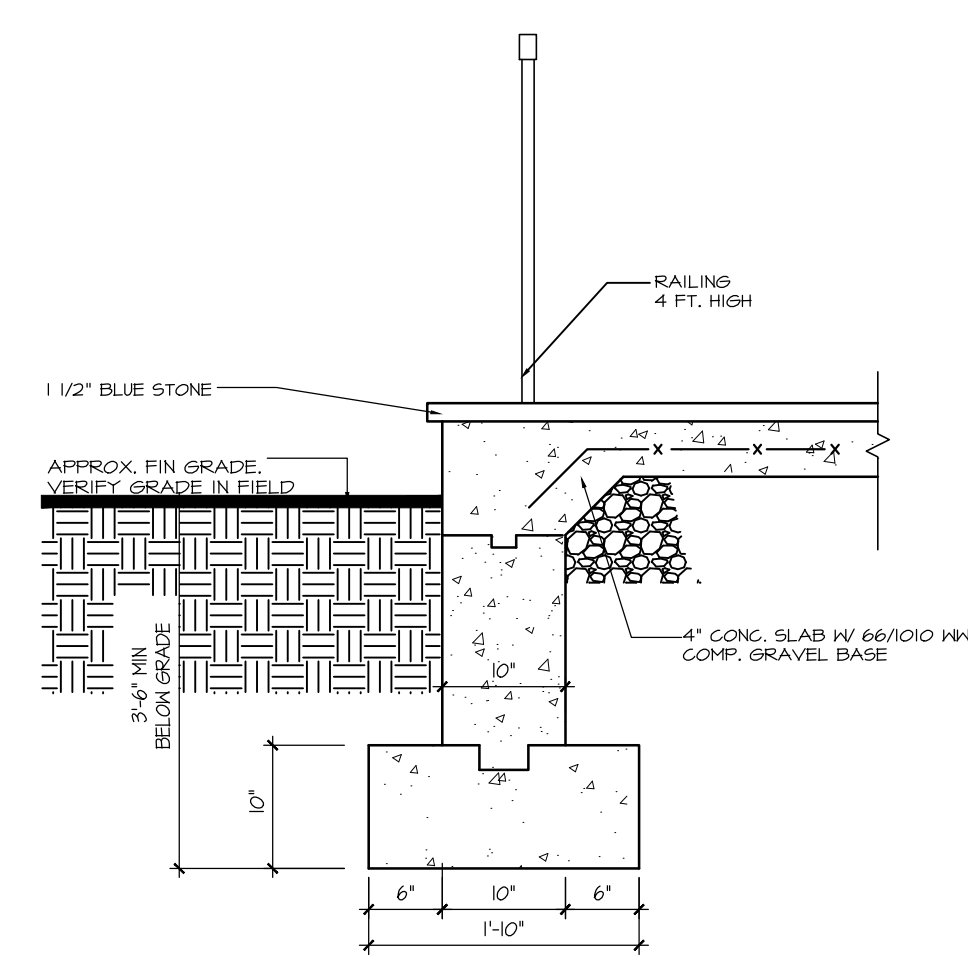
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FOR PERMIT

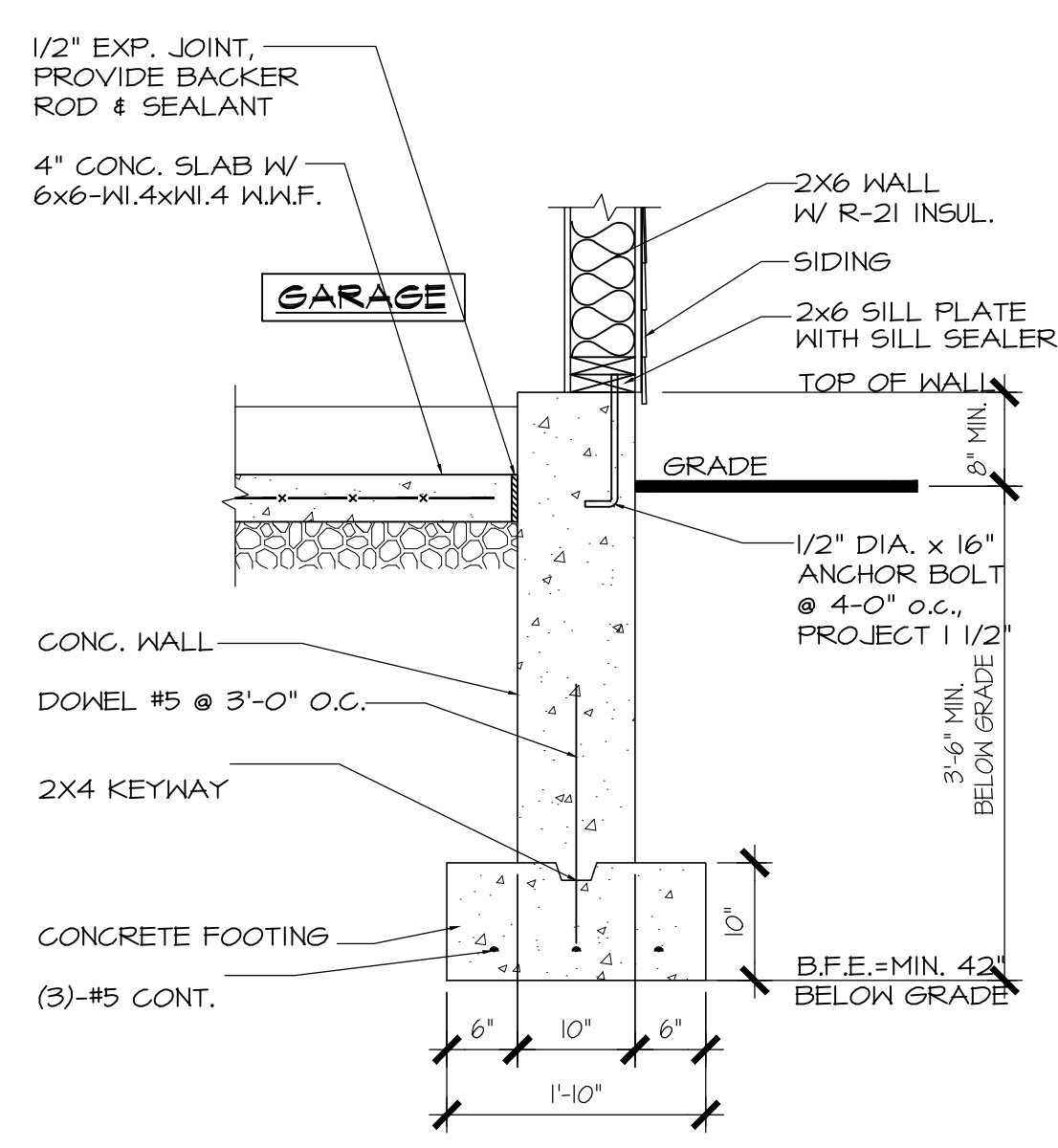
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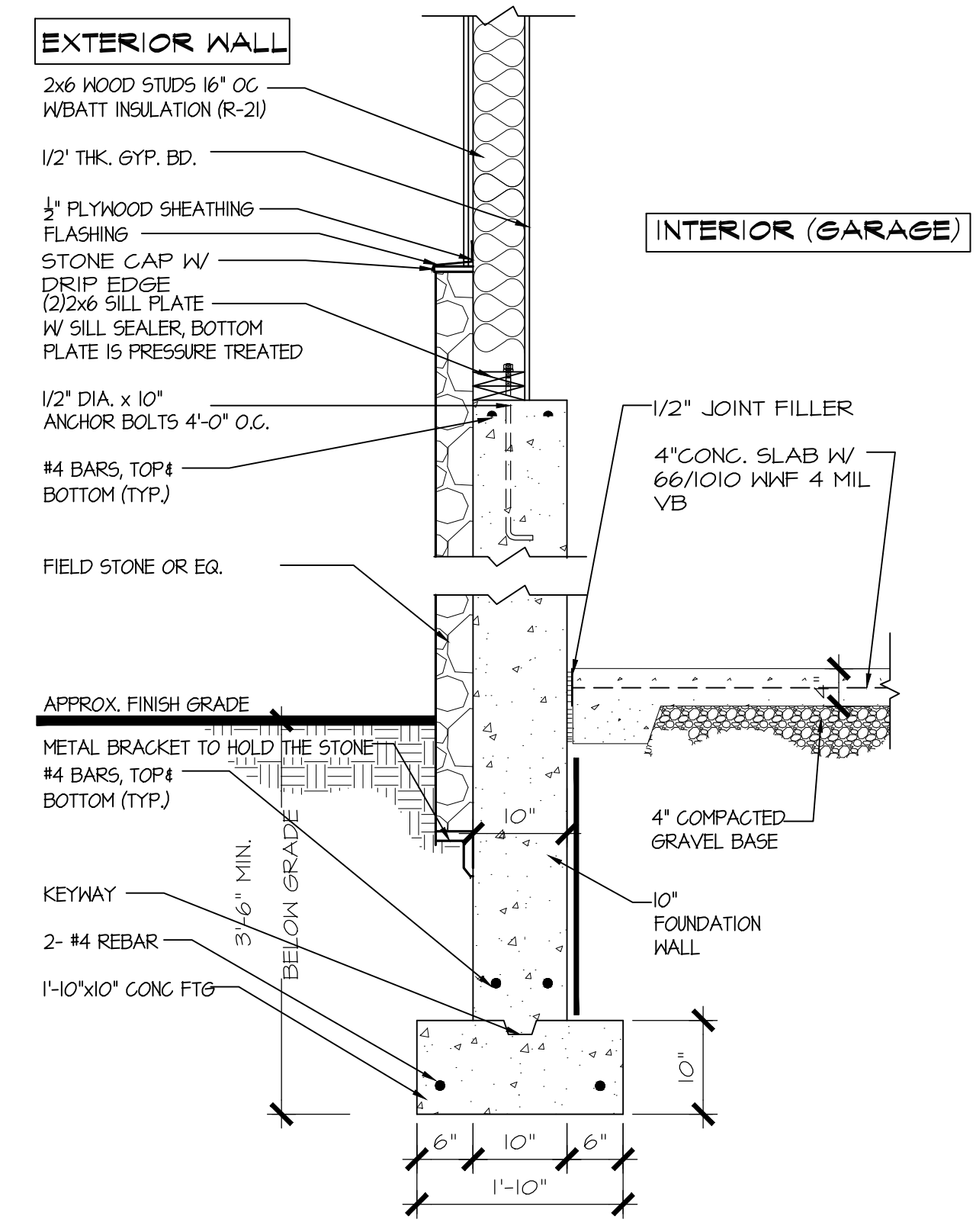
3 TYP. FOUNDATION WALL DETAIL  
3/4" = 1'-0"



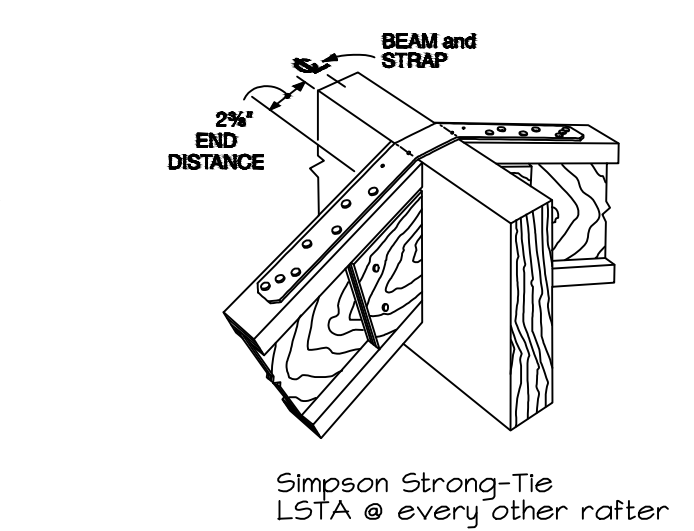
1 SECTION AT SIDE PATIO  
3/4" = 1'-0"



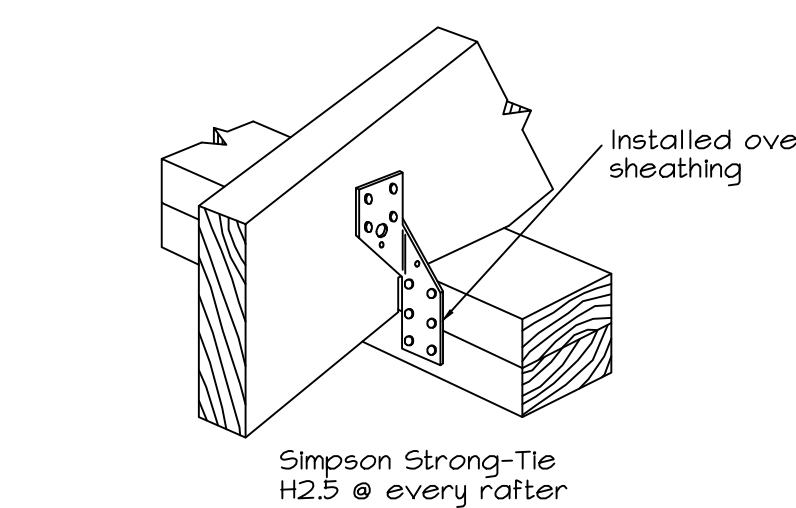
4 FOUNDATION WALL SECTION AT GARAGE SIDE  
3/4" = 1'-0"



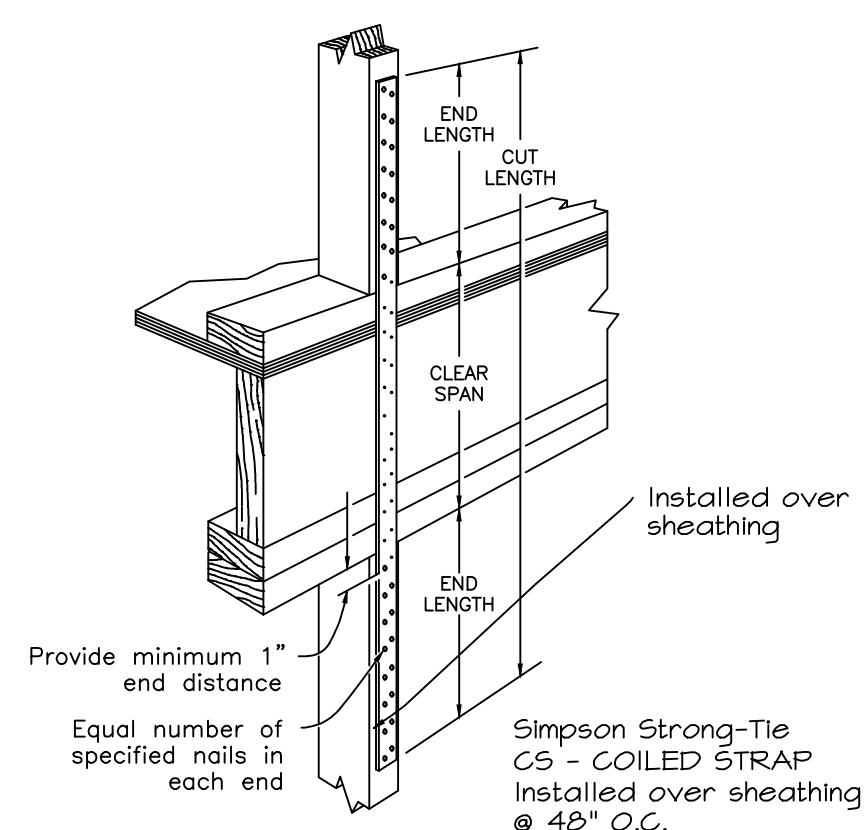
2 SECTION AT GARAGE SIDE WALL  
3/4" = 1'-0"



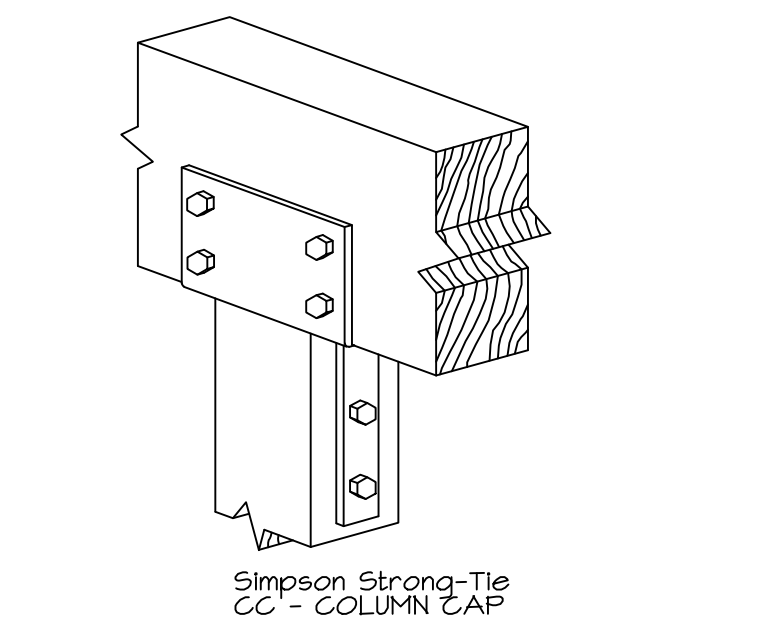
A RIDGE STRAP DETAIL  
D-2 NOT TO SCALE



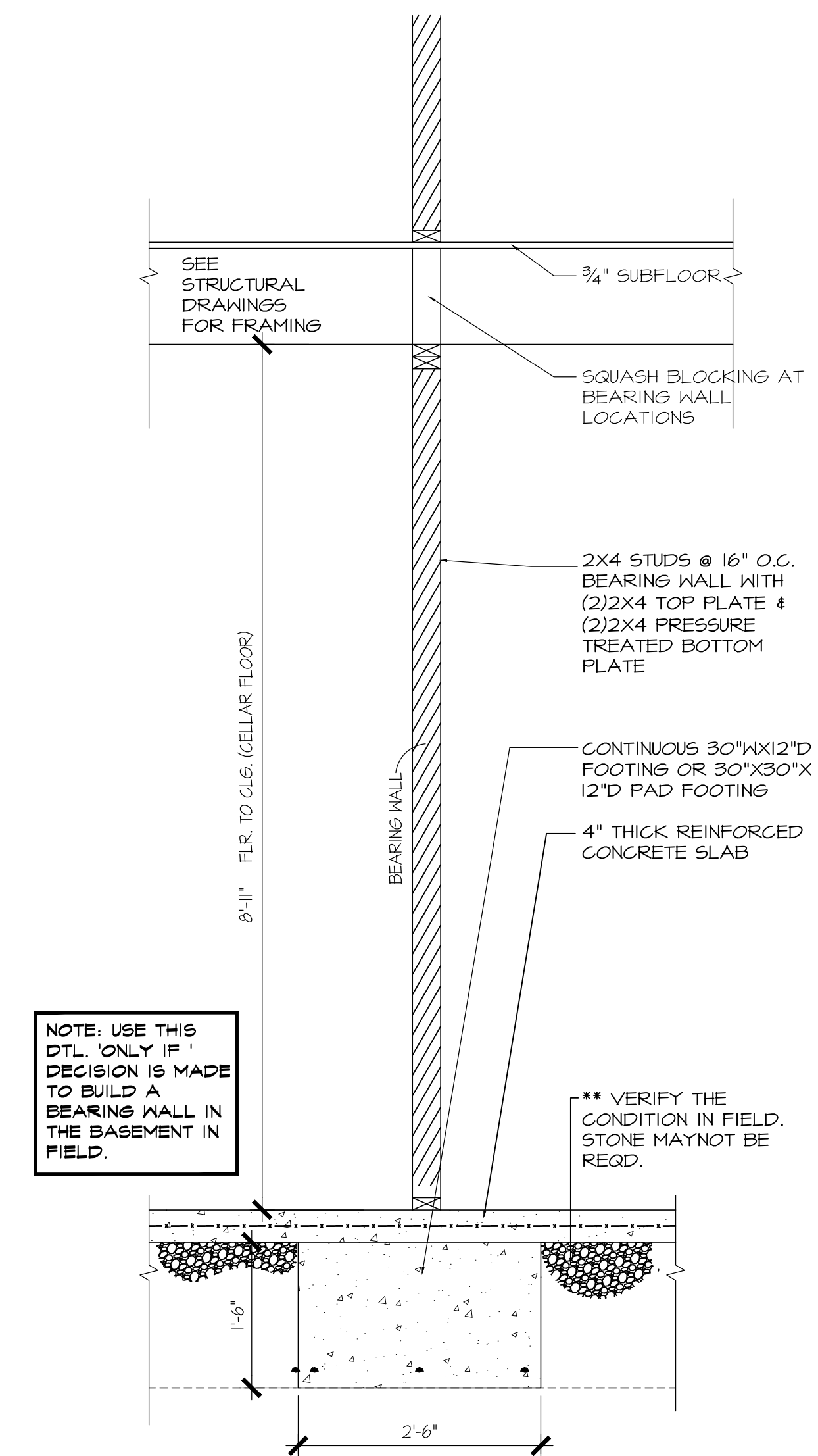
B HURRICANE CLIP  
D-2 NOT TO SCALE



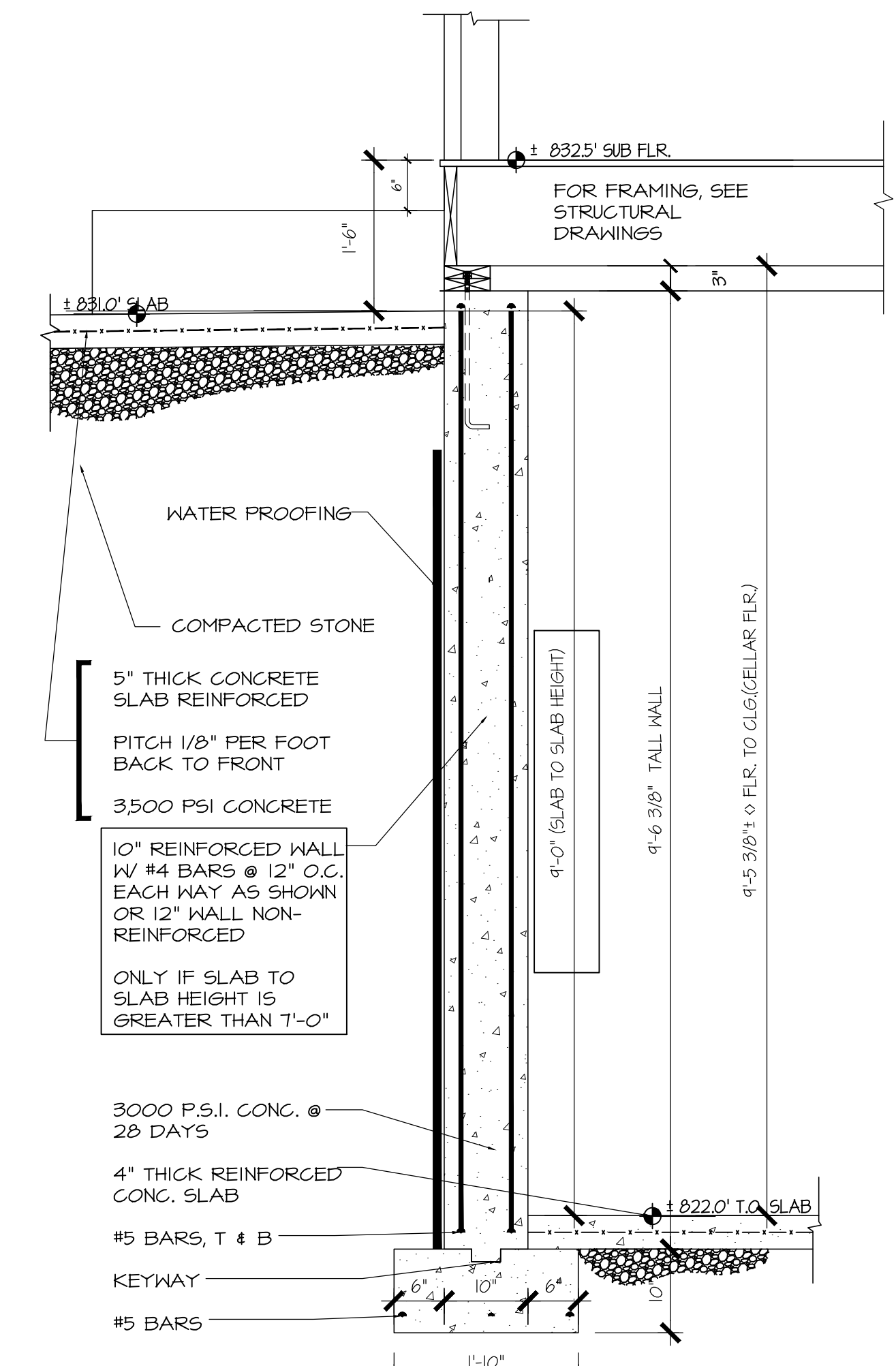
C FLOOR STRAP DETAIL  
D-2 NOT TO SCALE



D COLUMN CAP DETAIL  
D-2 NOT TO SCALE



5 TYP. INTERIOR FOOTING  
SCALE 3/4" = 1'-0"



6 FOUNDATION DETAIL AT GARAGE AND GARAGE  
SCALE 3/4" = 1'-0"

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Issued For	Date
Proposed Plans Review	XXXXXX
Proposed Plans Review	XXXXXX
CD	5.1.2022
FOR PERMIT	5.21.2022

SIMONA TUDOR ARCHITECT  
PHONE 202.284.8954  
EMAIL simonatorale@gmail.com

60 VILLA LOUISA RD.

Title: DETAILS

Job No.: 60 VL

Date: 11.22.21

Scale: AS NOTED

Drawn by: SnagSB

Dwg #: D-2

FOR PERMIT

Drawn by Swagata Sharma



**LIST OF ABUTTERS WITHIN 500 FT OF 60 VILLA LOUISA RD**

LORENTZEN WILLIAM JOHN	44 VILLA LOUISA RD	BOLTON, CT 06043
ALBASI LOUIS J EST & ALBASI STEVEN & LORENTZEN CAR	40 VILLA LOUISA RD	BOLTON, CT 06043
MANCHESTER TOWN OF WATER DEPT	41 CENTER ST	MANCHESTER, CT 06040-509
FISH DONALD W	20 DIMMOCK LN	BOLTON, CT 06043-7220
BLACKLEDGE CONSTRUCTION INC	20 DIMOCK LANE	BOLTON, CT 06043
DOMBEK DAMON &	16 OLIVIA COURT	EAST HARTFORD, CT 06108
DIANA VINCENT L JR	44 LOOKOUT LANDING	BOLTON, CT 06043
SOMES TEDD R & CYNTHIA	36 LOOKOUT LANDING	BOLTON, CT 06043
SCALA JEFFREY A & SUSAN H	32 LOOKOUT LANDING	BOLTON, CT 06043
MANCHESTER WATER DEPT TOWN OF	P O BOX 191	MANCHESTER, CT 06040
ALBASI LOUIS J EST+STEVEN+	40 VILLA LOUISA RD	BOLTON, CT 06043-7540
DEMUSZ WALDEMAR H & KRYSTYNA	20 LOOKOUT LANDING	BOLTON, CT 06043
60 VILLA LOUISA ROAD LLC	60 VILLA LOUISA RD	BOLTON, CT 06043
HARMON DAVID & KIM	40 LOOKOUT LANDING	BOLTON, CT 06043
ALBASI STEVEN E & MCCOOE KATHLEEN M	71 VILLA LOUISA RD	BOLTON, CT 06043
60 VILLA LOUISA ROAD LLC	60 VILLA LOUISA RD	BOLTON, CT 06043
ALBASI STEVEN E J+	VILLA LOUISE RD	BOLTON, CT 06043-7540
WEBER JEFFREY &	78 VILLA LOUISA RD	BOLTON, CT 06043
ALBASI LOUIS J EDWIN S & STEVEN	44 VILLA LOUISA RD	BOLTON, CT 06043