

Bolton Planning & Zoning Commission
Regular Meeting
7:30 p.m., Wednesday, April 14, 2021
Virtual Meeting utilizing Zoom
Minutes and Motions

Members Present: Chairman Adam Teller, Vice Chairman James Cropley, Christopher Davey, Arlene Fiano, Thomas Manning, Thomas Robbins and Alternates Jeremy Flick, Rodney Fournier and Marilee Manning

Members Not Present: Benjamin Davies

Staff Present: Patrice Carson, AICP, Consulting Director of Community Development, and Jim Rupert, Interim Administrative Officer and Zoning Enforcement Officer

Others Present: Ronald Beaudoin, Chris Bergin, Mark Byam, Luke DiStefano, William Grondin, George Koutouzis, Andrew Ladyga, Kimberly Masiuk, Richard Mihok, Attorney Stephen Penny, Jim Smart and Joe Williams

1. Call to Order: Chairman A. Teller called the meeting to order at 7:30 p.m. M. Manning was seated for Benjamin Davies.

2. Approval of Minutes: March 10, 2021 Regular Meeting Minutes

- Correct the spelling of Chris Berman to Chris Bergin in four places. One on Page 1, two on Page 2 and one on Page 4.
- On Page 3 of 7, in the 4th paragraph from the bottom, correct landscaping information to landscaping use.
- On Page 6 of 7, in the first paragraph, first sentence, A. Teller asked about electric vehicle chargers not T. Manning.

C. Davey moved to approve the minutes as amended. **J. Cropley seconded.** The motion passed unanimously 7:0:0.

3. Public Hearings (begin at 7:45 p.m.)

a. Continuation of Public Hearing: Special Permit Application for Nursery and Value Added Agricultural Business, 1225 Boston Turnpike, Happy Town LLC (#PL-20-13)

A. Teller opened the public hearing at 7:57 p.m. Attorney Stephen Penny, engineer Richard Mihok, electrical engineer Jim Smart, property owner Andrew Ladyga, Chris Bergin from Shamrock Tree Service and Mark Byam of All American Tree Care were present.

Atty. Penny requested that the revised site plan dated April 12, 2021, be shared online. Richard Mihok discussed the changes since the last site plan were discussed - proposed lattice fence and gates and a proposed two-foot high wood chip berm to segregate areas. The next plan revision will change the reference of compost to wood chips. A four-foot fence will replace curb stops that were a public safety hazard. Low shrubs are proposed along Route 44 where people were crossing from Old Coventry Road, and low shrubs are proposed along the frontage of the site in front of the farm stand.

A. Fiano asked about the variety and height of the low shrubs that are proposed. Mr. Mihok stated that they would be junipers or a similar evergreen no higher than two feet high so they will not block the site lines.

P. Carson shared the lighting plan that was submitted on Monday, April 12, 2021. Jim Smart, an electrical engineer who has been in practice since 1981 explained the plan. His approach was to personally visit the site twice and he also passes the property frequently. Currently, only the Lyndale stand has been lit at night. Each proposed fixture is described in the notes on the plan. Virtually all of the lighting would be new and would mainly be for security and safety. The average light fixture height would be 18 feet. The distances from the barns and the property lines were taken into consideration. He discussed the details of the fixtures. The wall fixtures will be at eight feet high. Mr. Smart consulted the Bolton regulations and these were taken into consideration when he proposed this lighting plan. This plan is a substantial upgrade. No light should be shining upward. T. Manning stated that he was in favor of this plan.

Atty. Penny asked to show the pictures of bunkers that he submitted on Monday, April 12, 2021. The lower barn that had been in the pictures is now gone. The 2009 photos, 2016 photos and current photos show different uses for the bunkers. Rob Giglio wrote a letter outlining the previous uses of the bunkers. T. Manning said the addition of the fencing along the bunkers satisfies his previous concern.

A waiver letter from Atty. Penny to P. Carson was reviewed. This included a waiver under Section 15D of the regulations to permit the use of a mixture of gravel and millings in the currently non-bituminous-paved proposed parking areas and a waiver of the proscription against outside storage of vehicles and/or materials. Another waiver not included in the letter would be relief from buffering along zone districting line. This area will be buffered with evergreen trees instead.

A. Teller questioned why the proposed buffer of evergreen trees only goes part way. Atty. Penny replied that the nursery itself would be a buffer but that plan can be altered if the commission would be more comfortable with that.

A. Teller asked where materials would be stored. Atty. Penny replied that they would only be stored in the bunkers. A. Teller said that now there is a fence over these bunkers, it's not the same. Atty. Penny said the bunkers are well screened and have been used for this purpose in the past.

C. Davey asked where the proposed lattice gate and fence would be in relation to the bunker. Could the structure of the bunker during cutting up of logs and shredding contribute to noise being funneled out of the bunker? Would the noise "shoot out" of the bunker if houses were built in the field at some point? Atty. Penny replied that there is a very wide throat on the bunkers. Some portion of the bunkers may be stationary and the land between the throat openings are the only means of access via a land bridge for the Giglios to get to their farm property. There is a wetland on the property with phragmites that can't be disturbed.

A. Fiano said that she doesn't recall about wood being processed. How is this not manufacturing? Atty. Penny said this was discussed at the first night of hearing. She is not convinced that it's not manufacturing and she needs clarification. Manufacturing is not allowed in this zone. Atty. Penny said that he referenced cases about this. A. Fiano asked what zones those cases were in. Atty. Penny replied that they were farming and residential and what the cases established was that they were value-added agricultural businesses per the language in the Bolton regulations.

J. Flick commented that he doesn't feel that there is manufacturing happening. There is no milling of wood or furniture making. It is just processing of logs, mulch, wood chips and lumber and storage of equipment.

C. Davey commented that the cases Atty. Penny mentioned were for use on the same land as where the processing was done and this application seems different. The courts in the cited case allowed the use because the wood was being used on that site regardless of where it came from. The Bolton regulations do not define value added.

A. Teller noted that the proposed business is not growing anything. They are bringing in product. Chris Bergin from Shamrock Tree Service said the intention is to plant and to grow on site. A. Teller said the trees that are being planted are not the ones being processed. The trees are currently being cut at commercial or residential properties and are being brought to this site. Once the commission authorizes they may be authorizing things that are not specific to the current application. Mr. Bergin said that they want to be able to use the processed material on the site, not elsewhere. A. Teller said that is okay but will you be selling the products elsewhere? The product is not being grown for this purpose and is not considered forestry. Atty. Penny noted that value-added agriculture and forestry agribusiness are inextricably together in the regulations. A. Teller replied that the trees are being removed from other properties. This is not forestry or agribusiness as they were not grown to be sold. This is not forest management. P. Carson noted that forestry is the science of managing a forest. A. Teller said that if the trees were on this lot he would have no problem. Forestry cannot be stretched to include this.

Andrew Ladyga said the letter submitted from the prior owner said they stored wood for processing, future use and/or sale. J. Flick said that this is basically a green venture - reprocessing for firewood, mulch, etc. They are also beautifying Lyndale Stand.

J. Rupert is concerned that if the application is approved with the ability to process firewood without limitation that could be a problem in a residential zone. A tub grinder could be used. It would be very noisy and disruptive to a residential zone. There is a State statute regarding noise but there is no town statute. He feels that the application can be approved with conditions prohibiting large equipment. Real specificity of that would be difficult. Hand held equipment is acceptable. Issues could be a cutting area in the parking lot with a large conveyor into the silage bunkers. With no limitation this could happen down the road. Mr. Bergin and Mr. Byam said that they have no intentions of operating a tub grinder or a large firewood processing rig.

C. Davey noted that the applicant is requesting until September to make the changes in the latest plan to the site. They are currently under a cease and desist order that has been in place for at least six months. This raises questions about reliability to meet a set deadline based on this order. Their past performance has not been good. Atty. Penny said that based on what the prior owners were doing which was like kind and quality, the tree services went into this thinking that they weren't doing anything wrong. This process was started last summer. J. Rupert said that there were a few suggestions that he and P. Carson made to immediately reduce the non-conformity and these were taken care of very quickly. A. Teller noted that the cease and desist order carries a hefty fine. It was appealed and upheld. The Town could push the owner. If September comes and goes, the permit could be revoked and they would be stuck with the cease and desist order. There are consequences to noncompliance. J. Flick feels that people who are trying to start a business could use a helping hand and asked if there is a small window of time that could be offered so they could prove themselves. A. Teller said no, there is no provisional permit option. Either comply or there is a violation. J. Cropley will recuse himself due to a conflict of interest.

Atty. Penny offered to submit additional case law to support his stance but the commission members were satisfied with the answers they were given.

T. Manning moved to close the public hearing at 9:21 p.m. **M. Manning seconded**. The motion passed 6:0:0. J. Cropley recused himself.

4. Resident’s Forum (Public Comment for items NOT on the agenda): There were none.

5. Staff Reports

P. Carson reported that they are busy and staff reviews of pending applications are in progress.

J. Rupert said that it is exciting to see increased activity and interest in Bolton. He will be acting as the Zoning Enforcement Official along with his new position as Interim Administrative Officer. More information will be available at the next meeting.

6. Old Business

a. Discussion/Possible Decision: Special Permit Application for Nursery and Value Added Agricultural Business, 1225 Boston Turnpike, Happy Town LLC (#PL-20-13)

A. Teller made a motion to approve Happy Town LLC’s Special Permit for nursery and value added agricultural business at 1225 Boston Turnpike, application #PL-20-13, in accordance with the plans submitted as “Proposed Concept Plan Improvement Location Survey, Prepared For Happy Town, LLC, Lot 1, Boston Turnpike Associates, LLC Subdivision, 1225 Boston Turnpike, Bolton, Connecticut” (1 sheet) dated: 05/04/2020, revised through 04-12-2021, and Site Lighting Plan (1 sheet) dated 04-08-2021, which is conditioned on the following modifications:

1. The approval letter shall be placed on the mylars to be recorded in the Office of the Town Clerk.
2. This approval is subject to compliance with any comments or requirements of the Health District and the Town Engineer.
3. All appropriate seals and signatures of the design professionals for these plans shall be placed on the plans before recording.
4. Stone or product shall not be stored in a setback area except within the concrete bunkers.
5. The landscape screening shown on the southerly boundary of the site shall be extended to the western property line.
6. There shall be no storage of anything – materials, vehicles or equipment – allowed on the residentially-zoned area of the lot except wholly within the concrete bunkers.
7. The area on the plans shown as the “composting area” shall be renamed the “wood chip storage area” and shall be delineated by a physical barrier such as a concrete waste block, bollards, etc.
8. Any and all improvements required as part of this decision shall be completed and in compliance with any permit issued by Thursday, September 30, 2021.
9. References in the application to the operation of a landscaping business on the site have been withdrawn by the applicant and such activities are not approved by this commission.
10. No tub grinders, or industrial scale equipment for processing logs shall be used on the site.

The Planning and Zoning Commission approves the following waivers requested by the applicant:

1. A waiver is granted under Section 15D of the regulations to permit the use of a mixture of gravel and millings in the currently non-bituminous-paved proposed parking areas and driveways provided that the same are scarified and gravel top-dressed annually, to implement the goals of Low Impact Development on this historically agricultural and rural-character appearing property.
2. A waiver of the proscription against outside storage of vehicles and/or materials, limited to storage wholly within the concrete bunkers is granted given the particular circumstances of this application including: that the site is bifurcated by a residential zone-district classification to the rear of the property; the existence of the two storage bunkers and uses that are also so-bifurcated;

and the historic agricultural use of the property and closely aligned agricultural and forestry based nature of the proposed commercial uses on the site as special permit uses, and recognizing that the bunkers will be completely screened by fencing.

3. A waiver is granted of the requirement for screening at the zone line between the residential and commercial zone given that screening will exist at or near the property line for the whole property.

The Planning and Zoning Commission finds with these conditions the plan meets the requirements of the Bolton Zoning Regulations.

M. Manning seconded. A. Teller is not totally convinced this activity fits within the value added agricultural and forestry use but there is no clear definition in the regulations. The proposed activity is not that unlike past activities on the site that have been there without objection from the community. The property behind it is zoned residential and very large, and is currently being farmed. If it becomes a residential development, any conflicts can be handled at that time. Overall, this application, if done correctly, will be an improvement to the site and it will have a valid economic use. It is being repurposed. There are limited places in the town for businesses like this to operate. The Town will be strictly enforcing the conditions of application. The commission granting this application should not be taken as laxity but rather trying to meet the applicant at a certain point. The motion passed 6:0:0 with J. Cropley recusing himself.

Attorney Penny thanked the Commission for their consideration.

b. Other: There was none.

7. New Business

There was no objection to reviewing the New Business before starting the public hearing at 7:45 p.m.

Discussion ensued as to how best handle the open applications. P. Carson suggested grouping applications together where the same engineer is being utilized. May 5, 2021, or May 19, 2021, were suggested for special meeting dates. May 5, 2021 was selected as the special meeting as all commission members would be available. The applications will be allocated appropriately between the special meeting scheduled for May 5, 2021, and the regular meeting scheduled for May 12, 2021.

a. Application: Site Plan Modification: Expand Existing Outdoor Patio for Dining, 275 Boston Turnpike, George Koutouzis (#PL-21-2)

This application does not require a public hearing. The commission acknowledges that they have officially received application #PL-21-2 and it will be discussed with a possible decision at the regular Planning & Zoning meeting scheduled for May 12, 2021.

Mr. Koutouzis joined the meeting subsequent to this decision and found the May 12, 2021, date to be acceptable.

b. Application: Special Permit Application: Excavation Business, Equipment Storage & Material Processing Areas, 1 Notch Road, William Phillips (#PL-21-1)

A public hearing is required for this application. Mr. Phillips is agreeable to discussing this at a public hearing on May 12, 2021.

A. Teller moved to officially receive application PL-21-1 and set a virtual public hearing for 7:45p.m. on Wednesday, May 12, 2021, utilizing Zoom. **T. Manning seconded.** The motion passed unanimously, 7:0:0.

c. Application: Special Permit Application: Proposed Retail Development, 2-lots, 1100 Boston Turnpike, Garrett Homes, LLC (#PL-21-5)

A public hearing is required for this special permit application.

A. Teller moved to officially receive application PL-21-5 and set a virtual public hearing for 7:45p.m. on Wednesday, May 5, 2021, utilizing Zoom. **T. Manning seconded.** The motion passed unanimously, 7:0:0.

d. Subdivision Application: Proposed Retail Development, 2-lots, 1100 Boston Turnpike, Garrett Homes LLC (#PL-21-6)

This application does not require a public hearing. The site has been discussed in the past and according to P. Carson, the use of the property is the only issue.

A. Teller moved to officially receive application #PL-21-6 and it will be discussed with a possible decision at a special meeting scheduled for Wednesday, May 5, 2021. **T. Manning seconded.** The motion passed unanimously, 7:0:0.

e. Application: Site Plan Application: Convenience Store & Gas Fueling Operation, 129 Boston Turnpike (Alltown Fresh Bolton), Global Montello Group Corp. (#PL-21-7)

This application does not require a public hearing. It is a redo of an existing gas station, lessening the number of gas pumps from six to four. The curb cuts will not change although the footprint of the building will be larger and the car wash removed. It is a very visible site at the entrance to the town. J. Cropley said that any improvement to the site would be welcome.

A. Teller moved to officially received application #PL-21-7 and it will be discussed with a possible decision at a special meeting scheduled for Wednesday, May 5, 2021. **C. Davey seconded.** The motion passed unanimously, 7:0:0.

f. Other: There was none.

8. Correspondence

a. CT Siting Council Letter: EM-CING-012-210329 – New Cingular Wireless PCS, LLC (AT&T) notice of intent to modify an existing telecommunications facility located at 130 Vernon Road, Bolton, Connecticut

This appears to be only a modification to the existing tower. No specifics were included in the letter. Jim Rupert said that in general there is an ongoing upgrade to 5G across the country.

9. Adjournment:

The meeting adjourned at 9:56 p.m.

Respectfully submitted,

Leslie J. Brand

Leslie Brand
Recording Secretary

Please see minutes of subsequent meetings for approval of these minutes and any corrections hereto.



Town of Bolton

222 BOLTON CENTER ROAD • BOLTON, CT 06043

BOLTON PLANNING AND ZONING COMMISSION

APPLICATION FOR SPECIAL PERMIT, SITE PLAN REVIEW OR MODIFICATION OF A PREVIOUSLY APPROVED APPLICATION

1. Application Title: 1 Notch Rd
2. Check all that apply:
 Special Permit Application Modification of an Approved Special Permit Application*
 Site Plan Review Application Modification of an Approved Site Plan Review Application*

* The Commission may require a new application if the proposed modification significantly alters the previously approved application.
3. Street Address of subject property 1 Notch Rd, Bolton
4. Deed Reference (Bolton Land Records) Volume _____ Page _____
5. Assessor's Records Reference: Map # _____; Block # _____ Parcel / Lot # _____
6. Current zone(s) of subject property Industrial Acreage: 4
7. In Aquifer Protection District? Yes _____ No
8. In FEMA Flood Area? Yes _____ No
9. Wetlands Application Required? Yes No _____
10. Applicant(s) William Phillips
Address 21 Clark Rd Zip 06043
Phone # (860) 798-1400 Fax # (860) 646-1347 E-mail bill@landreconstruction.com
11. Owner(s) of subject property Manchester Medical Supply
Address New State Rd, Manchester Zip 06040
Phone # _____ Fax # _____ E-mail _____
12. Official Contact / Representative regarding this Application: William Phillips
Address 21 Clark Rd Bolton Zip 06043
Phone # (860) 798-1400 Fax # (860) 646-1347 E-mail bill@landreconstruction.com

13. Project Engineer: Bushnell + Associates
Address 563 Woodbridge St Manchester CT Zip 06042
Phone # 860 643 7875 Fax # _____ E-mail abushnell@bushnellassociatesllc
com

14. Project Architect: _____
Address _____ Zip _____
Phone # _____ Fax # _____ E-mail _____

15. Other Experts Retained by Applicant: John Ianni

16. Briefly describe the proposed use of the subject property. Provide greater detail in Project Narrative.
Office building, equipment storage, material processing
Operation of excavation business

17. Square footage of new / expanded space: _____ # of new parking spaces 12

18. List the Section(s) of the Zoning Regulations under which application is made: _____

19. Provide all the applicable items for a complete application including a completed Checklist for Site Plan Review and Special Permit Applications. A completed checklist must be provided to comprise a complete application.

20. Applicant's Endorsement:
I am a willful participant and fully familiar with the contents of this application.
Signature [Signature] Date 3-8-2021

21. Owner's Endorsement:
I am a willful participant and fully familiar with the contents of this application.
Signature [Signature] Date 2/9/2021
Duly Authorized

NOTE: If there are any material changes to this application, the Applicant shall immediately notify the Town Staff in writing.
Applicants may be subject to Supplemental Review fees to defray the cost of Professional Review Services such as engineering or legal reviews.

**BOLTON PLANNING & ZONING COMMISSION
CHECKLIST FOR SITE PLAN REVIEW (§ 16A)
AND SPECIAL PERMIT (§ 16B) APPLICATIONS**

March 11, 2009

THIS CHECKLIST MUST BE COMPLETED BY THE APPLICANT OR AN AUTHORIZED REPRESENTATIVE AND SUBMITTED WITH THE APPLICATION.

The Planning and Zoning Commission will use this checklist in determining the completeness or incompleteness of the application. The applicant is responsible for providing all the applicable information on this checklist. The applicant is encouraged to provide any additional information to clearly present a proposed activity and its potential effects on the community. The Commission may require additional information not included in this checklist to determine compliance with the regulations.

AN APPROVAL OF AN APPLICATION COULD BE DENIED IF AN APPLICATION LACKS SUFFICIENT INFORMATION.

Some of the items below are essential for any application while others may not be applicable for a particular proposal. The applicant is encouraged to ask the town staff to review the completed application with all supporting information and the completed checklist, prior to submitting the application to the Planning and Zoning Commission so that the staff can provide the applicant an opinion on the completeness of the application.

Pursuant to Section 16A.2.p, at time of application submission, the applicant may request in writing that the Commission determine that all or a part of the information required under Section 16A.2.c through o. (except subsections e., f., i., and j.) is NOT necessary in order to decide on an application.

Applicants may be subject to supplemental review fees to defray the costs of professional review services such as engineering or legal reviews. Please see attached information sheet.

Name of Development _____

Applicant _____ Date _____

Item	Description	Applicant		Staff	
		Included	Not Included	Completeness Opinion	
				Yes	No
1	Completed, signed application by applicant and owner	✓			
2	Payment of required application fees	✓			
2A	Statement of Use in accordance with § 16A.2.b	✓			
3	All draft deeds for any roads, road widenings and easements for drainage, conservation, driveways, utilities		✓		
4	Evidence of request for approval by the Health District and/or Sewer Authority for review, as appropriate	✓			
5	Evidence of submission of application to the Inland Wetlands Commission if it is within that Commission's jurisdiction	✓			
6	Evidence of submission of a request for review and approval by the Fire Marshal and Fire Chief of the water supply for fire protection		✓		
7	Copies of any required applications to other local, state or federal regulatory approvals		✓		
8	Written evidence of applicant's legal interest in the subject property (deed, lease option to purchase, bond for deed, etc.)		✓		

Item	Description	Applicant		Staff	
		Included	Not Included	Completeness Opinion	
				Yes	No
9	List of mailing address of all current property owners within 500 feet of the subject property, from the Town Assessor records (for special permit only)	✓			
10	List of all hazardous or potentially hazardous materials which will be present on the property with a full description of procedures that will be used to assure safety with the material safety data sheets	✓			
12	Digital copy of plans in DXF or DGN format if available	✓			
13	Paper and digital copies of all reports including hydrology, hydraulic and drainage computations and	✓			
14	14 sets of complete stamped and signed site plans measuring 24" x 36	✓			
	THE FOLLOWING ITEMS 15 THROUGH 51 SHALL BE INCORPORATED IN PLANS				
15	A-2 boundary survey of the subject property showing all existing and proposed boundary lines and markers, easements, adjoining property lines and the names of all current abutting property owners	✓			
16	Names of abutting lot owners	✓			
17	USDA Soils boundaries and types	✓			
18	Plan title block in the extreme lower right corner (not sideways) to include the name of the town of Bolton	✓			
19	All plan sheets numbered with the format "sheet x of y"	✓			
20	Clear legible plans with all lines, symbols and features readily identifiable	✓			
21	North arrow on each plan including the reference meridian	✓			
22	Graphic bar scale on each plan sheet, not smaller than 1"= 40' unless otherwise approved by the Commission	✓			
23	Overall plan of site at a smaller scale, with sheet index, if the site does not fit on one sheet at a scale of 1"=40'	✓			
24	Key map at a scale of 1"= 500' showing the relation of the site to abutting properties and streets, shown on plan and zoning district boundaries within 500' of site	✓			
25	Original and revision plan dates and revision explanations shown on the affected plan sheets	✓			
26	Existing and proposed grading with two foot contours to T-2 standards, for all ground surfaces, shown on plan	✓			
27	Existing and proposed structures and features, their uses and those to be removed, shown on the plan	✓			
28	HVAC equipment located outside the building(s)	✓			
29	Existing and proposed driveway entrances to street, parking, loading areas, fire lanes, sidewalks and construction detail drawings, shown on plan	✓			
30	Sight distances from property entrances along public roads shown on plan and on profile if grading is needed	✓			
31	Soil test locations and soil test results shown on plan	✓			
32	Existing and proposed sewage disposal systems and design information, shown on plan	✓			
33	Outside Storage Areas	✓			

Item	Description	Applicant		Staff	
		Included	Not Included	Completeness Opinion	
				Yes	No
34	Underground / overhead utilities, existing and proposed	✓			
35	Existing and proposed water supply shown on plan	✓			
36	Existing wells and sewage disposal systems on other properties that could conflict with proposed site improvements, shown on plan	✓			
37	Existing and proposed footing drains, curtain drains and dry wells, shown on plan	✓			
38	Existing and proposed drainage systems, any affected floodway or floodplain and construction detail drawings, shown on plan, including base flood elevation and floor elevation data.	✓			
39	Existing and proposed bridges and culverts on or adjacent to the site, shown on plan	✓			
40	Existing and proposed signs with dimensions and construction detail drawings, shown on plan	✓			
41	Existing and proposed fences and walls with dimensions and construction detail drawings, shown on plan	✓			
42	Zoning district boundaries affecting the site, shown on plan	✓			
43	Table shown on plan of zoning dimensions required and provided for lot area, street frontage, lot width, yard setbacks, impervious area, building coverage and the height and floor area of each building	✓			
44	Table on plan of parking / loading spaces required / provided	✓			
45	Fire lanes	✓			
46	Sidewalks and other pedestrian ways	✓			
47	Off-site traffic improvements	✓			
41	Limits of wetlands as delineated by a certified soil scientist with the soil scientist's signed certification, shown on plan or a certification signed by a soil scientist that no wetlands are within 100 feet	✓			
42	Natural features including 100 year flood plain areas, ponds, vernal pools, aquifers, slopes steeper than 25% and potential areas of endangered species, shown on plan	✓			
43	Landscaping plan including the locations, numbers, installed sizes, anticipated mature sizes, species and common names of proposed plants plus cost estimate based on published Connecticut DOT unit prices	✓			
44	Existing trees of 6" caliper or greater	✓			
45	Significant archaeological sites	✓			
46	Lighting plan including the location, size, height, light intensity coverage areas and manufacturer's product descriptions for each light type	✓			
47	Erosion and Sedimentation Control Plan, with narrative and construction detail drawings, in accordance with the latest Connecticut Guidelines for Soil Erosion and Sediment Control	✓			

Item	Description	Applicant		Staff	
		Included	Not Included	Completeness Opinion	
				Yes	No
48	Best management practices to remove contaminants, including sediments and oils, from runoff water, shown on plan, in construct detail drawings, and explained in a report by a qualified professional	✓			
49	Architectural elevation drawings of proposed buildings	✓			
50	Architectural floor plans of existing and proposed buildings	✓			
51	Perspective color drawings or digital views of the site as seen from adjacent roads and from abutting property lines showing the proposed conditions including buildings, landscaping and appurtenant features	✓			
52	Traffic Impact Report for applicable sites as described in Zoning Regulations Section 16A.2.k.	✓			
53	Thorough, well organized drainage design report for before and after development conditions, that conforms to the latest Conn. Dept. of Transportation and Conn. Dept. of Environmental Protection guidelines and requirements with appropriate calculations, maps, graphics and narrative descriptions of hydrology, hydraulics, assumptions, erosion controls, drainage paths and systems for the 1, 2, 10, 50 and 100 year storm events	✓			
54	Statement in drainage report that the after development flows for all storm events do not exceed the before development flows	✓			
55	Sanitary Waste Disposal Plan (if community sewerage system)	✓			
56	Evaluation of the impact of proposed development upon existing and potential public surface and ground drinking water supplies, pursuant to CGS, Section 8-2	✓			
57	Certified copy of Certificate of Public Convenience and Necessity in connection with a "water company", in accordance with CGS, Section 8-25a	✓			
58	Existing and proposed Covenants or Restrictions	✓			
59	Engineer's itemized cost estimate for the installation of all erosion and sediment controls based on published Connecticut DOT unit prices	✓			
60	Engineer's itemized cost estimate for site improvements based on published Connecticut DOT unit prices as basis for the establishment of a completion bond	✓			

REAL ESTATE CONTRACT

1. Parties

Buyer: William R. Phillips (or entity created by William R. Phillips)

Seller: Manchester Medical Supply, Inc.

2. Property. Buyer agrees to purchase from Seller, and Seller agrees to sell to Buyer, certain real property known as **17 Wall Street Bolton, Ct. and 1 Notch Road Bolton, Ct. properties being more fully described as Parcels A,B,C and D attached and shown on map attached.** ("Property").

3. Fixtures and Personal Property. Except as stated below, all fixtures located on the Property are included in this sale, and all personal property located on the Property is excluded from this sale. The following personal property is INCLUDED (NOT APPLICABLE UNLESS FILLED IN):

N/A

The following fixtures are EXCLUDED (NOT APPLICABLE UNLESS FILLED IN):

N/A

4(a),(b),and(c) BELOW ARE NOT APPLICABLE UNLESS FILLED IN

4. Price. The total Purchase Price is \$ ~~999,999~~

Deposit to be held by Seller's Attorney in Trustee Account until transfer of title

5. Closing. The closing will take place as soon as possible upon contingencies being satisfied by Buyer but no later than 10 days after Lot and Site Plan approvals are issued by the Town of Bolton.

The closing will be held at the offices of Buyer's attorney or at such other place mutually agreeable between the parties within the county in which the property is located.

6. Condition of Property. Seller agrees to deliver the Property to Buyer in "AS IS" condition SUBJECT to paragraph #15 herein. Buyer shall have the right to inspect the Property for compliance with this Contract before the closing, upon reasonable notice to Seller.

7. Title. The Seller will transfer fee simple title to the property to Buyer by a Connecticut form Warranty Deed, subject to (a) any and all provisions of any ordinance, municipal regulation, or public or private law; declarations, restrictions, covenants, and easements of record; any state of facts an accurate survey or personal inspection of the Property might reveal; provided that none of the above renders title to the Property unmarketable; (b) current taxes and municipal assessments. Buyer will not assume any outstanding municipal liens that are currently due and owing. If property is found to be unmarketable, for whatever reason based upon the Connecticut Standards of Title, and Buyers will not accept said title that Sellers have, Buyers deposit will be returned and this Contract will become null and void and the obligations of the parties under this Contract shall end. Sellers will not be obligated to initiate a suit (such as a Quit Title action) to clear title and Buyers will not be obligated to buy subject property if there is an issue of marketability.

8. Adjustments. Adjustments for taxes, association fees, rents, water, fire taxes, sewer, interest, fuel, condominium fees, municipal assessments, and other charges will be made as of the date of closing in accordance with the custom of the Bar Association for the county where the Property is located.

9. Possession and Occupancy. At the time of closing, possession and occupancy of the improvements and personal property on the Property included in this Contract shall be delivered to Buyer in the condition they were in on the date of this Contract, subject to ordinary wear and use and free of all tenants and occupants.

10. Risk of Loss. Risk of loss or damage to the Property shall be upon Seller until the closing.

11. Default. If Buyer defaults under this Contract and Seller is not in default, Buyer's deposits shall be retained by Seller as liquidated damages, and Buyer and Seller shall be relieved of further liability to each other under this Contract. If Seller is in default under this Contract and Buyer is not in default, Buyer can use whatever remedy is available to Buyer including but not limited to specific performance. If legal action is brought to enforce any provision of the Contract, the prevailing party shall be entitled to court costs and attorneys' fees.

12. Complete Agreement. This Contract contains the entire agreement between Buyer and Seller concerning this transaction and supersedes any and all previous written or oral agreements concerning the Property.

13. Non-assignability. Buyer shall not assign its rights under this Contract without the written consent of Seller.

14. Survival. This contract shall be binding upon and inure to the benefit of the respective personal representatives, heirs, successors and assigns of Buyer and Seller.

16. Other Conditions. Note and mortgage to be prepared by Seller's Attorney and to be reviewed and accepted by Buyer's Attorney. Note and mortgage will provide for no prepayment penalty. Buyer will sign Note personally and by any entity created by Buyer. Note shall bear interest of 4% and be payable on or before thirty six (36) months from the date of sale.

When signed by Buyer and Seller this is intended to be a legally binding contract. If either party has any questions about any aspect of this transaction, he/she should consult with an attorney before signing this Contract.

17. Execution by Facsimile. The parties agree that this Contract may be transmitted between them by facsimile machine and the parties intend that a faxed Contract containing either the original and/or copies of the signature of all parties shall constitute a binding Contract.

17. Execution by Facsimile. The parties agree that this Contract may be transmitted between them by facsimile machine and the parties intend that a faxed Contract containing either the original and/or copies of the signature of all parties shall constitute a binding Contract.

BUYER



William R. Phillips

Date: 5-12-2020

SELLER



Roger W. Talbot, Jr.
Its Secretary
Duly Authorized

Date: 5/11/2020

BROKER

N/A*

* Seller and Buyer each represent and warrant to the other that no real estate agent or broker was the procuring cause of this transaction and agree to indemnify and hold the other harmless against any claim for fees or commissions relative to this agreement or the transaction contemplated hereby in the event their respective representations contained in this paragraph shall not be true.

BOLTON TOWN OF	222 BOLTON CENTER RD	BOLTON, CT 06043
CONNECTICUT STATE OF	79 ELM ST	HARTFORD, CT 06106
CARBONE DEBORAH	15 NOTCH RD	BOLTON, CT 06043
BROWN BELGIN M & BROWN MARCUS C	16 NOTCH RD	BOLTON, CT 06043
CT HOME REMODELERS LLC	PO BOX 333	EAST GLASTONBURY, CT 06025
MCINERNEY DAVID	19 COOK DR	BOLTON, CT 06043
STEARNS BARRY E & KATHLEEN	21 COOK DR	BOLTON, CT 06043
LAVIGNE JOSEPH M	10 COOK DRIVE	BOLTON, CT 06043
VERRASTRO KENNETH F	6 COOK DR	BOLTON, CT 06043
FAULKNER JOSEPH & YOLANDE A & SURV	12 NOTCH RD	BOLTON, CT 06043
CONNECTICUT STATE OF	79 ELM	HARTFORD, CT 06106
MANCHESTER MEDICAL SUPPLY INC	P O BOX 8385	MANCHESTER, CT 06040
LITVINCHYK BRUCE	11 NOTCH RD	BOLTON, CT 06043
HOWARD JAMES & MARION A	14 WALL ST	BOLTON, CT 06043
BOLTON TOWN OF	222 BOLTON CENTER RD	BOLTON, CT 06043
COOK DRIVE WATER ASSOCIATION INC	21 COOK DR	BOLTON, CT 06043
SKORTON SEAN D	17 KAROSI RD	ASHFORD, CT 06278
SKORTON SEAN D	17 KAROSI RD	ASHFORD, CT 06278
ZDROJOWY IRENE M	5 NOTCH RD EXT	BOLTON, CT 06043
BERRY STEPHANIE	7 COOK DRIVE	BOLTON, CT 06043
MORIANOS JOHN J JR	9 COOK DR	BOLTON, CT 06043
PROSPECT APARTMENTS LLC	17 SUNSET LN	BOLTON, CT 06043
CONNECTICUT STATE OF	79 ELM ST	HARTFORD, CT 06106
PEARSALL DAVID W	15 WALL ST	BOLTON, CT 06043
BOLTON TOWN OF	222 BOLTON CENTER RD	BOLTON, CT 06043
SACCOCCIO VICTORIA L	7 NOTCH RD EXT	BOLTON, CT 06043
IRISH EDWARD N & KAREN A	9 NOTCH RD EXT	BOLTON, CT 06043
OSTAFIN DAVID M	1 WALL ST	BOLTON, CT 06043
CONNECTICUT STATE OF	79 ELM	HARTFORD, CT 06106
HOWARD JAMES & MARION A &	14 WALL ST	BOLTON, CT 06043
DUBOIS THOMAS J & DUBOIS MICHELLE M	24 NOTCH RD	BOLTON, CT 06043
ROY NICHOLAS D	20 NOTCH RD	BOLTON, CT 06043
MANCINI JON A & KATHLEEN O	11 COOK DR	BOLTON, CT 06043
DENUNZIO DIANE D	2 WALL ST	BOLTON, CT 06043

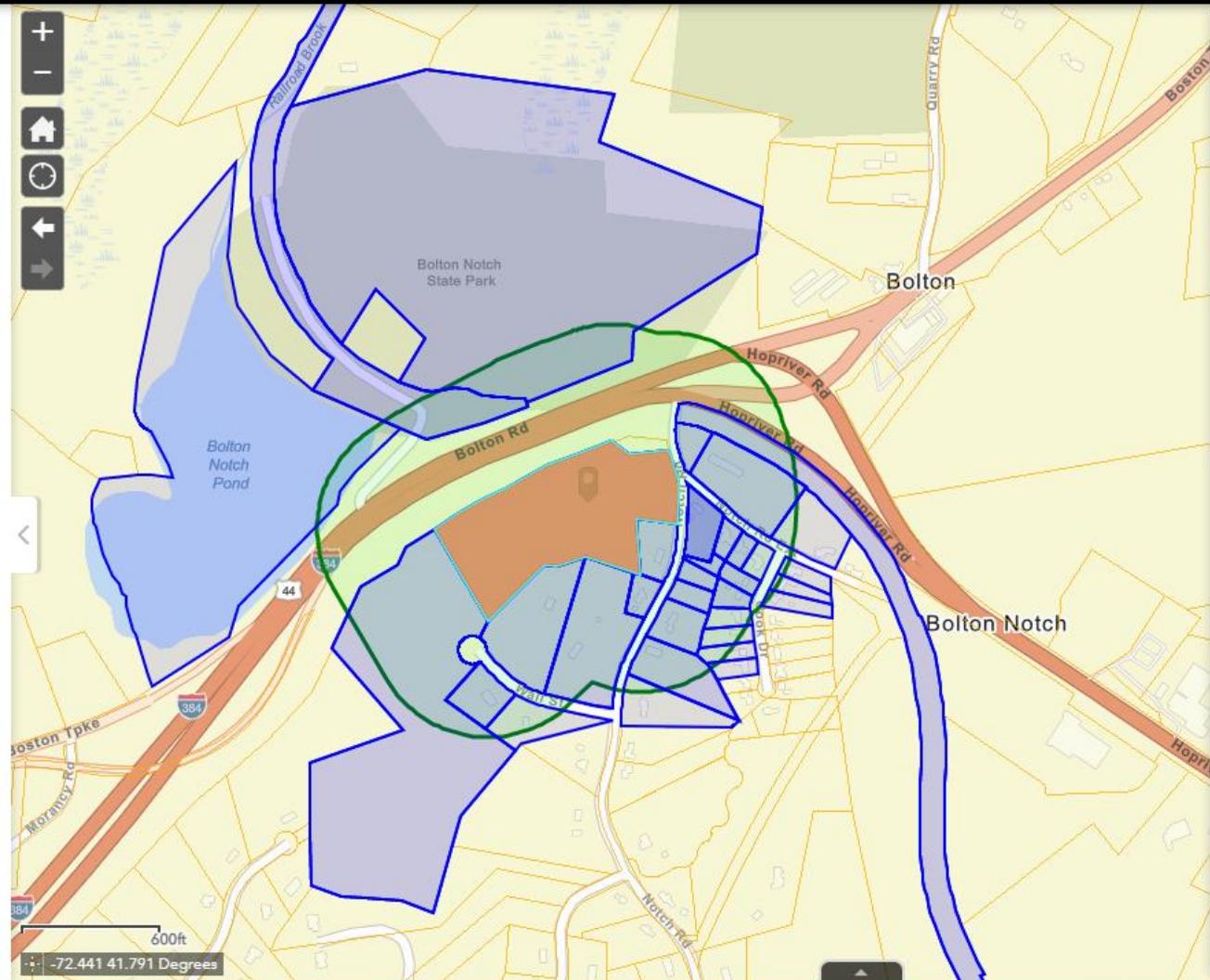
BEAUDOIN RONALD A

2 COOK DR

BOLTON, CT 06043

CRCOG Tax Parcel Viewer

- Result_Query result
- Tax Parcels
- Quick Maps



Public Notification

Select or search for a feature in the map

Apply a search distance

500 Feet

Addressee Layer: Parcel_poly - Operational_Parcels

Format: Comma-separated values

35 addressees found; do you want to continue?

[Download](#)

LANDIE CONSTRUCTION, INC.

21 Clark Road, Bolton, CT 06043
Tel: 860-646-43015 Fax: 860-646-1347
CT P7 Lic. No. 0284144
CT Sub-Surface Lic. No. 003666

NARRATIVE

PROPOSED ACTIVITY FOR 1 NOTCH ROAD

1. Landie Construction, LLC. is an excavation and trucking company that has been doing business in Bolton for several years.
2. Its primary hours of operation are Monday through Friday between the hours of 7am to 5pm. There are occasions when the business is operated during the evening, on a Saturday and /or a Sunday but only in the case of an emergency or other urgent matter. Weekend and evening work is highly unusual.
3. Landie Construction, LLC. employs eight people. It is anticipated that at the most, four employees will commence their workday at the Notch Road location. [Employee parking shall be on site, and within the fenced area, off of the street.] All Landie Construction, LLC., employees shall be informed as to speed limits and other traffic restrictions on Notch Road. The employees will know that strict adherence to these limits and regulations is an absolute requirement. The truck operators may employ their trucks' JAKE brakes on an as needed basis.
4. Landie Construction, LLC., currently owns the following vehicles and equipment:
 - 2-TriAxle Dump Trucks 16yards
 - 1- 10 Wheel Dump Truck 12 yards
 - 2- 6 Wheel Dump Trucks 6 yards
 - 1- Peterbilt Tractor w/ low boy trailer
 - 1- Dump trailer
 - 2- Equipment trailers
 - 2- F250 Pick Up Trucks
 - 1- F150 Pick Up Truck
 - 1- Silverado Pick Up Truck
 - Excavators
 - Bulldozer
 - Loader

Some vehicles may be kept at the quarry site overnight, other vehicles and equipment may be kept at job sites and other locations.

Equipment and vehicle maintenance shall not occur at this location.

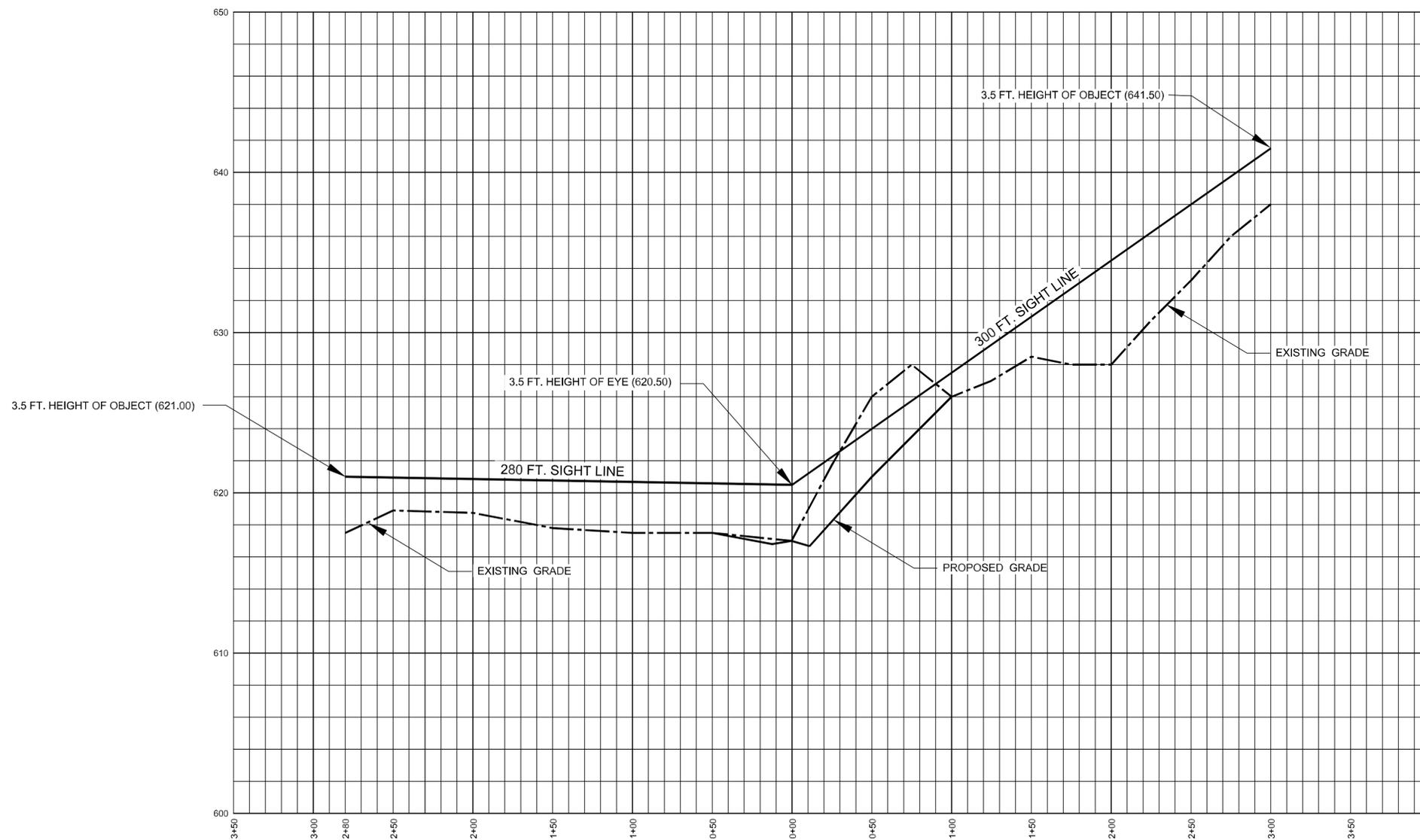
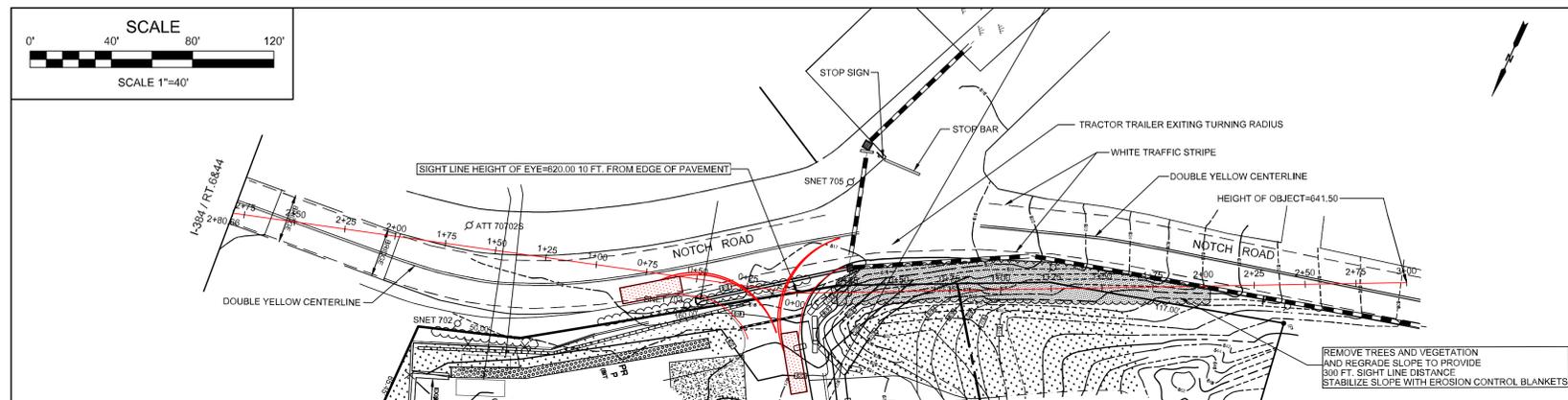
5. DAILY ACTIVITY PROFILE:

Landie Construction, LLC. anticipates incoming/outgoing traffic daily between 7am - 4:30pm. Equipment and trucks usually leave the yard by 7:30 AM and return between early afternoon to 4:30pm. There will be days when trucks may be in and out of the location between 3-4 times a day dropping off or picking up materials. Likewise, there will be days when the ingress and egress will be light with little to no activity. Truck activity will not be limited to Landie Construction, LLC. employees. There will be occasions when other trucking and excavation companies will use the location to pick up or drop off materials. There will be Landie Construction, LLC. employees in and out during the course of the day, sometimes in their personal vehicles, or in the company's pick-up trucks or smaller cab-over trucks.

6. Landie Construction, LLC. shall also engage in the business of processing materials. Landie Construction, LLC. rents processing equipment which shall be brought to the location. Generally, the equipment is the quieter belt driven equipment, and it will be located on the site at a location furthest away from the residences. It is anticipated that processing shall occur no more than four (4) times annually, and for multiple days during the week (generally no more than 4 days.) Landie Construction, LLC. will process materials between the hours of 8:30am and 4:00pm. Processing shall not occur on weekends. Landie Construction, LLC. representatives shall contact the Town of Bolton's Zoning Enforcement Officer at least 48 hours prior to the commencement of any processing to inform him/her that the processing will be starting.
7. Winter snow plowing shall not commence from the Notch Road location. No materials associated with snow plowing and ice control shall be stored at this location.
8. Landie Construction, LLC., shall store only clean materials at this location. There shall be no storage of hazardous materials at this location.
9. Landie Construction, LLC., shall employ the appropriate measures to keep the production of material dust to a minimum. Landie shall maintain a water source, on site for use to wet down materials and trucks so as to minimize dust production.
10. Landie Construction, LLC., to the extent possible, shall employ all appropriate measures to minimize noise pollution. (Please note this property's location at the intersection of routes 6, 44 and 384.)

3

11. Landie Construction, LLC., shall provide security lighting at this location per the lighting plan submitted with the site plan. Lighting shall be kept at a minimum per the lighting plan.
12. Landie Construction, LLC., shall maintain appropriate fencing and landscaping around this location. Both shall be maintained so as to be aesthetically appropriate for the neighborhood.



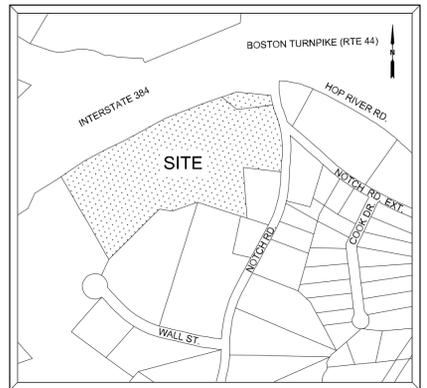
INTERSECTION I-384 2+80

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

ANDREW F. BUSHNELL P.E. L.S. 24591
 THIS MAP IS NOT VALID UNLESS IT BEARS THE EMBOSSED SEAL OF THE LICENSED LAND SURVEYOR WHOSE REGISTRATION NUMBER AND SIGNATURE APPEAR ABOVE.

UTILITIES SHOWN ON THIS MAP WERE DERIVED FROM FIELD LOCATIONS AND EXISTING MAPPING CONTRACTOR TO VERIFY LOCATIONS AND DEPTH IN THE FIELD PRIOR THE START OF ANY CONSTRUCTION. "CALL BEFORE YOU DIG (1-800-922-4455)."

PLAN PREPARED FOR			
LANDIE CONSTRUCTION			
17 WALL STREET		BOLTON, CT.	
SITE LINE PLAN			
SCALE: 1"=40'	DATE: 10/8/2020	FILE NO. 2017-1	SHEET: 1 OF 1
BUSHNELL ASSOCIATES LLC. CIVIL ENGINEERING AND LAND SURVEYING			
563 WOODBRIDGE STREET		MANCHESTER, CT. 06042	
860-643-7875			
REVISIONS: 3/1/2021			



KEY MAP
SCALE 1"=400'

- SURVEY NOTES:
- 1.) THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES' MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS, AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS INC. ON AUGUST 28, 2019. IT IS A GENERAL LOCATION SURVEY MAP BASED ON A RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS D AND TOPOGRAPHICAL SURVEY ACCURACY CLASS T-D. THIS MAP WAS PREPARED FROM RECORD RESEARCH, OTHER MAPS, AND OTHER SOURCES. IT IS NOT TO BE CONSTRUED AS A PROPERTY BOUNDARY OR LIMITED PROPERTY/BOUNDARY SURVEY AND IS SUBJECT TO SUCH FACTS AS SAID SURVEYS MAY DISCLOSE THE INTENT OF THIS MAP IS TO DEPICT THE LOCATION OF THE EXISTING SITE FEATURES AND PROPOSED IMPROVEMENTS SHOWN WITH RESPECT TO THE APPLICABLE MUNICIPAL OR STATUTORY REQUIREMENTS TO OBTAIN A SEPTIC REPAIR PERMIT. THIS MAP IS BE USED FOR THE STATED INTENT AND FOR THE PARTIES THE PLAN HAS BEEN PREPARED FOR ONLY. ANY USE OF THIS PLAN FOR OTHER USES OR BY OTHER PARTIES WILL RENDER ANY CERTIFICATIONS CONTAINED HEREON NULL AND VOID. ANY MODIFICATIONS TO THIS PLAN NOT COMPLETED BY BUSHNELL ASSOCIATES LLC WILL RENDER ANY CERTIFICATIONS CONTAINED HEREON NULL AND VOID.
 - 2.) TOPOGRAPHY DEPICTED WAS FIELD DERIVED BY BUSHNELL ASSOCIATES LLC. USING AN ASSUMED DATUM AND BENCHMARK SHOWN.
 - 3.) THE PORTION OF THE PROPERTY SHOWN IS LOCATED IN AN INDUSTRIAL ZONE.
 - 4.) THE WETLAND BOUNDARIES SHOWN WERE FIELD DELINEATED BY RICHARD SNARSKI SOIL SCIENTIST AND FIELD LOCATED BY BUSHNELL ASSOCIATES LLC.
 - 5.) PROPERTY IS NOT LOCATED IN A FLOOD HAZARD ZONE A PER FIRM FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 090109001B EFFECTIVE DATE JUNE 1, 1981.
 - 6.) THE PROPERTY IS SHOWN AS AN AREA OF STATE AND FEDERAL LISTED SPECIES ON THE CONNECTICUT DEPARTMENT OF ENERGY & ENVIRONMENTAL PROTECTION BUREAU OF NATURAL RESOURCES WILDLIFE DIVISION NATURAL DIVERSITY DATA BASE JUNE 2020 MAPPING.

- MAP REFERENCES:
- 1.) UPDATE MAP BOLTON NOTCH QUARRY PREPARED FOR AMERICAN HERITAGE STONE, INC. BOLTON, CONN. REVISED TO 3-21-90 DRAWN BY: HL DATE 11-28-89 SCALE 1"=40'
 - 2.) SURVEY PREPARED FOR HENRY E. GONDER NOTCH ROAD BOLTON, CONN SCALE: 1"=40' DEC. 23, 1975 WILLIAM W. SYMONDS, SR LAND SURVEYOR
 - 3.) NEW YORK NEW HAVEN & HARTFORD RAILROAD OFFICE OF ENGINEER - REAL ESTATE LAND IN BOLTON, CONN. TO BE CONVEYED TO GERTRUDE E. PATNODE SCALE 1"=40' SEPT. 1960
 - 4.) PREPARED FOR BOX MOUNTAIN QUARRIES, INC. BOLTON CONN. MEGSON & HEAGLE CIVIL ENGINEERS & LAND SURVEYORS GLASTONBURY, CONN. DATE 3-25-83 SCALE 1"=40' JOB NO. 23-83-1A
- CONSTRUCTION NOTES:
- 1.) OWNER OR CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 - 2.) OWNER OR CONTRACTOR TO VERIFY ALL DIMENSIONS AND INFORMATION CONTAINED ON THIS PLAN PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.

THE WESTERN AREA OF THE PROPOSED DEVELOPMENT IS PRESENTLY INACCESSIBLE FOR SURVEY PURPOSES. THE TOPOGRAPHY AND EDGE OF VERTICAL ROCK CUT SHOWN AREA APPROXIMATE. MODIFICATION TO THE SITE PLAN MAYBE REQUIRED AFTER THIS AREA BECOMES ACCESSIBLE AND A MORE ACCURATE SURVEY CAN BE COMPLETED.

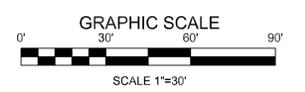
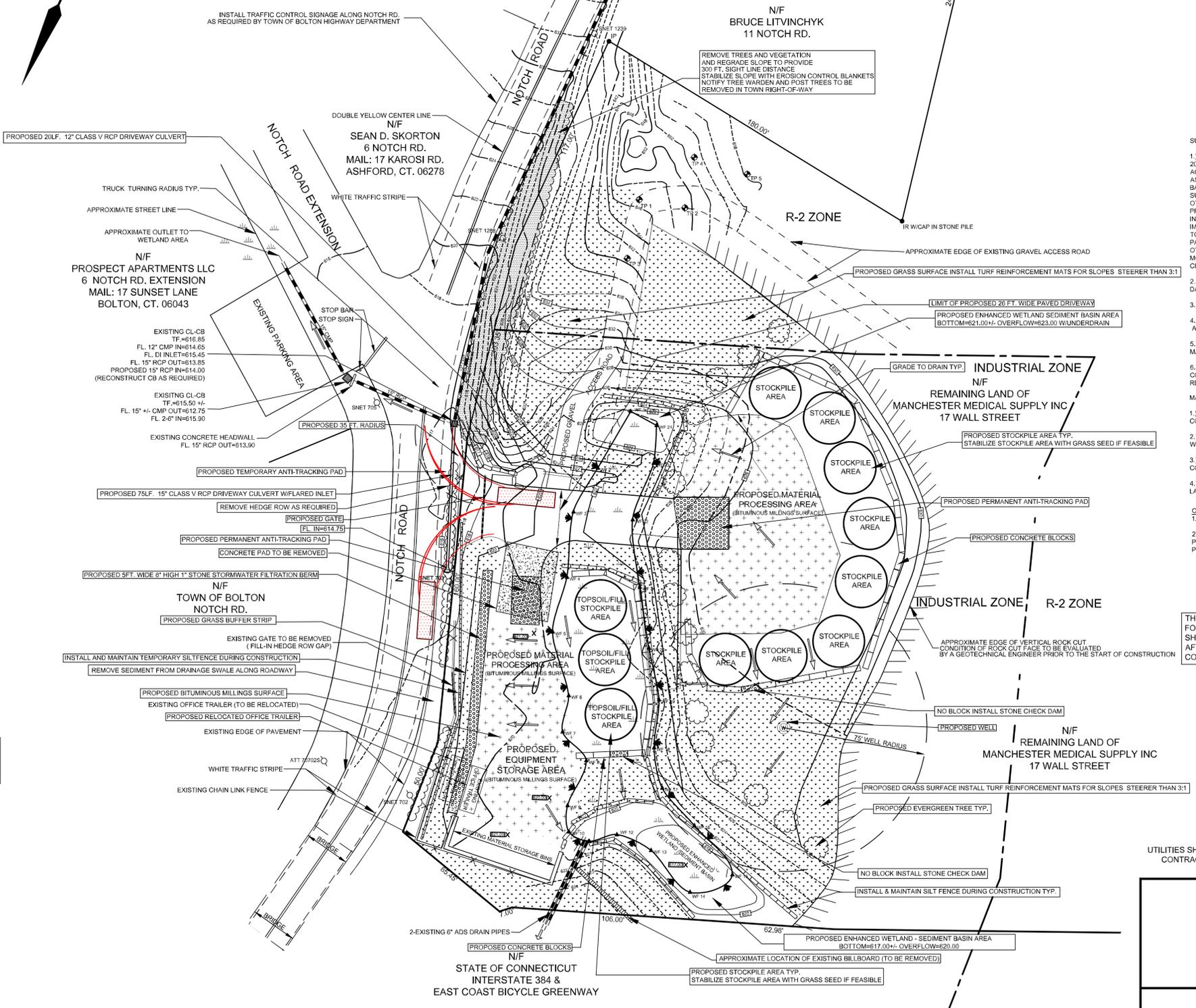
- EROSION AND SEDIMENTATION CONTROL MAINTENANCE PLAN:
- (ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL.)
- 1.) INSPECT ANTI-TRACKING PADS ON A WEEKLY BASIS. REJUVEANATE OR ADD STONE AS REQUIRED.
 - 2.) USE CALCIUM CHLORIDE AND WATER STORED IN ON-SITE CISTERNS OR FROM ON-SITE WELL FOR DUST CONTROL AS NEEDED.
 - 3.) STABILIZE STOCKPILES WITH GRASS COVER WHEN POSSIBLE.
 - 4.) INSPECT CLEAN AND REJUVEANATE STONE STORMWATER FILTRATION BERM EVERY 3 MONTHS.
 - 5.) INSPECT DRAINAGE SWALE AND CATCHBASIN ALONG NOTCH RD. EVERY 3 MONTHS. REMOVE SEDIMENT BUILD-UP AS NECESSARY.
 - 6.) MOW AND FERTILIZE GRASS BUFFER STRIP ON A REGULAR BASIS AS NEEDED.
 - 7.) INSPECT ENHANCED WETLAND / SEDIMENTATION BASIN AREAS EVERY 6 MONTHS. REMOVE EXCESSIVE SEDIMENT BUILD-UP AS NECESSARY.

- EMERGENCY SPILL RESPONSE PLAN:
- (DIESEL FUEL, HYDRAULIC OIL, ENGINE OIL & CLEANING COMPOUNDS)
(EMERGENCY SPILL KIT TO BE AVAILABLE ON-SITE)
- 1.) NOTIFY PEOPLE IN THE IMMEDIATE AREA TO MOVE AWAY.
 - 2.) WEAR APPROPRIATE PERSONAL PROTECTION (PPE) SUCH AS GLOVES, GOGGLES AND APRONS TO PREVENT EXPOSURE AND MINIMIZE CONTAMINATION.
 - 3.) USING THE ABSORBENT MATERIAL CONFINE THE SPILL. IF THIS CAN BE DONE WITHOUT THE RISK OF INJURY.
 - 4.) PREVENT MATERIAL FROM ENTERING INTO ANY NEARBY STORM OR SANITARY DRAIN BY BLOCKING THE DRAIN.
 - 5.) CLEAN UP SPILL BY WORKING FROM THE OUTSIDE OF THE SPILL TOWARD THE CENTER TO MINIMIZE SPREAD OF CONTAMINATION.
 - 6.) BE SURE TO ALLOW ADEQUATE CONTACT TIME FOR COMPLETE ABSORPTION OF THE FLUID.
 - 7.) CLEAN UP THE ABSORBENT CONTENT AND PLACE INTO A PLASTIC BAG OR PROPER CONTAINER.
 - 8.) PROPERLY PLACE SPILL CLEANUP DEBRIS IN A CONTAINER AND ARRANGE FOR PROPER DISPOSAL.
 - 9.) WASH HANDS AND OTHER EXPOSED SKIN AFTER COMPLETING CLEAN-UP.
 - 10.) RESTOCK MATERIAL USED IN THE SPILL KIT.
 - 11.) INVESTIGATE SOURCE OF THE SPILL AND METHODS TO PREVENT FUTURE INCIDENTS.

AREA OF WETLANDS ELIMINATED: 8,284 SQ. FT. 0.19 ACRES +/-
AREA OF WETLANDS ENHANCED: 1,570 SQ. FT. 0.04 ACRES +/-

LEGEND

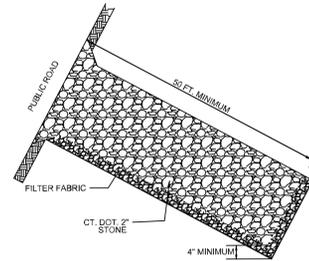
- EXISTING MERESTONE
- IRON ROD TO BE SET
- EXISTING IRON ROD
- PROPOSED WELL
- PROPOSED SILT FENCE/ LIMIT OF DISTURBANCE
- LIMIT OF DISTURBANCE
- STONE WALL
- EXISTING UTILITY POLE
- PROPOSED SPOT GRADE
- EXISTING SPOT GRADE
- 604 --- EXISTING CONTOUR
- 603 --- PROPOSED CONTOUR
- TEST HOLE
- ▲ PERC PERCOLATION TEST
- ▲ EDGE OF FIELD LOCATED WETLANDS
- ▲ WF 20 WETLANDS FLAG
- PROPOSED UNDERGROUND UTILITIES



UTILITIES SHOWN ON THIS MAP WERE DERIVED FROM FIELD LOCATIONS AND EXISTING MAPPING CONTRACTOR TO VERIFY LOCATIONS AND DEPTH IN THE FIELD PRIOR THE START OF ANY CONSTRUCTION. "CALL BEFORE YOU DIG (1-800-922-4455)."

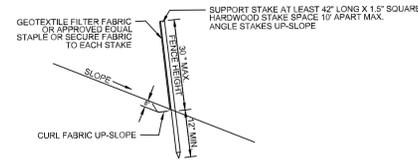
PLAN PREPARED FOR			
LANDIE CONSTRUCTION			
17 WALL STREET		BOLTON, CT.	
SITE PLAN			
SCALE: 1"=30'	DATE: 2/20/2020	FILE NO. 2017-1	SHEET: 1 OF 2
BUSHNELL ASSOCIATES LLC.			
CIVIL ENGINEERING AND LAND SURVEYING			
563 WOODBRIDGE STREET		MANCHESTER, CT. 06042	
		860-643-7875	
REVISIONS: 5/18/2020, 7/16/2020, 7/23/2020, 8/12/2020, 9/1/2020, 10/8/2020, 11/10/2020, 3/1/2021, 4/29/2021			

- CONSTRUCTION NOTES:**
- 1.) OWNER OR CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 - 2.) OWNER OR CONTRACTOR TO VERIFY ALL DIMENSIONS AND INFORMATION CONTAINED ON THIS PLAN PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.
 - 3.) PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY ALL BOUNDARY MARKERS SHALL BE SET BY A LICENSED LAND SURVEYOR.
 - 4.) PRESERVE ANY EXISTING STONE WALLS WHEREVER POSSIBLE.
 - 5.) ANY TREES TO BE REMOVED IN THE TOWN RIGHT OF WAY SHALL BE POSTED BY THE TREE WARDEN PRIOR TO REMOVAL.
 - 6.) ALL PROPOSED UTILITIES LOCATIONS SHALL BE APPROVED BY THE LOCAL UTILITY COMPANIES PRIOR TO THE START OF CONSTRUCTION.



ANTI-TRACKING CONSTRUCTION ENTRANCE
NOT TO SCALE

- EROSION CONTROL CONSTRUCTION SEQUENCE PLAN HOUSE LOT DEVELOPMENT**
NOTE: ALL EROSION AND SEDIMENT CONTROL ACTIVITIES SHALL CONFORM TO THE METHODS OUTLINED IN THE 2002 CONNECTICUT GUIDELINES FOR EROSION AND SEDIMENT CONTROL MANUAL.
- 1.) COORDINATE MARKING OF LIMITS OF DISTURBANCE BY A LICENSED LAND SURVEYOR. SUPPLY TOWN EROSION CONTROL OFFICER WITH A LETTER FROM THE SURVEYOR CERTIFYING THE LIMITS OF DISTURBANCE WERE MARKED IN ACCORDANCE WITH THE APPROVED PLAN.
 - 2.) CLEAR TREES AS REQUIRED.
 - 3.) PRIOR TO SOIL DISTURBANCE INSTALL EROSION CONTROL MEASURES, SILT FENCE AND ANTI-TRACKING PAD (SEE PLAN DETAILS AND LOCATIONS). ADDITIONAL MEASURES MAY BE REQUIRED AS SITE CONDITIONS REQUIRE. COORDINATE AN INSPECTION OF INSTALLED MEASURES WITH THE EROSION CONTROL OFFICER. SUPPLY THE TOWN OF BOLTON EROSION CONTROL OFFICER WITH THE NAME AND PHONE NUMBER OF A CONTACT PERSON RESPONSIBLE FOR THE EROSION CONTROL MEASURES.
 - 3.) PERIODICALLY AND AFTER LARGE RAIN EVENTS INSPECT EROSION CONTROL MEASURES AND REPAIR AS NECESSARY.
 - 4.) GRUB AND STRIP TOPSOIL. STOCKPILE TOPSOIL IN AREAS INDICATED ON THE APPROVED PLAN.
 - 5.) CONSTRUCT AND STABILIZE DRIVEWAY.
 - 6.) CONSTRUCT HOUSE, WELL, DRIVEWAY, SEPTIC SYSTEM AND OTHER IMPROVEMENTS AS SHOWN.
 - 7.) SPREAD STOCKPILED TOPSOIL. MACHINE RAKE, FERTILIZE, SEED AND MULCH DISTURBED AREAS. USE GRASS SEED THAT IS ACCEPTABLE FOR THE SITE CONDITIONS (I.E. SUN OR SHADE) AND THE SEASON OF THE YEAR IN WHICH THIS ACTIVITY IS COMPLETED. PROVIDE TEMPORARY STABILIZATION OF THE SITE (I.E. STRAW OR HAY ETC.) IF THE TOPSOIL IS SPREAD DURING A TIME OF YEAR WHEN GRASS SEED WILL NOT GERMINATE. PROVIDE PERMANENT STABILIZATION WHEN WEATHER CONDITIONS ALLOW.
 - 8.) REMOVE EROSION CONTROL MEASURES AFTER THE SITE HAS BECOME FULLY ESTABLISHED.
 - 9.) ANY EXISTING DISTURBED AREAS MUST BE SEEDED WITH PERMANENT OR TEMPORARY GROUND COVER AND MULCHED BY OCTOBER 15.
 - 10.) DEWATERING OPERATIONS, IF REQUIRED, SHALL UTILIZE A CRUSHED STONE INTAKE SUMP AND A TEMPORARY OUTLET SILT POOL LOCATED WITHIN THE LIMITS OF DISTURBANCE.

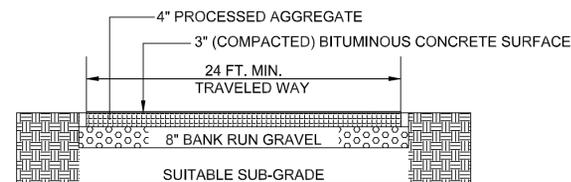


SILT FENCE DETAIL
NOT TO SCALE

SITE SEEDING NOTES:
PREPARATION: FINE GRADE AND RAKE SOIL SURFACE TO REMOVE STONES LARGER THAN 2" IN DIAMETER. INSTALL SEEDED EROSION CONTROL DEVICES SUCH AS SURFACE WATER DIVERSIONS AS REQUIRED. APPLY LIMESTONE AT A RATE OF 2 TONS/AC. OR 90 LBS./1000 SQ.FT. FERTILIZE WITH 10-10-10 AT A RATE OF 300 LBS./AC. OR 7.5 LBS. PER 1000 SQ.FT. WORK LIME AND FERTILIZER INTO SOIL UNIFORMLY TO A DEPTH OF 4".

SEED APPLICATION: APPLY SEED MIXTURE FROM THE CHART BELOW BY HAND, CYCLONE SEEDER OR HYDRO SEEDER. INCREASE SEED MIXTURE BY 10% IF HYDRO SEEDER IS USED. LIGHTLY DRAG OR ROLL THE SEEDED SURFACE TO COVER SEED. SEEDING SHOULD BE DONE BETWEEN THE TIMES SHOWN ON THE CHART BELOW. IF SEEDING CANNOT BE DONE DURING THESE TIMES, REPEAT MULCHING PROCEDURE BELOW UNTIL SEEDING CAN TAKE PLACE.

MULCHING: IMMEDIATELY FOLLOWING SEEDING, MULCH THE SEED SURFACE WITH STRAW OR HAY AT A RATE OF 2 TO 3 TONS/AC. SPREAD MULCH BY HAND OR MULCH BLOWER. PUNCH MULCH INTO SOIL SURFACE WITH A TRACK MACHINE OR DISK HARROW SET STRAIGHT UP. IF USING HYDRO SEED MIX USE TACTIFIER ADDITIVES TO ADHERE MULCH MATERIAL TO THE SURFACE.



PAVED DRIVEWAY DETAIL (12% MAX GRADE)
NOT TO SCALE

SEED SELECTION:	LB/1000 SQ. FT.	SEED MIXTURE	RECOMMENDED SEEDING DATES
PERMANENT LAWN	0.45	KENTUCKY BLUEGRASS	4/1-8/15
	0.45	CREeping RED FESCUE	8/15-10/1
	0.10	PERENNIAL RYEGRASS	
SLOPES & COARSE LAWN	0.45	CREeping RED FESCUE	4/1-8/15
	0.05	RED TOP	8/15-10/1
	0.45	TALL FESCUE	
SLOPES (NO MOWING)	1.8	CREeping RED FESCUE	4/1-8/15
	0.2	RED TOP	8/15-10/1
TEMPORARY COVER	3.0	WINTER RYE	4/15-6/15, 8/15-10/15
	1.0	OR ANNUAL RYEGRASS	3/1-8/15, 8/1-10/15

IF SEED IS PLANTED OUTSIDE THE RECOMMENDED SEEDING DATES IRRIGATION MAYBE REQUIRED AT A UNIFORM APPLICATION RATE OF 1 TO 2 INCHES OF WATER APPLIED PER APPLICATION, SOAKING THE GROUND TO A DEPTH OF 4 INCHES.

TEST PITS OBSERVED BY:
THAD KING MPH REHS RS
EASTERN HIGHLANDS HEALTH DISTRICT
FEBRUARY 4, 2020

TEST PIT 1
0-4" TOPSOIL
4-24" BROWN FINE SANDY LOAM
24-72" COMPACT GREY/BROWN SANDY HARDPAN
MOTTLING NONE
SEEPAGE NONE
LEDGE 72"

TEST PIT 2
0-27" TOPSOIL AND FILL
27-32" ORIGINAL TOPSOIL
30-72" BROWN FINE SANDY LOAM
NATURALLY OCCURRING SOIL FROM 27"-72"
MOTTLING @ 25"
SEEPAGE NONE
LEDGE NONE

TEST PIT 3
0-6" TOPSOIL
6-52" BROWN FINE SANDY LOAM
52-88" BROWN SILTY SAND COMPACT
NATURALLY OCCURRING SOIL AT 88"
ORANGE/BROWN FINE SANDY LOAM
MOTTLING NONE
SEEPAGE NONE
LEDGE NONE

TEST PITS OBSERVED BY:
ANDREW BUSHNELL PELS.
BUSHNELL ASSOCIATES LLC.
SEPTEMBER 4, 2020

TEST PIT 4
0-4" TOPSOIL
4-30" FILL
30-36" BURIED TOPSOIL
36-130" BROWN FINE SANDY LOAM ROCKY
MOTTLING NONE
SEEPAGE NONE
LEDGE 130"
ROOTS TO 45"

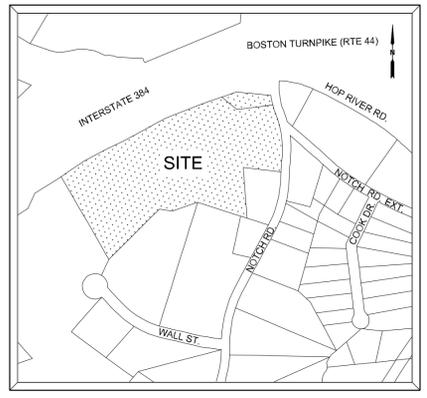
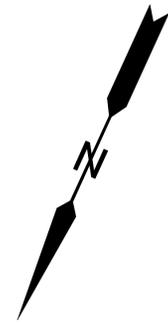
TEST PIT 5
0-4" TOPSOIL
4-46" BROWN FINE SANDY LOAM STONEY
46-125" COMPACT TILL & DECOMPOSED ROCK
MOTTLING NONE
SEEPAGE NONE
LEDGE NONE

SOIL PERCOLATION TEST RESULTS
PERFORMED BY: THAD KING MPH REHS RS
EASTERN HIGHLANDS HEALTH DISTRICT
JULY 23 2020
PRE-SOAK 2+ HOURS
18" DEEP HOLE

TIME	READING (IN.)	DIFFERENCE (IN.)
12:45	7 1/2	-
12:50	8 3/4	1 1/4
12:55	9 1/2	3/4
1:00	10 1/4	3/4
1:05	10 5/8	3/8
1:10	11	3/8
1:15	11 1/2	1/2
1:20	12	1/2

PERCOLATION RATE = 1-10 MIN./IN.

PLAN PREPARED FOR			
LANDIE CONSTRUCTION			
17 WALL STREET		BOLTON, CT.	
CONSTRUCTION / E&S/ SEPTIC DETAILS			
SCALE: NONE	DATE: 9/2/2020	FILE NO. 2017-1	SHEET: 2 OF 2
BUSHNELL ASSOCIATES LLC.			
CIVIL ENGINEERING AND LAND SURVEYING			
563 WOODBRIDGE STREET		MANCHESTER, CT. 06042	
860-643-7875			
REVISIONS: 10/8/2020, 11/10/2020, 3/1/2021			



KEY MAP
SCALE 1"=400'

- SURVEY NOTES:**
- 1.) THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES' MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS, AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS INC. ON AUGUST 28, 2019. IT IS A GENERAL LOCATION SURVEY MAP BASED ON A RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS D AND TOPOGRAPHICAL SURVEY ACCURACY CLASS T-D. THIS MAP WAS PREPARED FROM RECORD RESEARCH, OTHER MAPS, AND OTHER SOURCES. IT IS NOT TO BE CONSTRUED AS A PROPERTY BOUNDARY OR LIMITED PROPERTY/BOUNDARY SURVEY AND IS SUBJECT TO SUCH FACTS AS SAID SURVEYS MAY DISCLOSE THE INTENT OF THIS MAP IS TO DEPICT THE LOCATION OF THE EXISTING SITE FEATURES AND PROPOSED IMPROVEMENTS SHOWN WITH RESPECT TO THE APPLICABLE MUNICIPAL OR STATUTORY REQUIREMENTS TO OBTAIN A SEPTIC REPAIR PERMIT. THIS MAP IS BE USED FOR THE STATED INTENT AND FOR THE PARTIES THE PLAN HAS BEEN PREPARED FOR ONLY. ANY USE OF THIS PLAN FOR OTHER USES OR BY OTHER PARTIES WILL RENDER ANY CERTIFICATIONS CONTAINED HEREON NULL AND VOID. ANY MODIFICATIONS TO THIS PLAN NOT COMPLETED BY BUSHNELL ASSOCIATES LLC WILL RENDER ANY CERTIFICATIONS CONTAINED HEREON NULL AND VOID.
 - 2.) TOPOGRAPHY DEPICTED WAS FIELD DERIVED BY BUSHNELL ASSOCIATES LLC. USING AN ASSUMED DATUM AND BENCHMARK SHOWN.
 - 3.) THE PORTION OF THE PROPERTY SHOWN IS LOCATED IN AN INDUSTRIAL ZONE.
 - 4.) THE WETLAND BOUNDARIES SHOWN WERE FIELD DELINEATED BY RICHARD SNARSKI SOIL SCIENTIST AND FIELD LOCATED BY BUSHNELL ASSOCIATES LLC.
 - 5.) PROPERTY IS NOT LOCATED IN A FLOOD HAZARD ZONE A PER FIRM FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 0901090001B EFFECTIVE DATE JUNE 1, 1981.
 - 6.) THE PROPERTY IS SHOWN AS AN AREA OF STATE AND FEDERAL LISTED SPECIES ON THE CONNECTICUT DEPARTMENT OF ENERGY & ENVIRONMENTAL PROTECTION BUREAU OF NATURAL RESOURCES WILDLIFE DIVISION NATURAL DIVERSITY DATA BASE JUNE 2020 MAPPING.

- MAP REFERENCES:**
- 1.) UPDATE MAP BOLTON NOTCH QUARRY PREPARED FOR AMERICAN HERITAGE STONE, INC. BOLTON, CONN. REVISED TO 3-21-90 DRAWN BY: HL DATE 11-28-89 SCALE 1"=40'
 - 2.) SURVEY PREPARED FOR HENRY E. GONDER NOTCH ROAD BOLTON, CONN SCALE: 1"=40' DEC. 23, 1975 WILLIAM W. SYMONDS, SR LAND SURVEYOR
 - 3.) NEW YORK NEW HAVEN & HARTFORD RAILROAD OFFICE OF ENGINEER - REAL ESTATE LAND IN BOLTON, CONN. TO BE CONVEYED TO GERTRUDE E. PATNODE SCALE 1"=40' SEPT. 1960
 - 4.) PREPARED FOR BOX MOUNTAIN QUARRIES, INC. BOLTON CONN. MEGSON & HEAGLE CIVIL ENGINEERS & LAND SURVEYORS GLASTONBURY, CONN. DATE 3-25-83 SCALE 1"=40' JOB NO. 23-83-1A
- CONSTRUCTION NOTES:**
- 1.) OWNER OR CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 - 2.) OWNER OR CONTRACTOR TO VERIFY ALL DIMENSIONS AND INFORMATION CONTAINED ON THIS PLAN PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.

THE WESTERN AREA OF THE PROPOSED DEVELOPMENT IS PRESENTLY INACCESSIBLE FOR SURVEY PURPOSES. THE TOPOGRAPHY AND EDGE OF VERTICAL ROCK CUT SHOWN AREA APPROXIMATE. MODIFICATION TO THE SITE PLAN MAYBE REQUIRED AFTER THIS AREA BECOMES ACCESSIBLE AND A MORE ACCURATE SURVEY CAN BE COMPLETED.

UTILITIES SHOWN ON THIS MAP WERE DERIVED FROM FIELD LOCATIONS AND EXISTING MAPPING CONTRACTOR TO VERIFY LOCATIONS AND DEPTH IN THE FIELD PRIOR THE START OF ANY CONSTRUCTION. "CALL BEFORE YOU DIG (1-800-922-4455)."

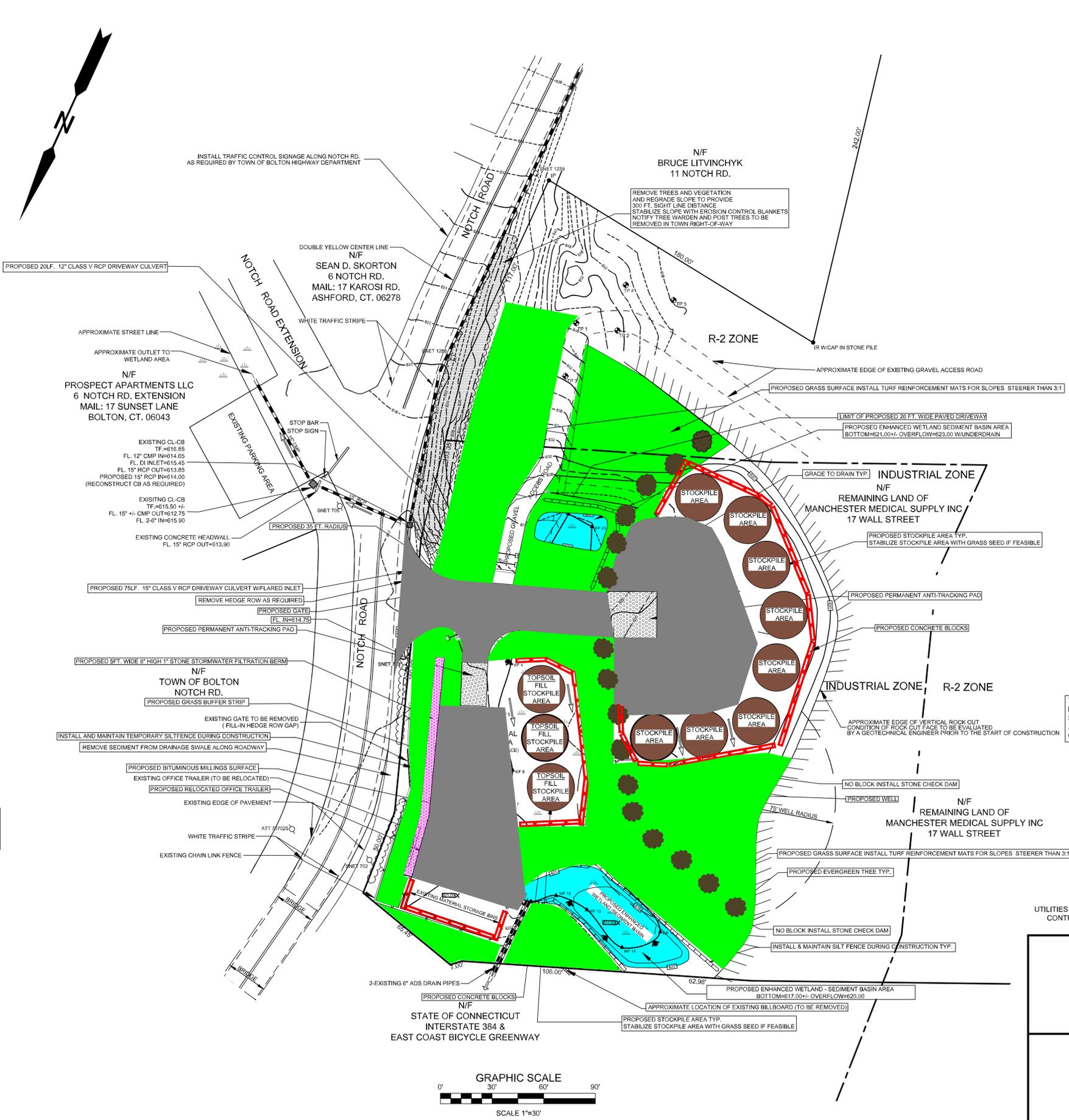
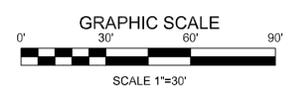
- EROSION AND SEDIMENTATION CONTROL MAINTENANCE PLAN:**
(ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL.)
- 1.) INSPECT ANTI-TRACKING PADS ON A WEEKLY BASIS. REJUVEANATE OR ADD STONE AS REQUIRED.
 - 2.) USE CALCIUM CHLORIDE AND WATER STORED IN ON-SITE CISTERNS OR FROM ON-SITE WELL FOR DUST CONTROL AS NEEDED.
 - 3.) STABILIZE STOCKPILES WITH GRASS COVER WHEN POSSIBLE.
 - 4.) INSPECT CLEAN AND REJUVEANATE STONE STORMWATER FILTRATION BERM EVERY 3 MONTHS.
 - 5.) INSPECT DRAINAGE SWALE AND CATCHBASIN ALONG NOTCH RD. EVERY 3 MONTHS. REMOVE SEDIMENT BUILD-UP AS NECESSARY.
 - 6.) MOW AND FERTILIZE GRASS BUFFER STRIP ON A REGULAR BASIS AS NEEDED.
 - 7.) INSPECT ENHANCED WETLAND / SEDIMENTATION BASIN AREAS EVERY 6 MONTHS. REMOVE EXCESSIVE SEDIMENT BUILD-UP AS NECESSARY.

- EMERGENCY SPILL RESPONSE PLAN:**
(DIESEL FUEL, HYDRAULIC OIL, ENGINE OIL & CLEANING COMPOUNDS)
(EMERGENCY SPILL KIT TO BE AVAILABLE ON-SITE)
- 1.) NOTIFY PEOPLE IN THE IMMEDIATE AREA TO MOVE AWAY.
 - 2.) WEAR APPROPRIATE PERSONAL PROTECTION (PPE) SUCH AS GLOVES, GOGGLES AND APRONS TO PREVENT EXPOSURE AND MINIMIZE CONTAMINATION.
 - 3.) USING THE ABSORBENT MATERIAL CONFINE THE SPILL. IF THIS CAN BE DONE WITHOUT THE RISK OF INJURY.
 - 4.) PREVENT MATERIAL FROM ENTERING INTO ANY NEARBY STORM OR SANITARY DRAIN BY BLOCKING THE DRAIN.
 - 5.) CLEAN UP SPILL BY WORKING FROM THE OUTSIDE OF THE SPILL TOWARD THE CENTER TO MINIMIZE SPREAD OF CONTAMINATION.
 - 6.) BE SURE TO ALLOW ADEQUATE CONTACT TIME FOR COMPLETE ABSORPTION OF THE FLUID.
 - 7.) CLEAN UP THE ABSORBENT CONTENT AND PLACE INTO A PLASTIC BAG OR PROPER CONTAINER.
 - 8.) PROPERLY PLACE SPILL CLEANUP DEBRIS IN A CONTAINER AND ARRANGE FOR PROPER DISPOSAL.
 - 9.) WASH HANDS AND OTHER EXPOSED SKIN AFTER COMPLETING CLEAN-UP.
 10. RESTOCK MATERIAL USED IN THE SPILL KIT.
 11. INVESTIGATE SOURCE OF THE SPILL AND METHODS TO PREVENT FUTURE INCIDENTS.

AREA OF WETLANDS ELIMINATED: 8,284 SQ. FT. 0.19 ACRES +/-
AREA OF WETLANDS ENHANCED: 1,570 SQ. FT. 0.04 ACRES +/-

LEGEND

- EXISTING MERESTONE
- IRON ROD TO BE SET
- EXISTING IRON ROD
- PROPOSED WELL
- PROPOSED SILT FENCE/ LIMIT OF DISTURBANCE
- LIMIT OF DISTURBANCE
- STONE WALL
- EXISTING UTILITY POLE
- PROPOSED SPOT GRADE
- EXISTING SPOT GRADE
- 604 --- EXISTING CONTOUR
- 603 --- PROPOSED CONTOUR
- TEST HOLE
- ▲ PERC PERCOLATION TEST
- ▲ EDGE OF FIELD LOCATED WETLANDS
- ▲ WF 20 WETLANDS FLAG
- PROPOSED UNDERGROUND UTILITIES



PLAN PREPARED FOR			
LANDIE CONSTRUCTION			
17 WALL STREET		BOLTON, CT.	
SITE PLAN			
SCALE: 1"=30'	DATE: 2/20/2020	FILE NO. 2017-1	SHEET: 1 OF 2
BUSHNELL ASSOCIATES LLC.			
CIVIL ENGINEERING AND LAND SURVEYING			
563 WOODBRIDGE STREET		MANCHESTER, CT. 06042	
860-643-7875			
REVISIONS: 5/18/2020, 7/16/2020, 7/23/2020, 8/12/2020, 9/1/2020, 10/8/2020 11/10/2020, 3/1/2021, 4/29/2021			

STORMWATER MANAGEMENT REPORT

PREPARED FOR SITE LOCATED AT
17 WALL STREET / NOTCH RD
BOLTON, CT.

MAY 6, 2021

PREPARED BY:
BUSHNELL ASSOCIATES LLC.
563 WOODBRIDGE ST.
MANCHESTER, CT. 06042

The site located at 17 Wall Street is located in an industrial zone but has not been utilized in several years for any activities. Historically the site has been utilized for a stone quarry and stone processing operations. At the conclusion of the most recent stone quarrying and processing operation the area of the site within the proposed development limits was left as bare earth and areas of stockpiled overburden earth material from the quarrying operations. Due to the length of inactivity at the site the bare earth surface has become vastly overgrown with poor cover condition grass and brush type vegetation. This report has been prepared in conjunction with a proposal to redevelop the site to facilitate an earth product and construction material storage and processing operation with areas for storage of trucks and equipment owned by Landie Construction.

The site is comprised of 2 watersheds (Watershed North and Water Shed South). Watershed North flows in a northerly direction to 2-Existng 6" drain pipes which discharge off-site towards Interstate 384. Watershed South flows in an easterly direction to the westerly gutter line of Notch Rd. and to an existing catch basin along the westerly side of Notch Rd. This catch basin discharges thru a drainage system crossing Notch Rd. to an outlet on the northeasterly side of Notch Rd. Extension. As a result of the proposed site development the area of Watershed North will be increased from 0.42 Acres to 0.57 Acres and the area of Watershed South will be decreased from 1.28 Acres to 1.13 Acres.

To reduce the anticipated increase in peak stormwater outflows to existing pre-development levels or less as a result of the proposed site development proposed open portions of the site within the limits of development will be transformed from bare earth cover with poor cover condition grass and brushy vegetation to good condition grass covered areas. This transformation will produce reduced peak stormwater outflows by increased stormwater absorption and decrease in stormwater times of concentration created by the grass surfaces. The enclosed Hydrograph analysis was completed for the pre and post development watershed conditions for the site. The results of the analysis demonstrate peak stormwater outflows for the 2,5,10-,25-,50- & 100-year storm events for the developed watershed conditions to be equal to or less than the peak stormwater outflows for the existing watershed conditions.

Maintenance requirements of the stormwater drainage system will consist of a visual inspection, sediment and debris removal from the 2 stormwater sediment basins, the 2 permanent anti-tracking pads, stone filtration berms in the concrete block barriers surrounding the stockpiles and stone filter berm along the easterly side of the site.

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Hydrograph Return Period Recap

Hydraflow Hydrographs by Intelisolve v9.22

Hyd. No.	Hydrograph type (origin)	Inflow Hyd(s)	Peak Outflow (cfs)								Hydrograph description
			1-Yr	2-Yr	3-Yr	5-Yr	10-Yr	25-Yr	50-Yr	100-Yr	
1	SCS Runoff	-----	-----	3.500	-----	5.138	6.453	7.864	8.923	10.07	EXISTING WATERSHED SOUTH
2	SCS Runoff	-----	-----	1.148	-----	1.686	2.117	2.580	2.928	3.304	EXISTING WATERSHED NORTH
4	SCS Runoff	-----	-----	2.877	-----	3.989	4.865	5.796	6.491	7.241	DEVELOPED WATERSHED SOUT
5	SCS Runoff	-----	-----	1.146	-----	1.659	2.068	2.507	2.836	3.192	DEVELOPED WATERSHED NORT

Hydrograph Summary Report

Hydraflow Hydrographs by Intelisolve v9.22

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph description
1	SCS Runoff	3.500	2	718	8,012	---	----	----	EXISTING WATERSHED SOUTH
2	SCS Runoff	1.148	2	718	2,629	---	----	----	EXISTING WATERSHED NORTH
4	SCS Runoff	2.877	2	724	9,086	---	----	----	DEVELOPED WATERSHED SOUT
5	SCS Runoff	1.146	2	726	3,957	---	----	----	DEVELOPED WATERSHED NORT
LANDIE CONSTRUCTION NOTCH RD-WATER DIVISION							Friday, Apr 30, 2021		

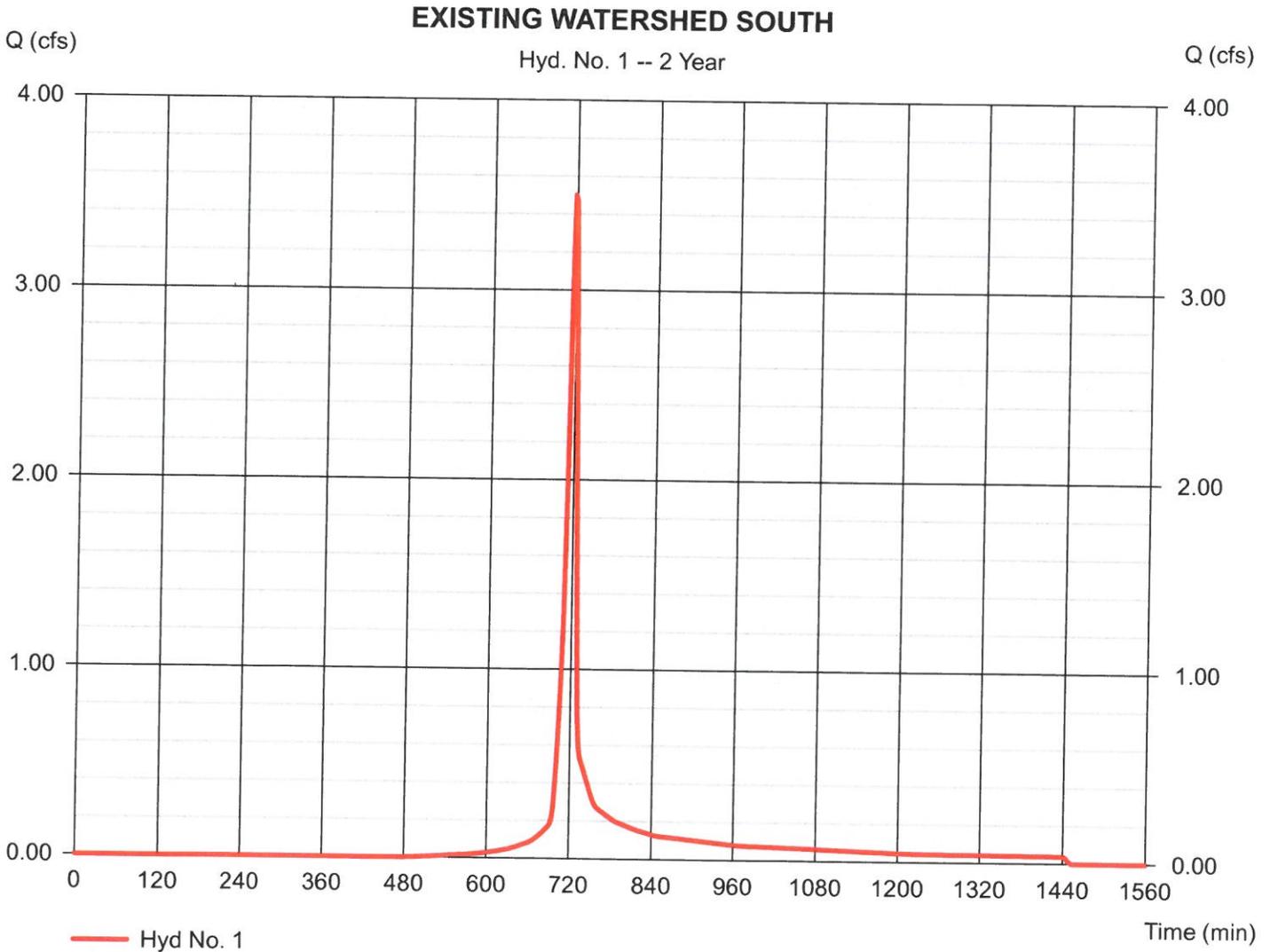
Hydrograph Report

Hyd. No. 1

EXISTING WATERSHED SOUTH

Hydrograph type = SCS Runoff
Storm frequency = 2 yrs
Time interval = 2 min
Drainage area = 1.280 ac
Basin Slope = 0.0 %
Tc method = TR55
Total precip. = 3.25 in
Storm duration = 24 hrs

Peak discharge = 3.500 cfs
Time to peak = 718 min
Hyd. volume = 8,012 cuft
Curve number = 84
Hydraulic length = 0 ft
Time of conc. (Tc) = 9.80 min
Distribution = Type II
Shape factor = 484



TR55 Tc Worksheet

Hyd. No. 1

EXISTING WATERSHED SOUTH

<u>Description</u>	<u>A</u>		<u>B</u>		<u>C</u>		<u>Totals</u>	
Sheet Flow								
Manning's n-value	= 0.050		0.050		0.011			
Flow length (ft)	= 90.0		60.0		0.0			
Two-year 24-hr precip. (in)	= 3.25		3.25		0.00			
Land slope (%)	= 1.00		1.00		0.00			
Travel Time (min)	= 4.90	+	3.54	+	0.00	=	8.44	
Shallow Concentrated Flow								
Flow length (ft)	= 130.00		0.00		0.00			
Watercourse slope (%)	= 1.00		0.00		0.00			
Surface description	= Unpaved		Paved		Paved			
Average velocity (ft/s)	= 1.61		0.00		0.00			
Travel Time (min)	= 1.34	+	0.00	+	0.00	=	1.34	
Channel Flow								
X sectional flow area (sqft)	= 0.00		0.00		0.00			
Wetted perimeter (ft)	= 0.00		0.00		0.00			
Channel slope (%)	= 0.00		0.00		0.00			
Manning's n-value	= 0.015		0.015		0.015			
Velocity (ft/s)	= 0.00		0.00		0.00			
Flow length (ft)	= 0.0		0.0		0.0			
Travel Time (min)	= 0.00	+	0.00	+	0.00	=	0.00	
Total Travel Time, Tc							=	9.80 min

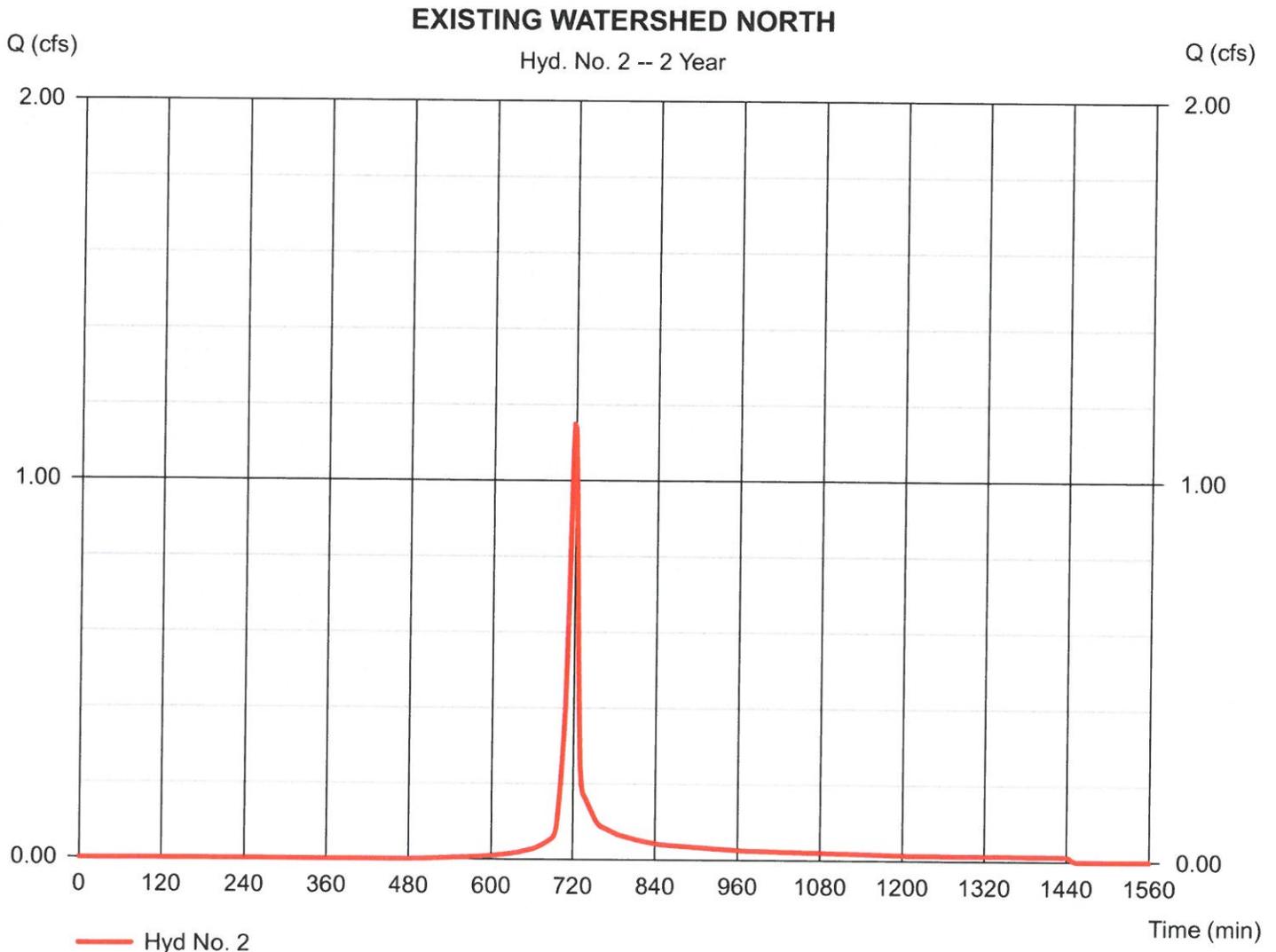
Hydrograph Report

Hyd. No. 2

EXISTING WATERSHED NORTH

Hydrograph type = SCS Runoff
Storm frequency = 2 yrs
Time interval = 2 min
Drainage area = 0.420 ac
Basin Slope = 0.0 %
Tc method = TR55
Total precip. = 3.25 in
Storm duration = 24 hrs

Peak discharge = 1.148 cfs
Time to peak = 718 min
Hyd. volume = 2,629 cuft
Curve number = 84
Hydraulic length = 0 ft
Time of conc. (Tc) = 7.66 min
Distribution = Type II
Shape factor = 484



TR55 Tc Worksheet

Hyd. No. 2

EXISTING WATERSHED NORTH

<u>Description</u>	<u>A</u>		<u>B</u>		<u>C</u>		<u>Totals</u>	
Sheet Flow								
Manning's n-value	= 0.050		0.011		0.011			
Flow length (ft)	= 150.0		0.0		0.0			
Two-year 24-hr precip. (in)	= 3.25		0.00		0.00			
Land slope (%)	= 1.00		0.00		0.00			
Travel Time (min)	= 7.37	+	0.00	+	0.00	=	7.37	
Shallow Concentrated Flow								
Flow length (ft)	= 90.00		0.00		0.00			
Watercourse slope (%)	= 10.00		0.00		0.00			
Surface description	= Unpaved		Paved		Paved			
Average velocity (ft/s)	= 5.10		0.00		0.00			
Travel Time (min)	= 0.29	+	0.00	+	0.00	=	0.29	
Channel Flow								
X sectional flow area (sqft)	= 0.00		0.00		0.00			
Wetted perimeter (ft)	= 0.00		0.00		0.00			
Channel slope (%)	= 0.00		0.00		0.00			
Manning's n-value	= 0.015		0.015		0.015			
Velocity (ft/s)	= 0.00		0.00		0.00			
Flow length (ft)	= 0.0		0.0		0.0			
Travel Time (min)	= 0.00	+	0.00	+	0.00	=	0.00	
Total Travel Time, Tc							=	7.66 min

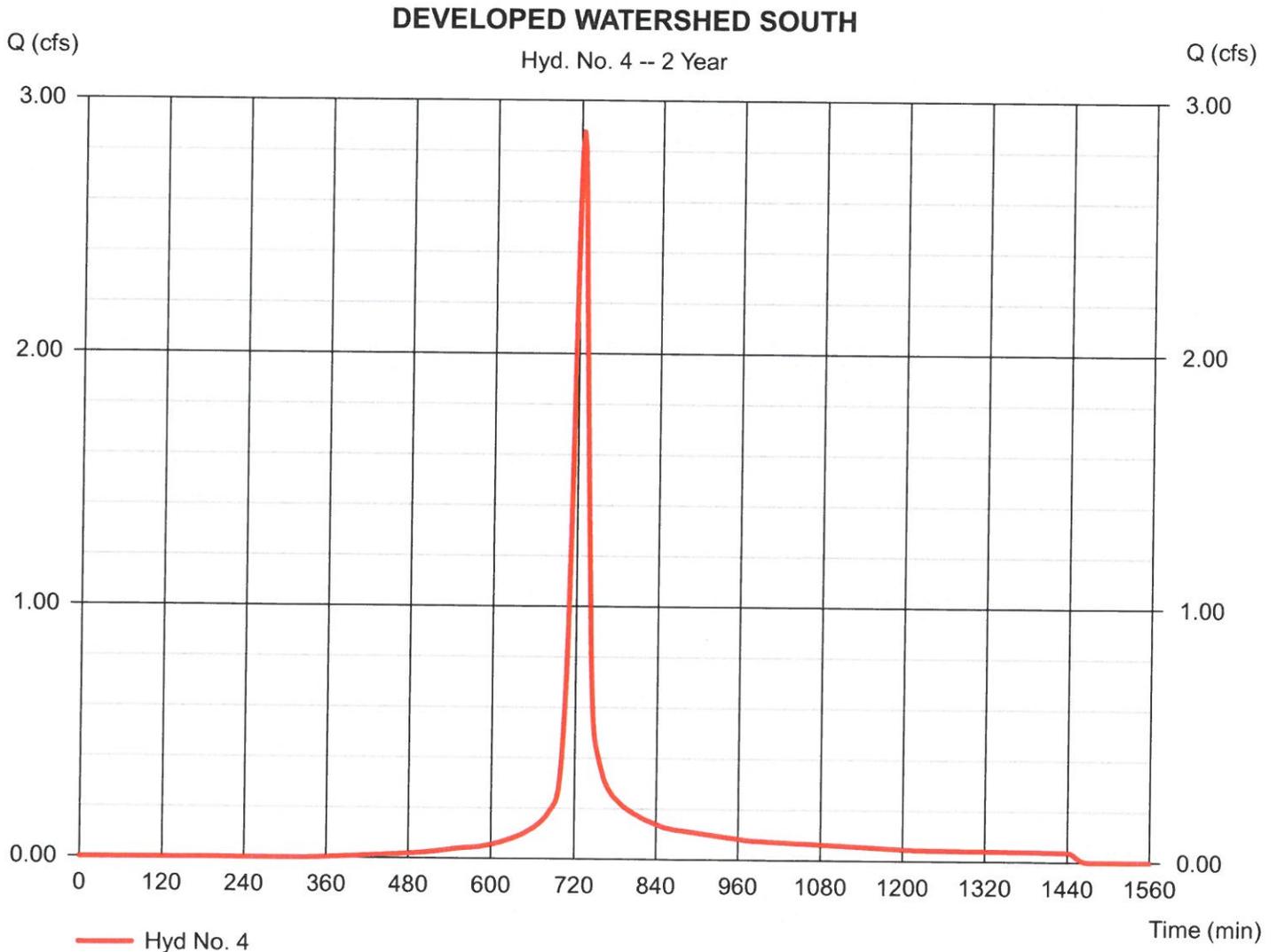
Hydrograph Report

Hyd. No. 4

DEVELOPED WATERSHED SOUTH

Hydrograph type	= SCS Runoff	Peak discharge	= 2.877 cfs
Storm frequency	= 2 yrs	Time to peak	= 724 min
Time interval	= 2 min	Hyd. volume	= 9,086 cuft
Drainage area	= 1.130 ac	Curve number	= 90*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 19.10 min
Total precip.	= 3.25 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(0.320 x 80) + (0.720 x 95) + (0.090 x 89)] / 1.130



TR55 Tc Worksheet

Hyd. No. 4

DEVELOPED WATERSHED SOUTH

<u>Description</u>	<u>A</u>		<u>B</u>		<u>C</u>		<u>Totals</u>	
Sheet Flow								
Manning's n-value	= 0.050		0.200		0.200			
Flow length (ft)	= 60.0		90.0		0.0			
Two-year 24-hr precip. (in)	= 3.25		3.25		3.25			
Land slope (%)	= 1.00		1.00		0.00			
Travel Time (min)	= 3.54	+	14.84	+	0.00	=	18.38	
Shallow Concentrated Flow								
Flow length (ft)	= 65.00		0.00		0.00			
Watercourse slope (%)	= 1.00		0.00		0.00			
Surface description	= Unpaved		Paved		Paved			
Average velocity (ft/s)	= 1.61		0.00		0.00			
Travel Time (min)	= 0.67	+	0.00	+	0.00	=	0.67	
Channel Flow								
X sectional flow area (sqft)	= 0.00		0.00		0.00			
Wetted perimeter (ft)	= 0.00		0.00		0.00			
Channel slope (%)	= 0.00		0.00		0.00			
Manning's n-value	= 0.013		0.015		0.015			
Velocity (ft/s)	= 0.00		0.00		0.00			
Flow length (ft)	= 0.0		0.0		0.0			
Travel Time (min)	= 0.00	+	0.00	+	0.00	=	0.00	
Total Travel Time, Tc							=	19.10 min

Hydrograph Report

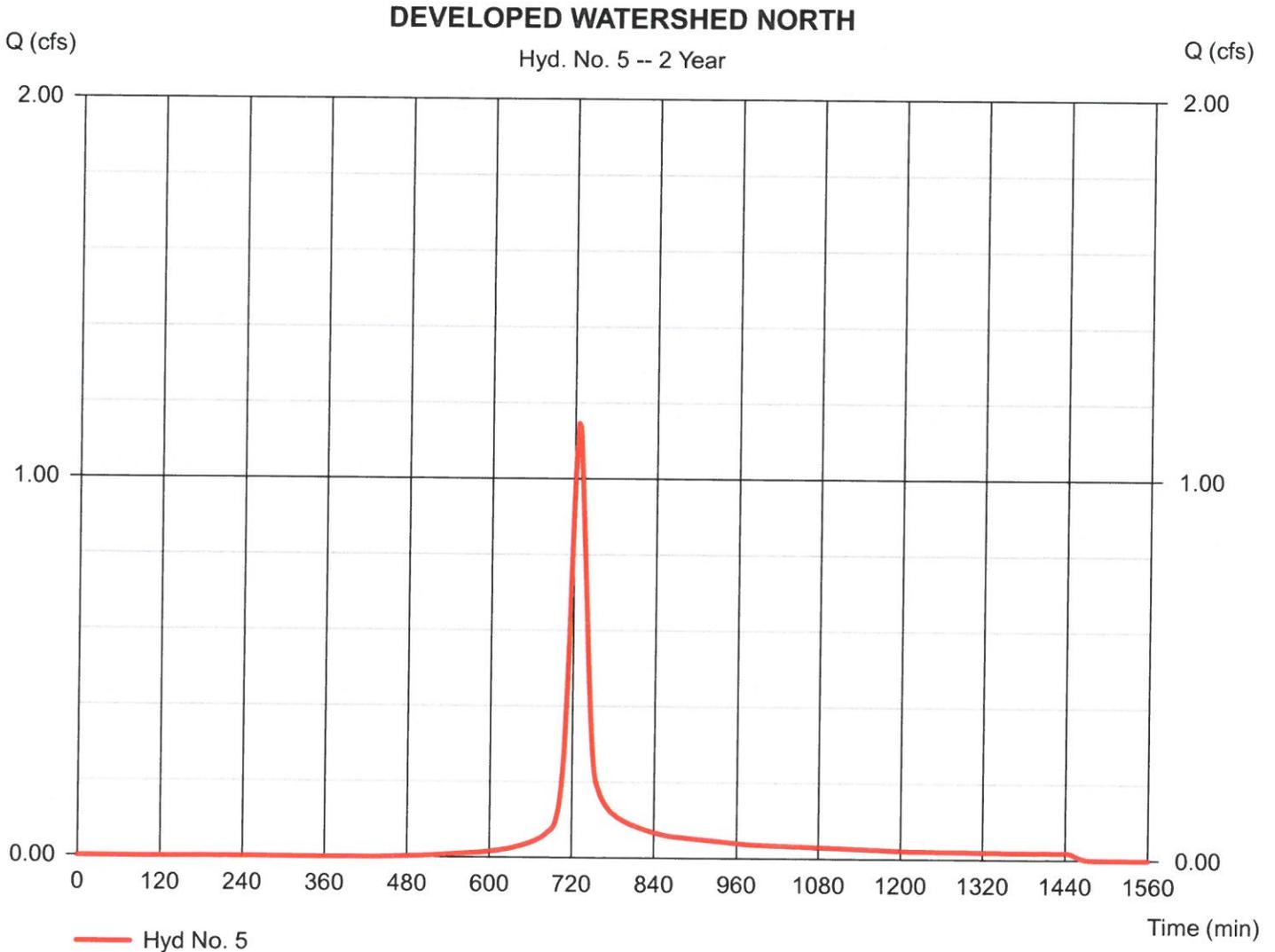
Hyd. No. 5

DEVELOPED WATERSHED NORTH

Hydrograph type = SCS Runoff
Storm frequency = 2 yrs
Time interval = 2 min
Drainage area = 0.570 ac
Basin Slope = 0.0 %
Tc method = TR55
Total precip. = 3.25 in
Storm duration = 24 hrs

Peak discharge = 1.146 cfs
Time to peak = 726 min
Hyd. volume = 3,957 cuft
Curve number = 86*
Hydraulic length = 0 ft
Time of conc. (Tc) = 22.67 min
Distribution = Type II
Shape factor = 484

* Composite (Area/CN) = $[(0.290 \times 80) + (0.150 \times 95) + (0.130 \times 89)] / 0.570$



TR55 Tc Worksheet

Hyd. No. 5

DEVELOPED WATERSHED NORTH

<u>Description</u>	<u>A</u>	<u>B</u>	<u>C</u>	<u>Totals</u>
Sheet Flow				
Manning's n-value	= 0.200	0.200	0.200	
Flow length (ft)	= 100.0	30.0	20.0	
Two-year 24-hr precip. (in)	= 3.25	3.25	3.25	
Land slope (%)	= 1.00	20.00	1.00	
Travel Time (min)	= 16.15	+ 1.86	+ 4.46	= 22.46
Shallow Concentrated Flow				
Flow length (ft)	= 20.00	0.00	0.00	
Watercourse slope (%)	= 1.00	0.00	0.00	
Surface description	= Unpaved	Paved	Paved	
Average velocity (ft/s)	= 1.61	0.00	0.00	
Travel Time (min)	= 0.21	+ 0.00	+ 0.00	= 0.21
Channel Flow				
X sectional flow area (sqft)	= 0.00	0.00	0.00	
Wetted perimeter (ft)	= 0.00	0.00	0.00	
Channel slope (%)	= 0.00	0.00	0.00	
Manning's n-value	= 0.015	0.015	0.015	
Velocity (ft/s)	= 0.00	0.00	0.00	
Flow length (ft)	= 0.0	0.0	0.0	
Travel Time (min)	= 0.00	+ 0.00	+ 0.00	= 0.00
Total Travel Time, Tc				22.67 min

Hydrograph Summary Report

Hydraflow Hydrographs by Intelisolve v9.22

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph description
1	SCS Runoff	5.138	2	718	11,840	---	-----	-----	EXISTING WATERSHED SOUTH
2	SCS Runoff	1.686	2	718	3,885	---	-----	-----	EXISTING WATERSHED NORTH
4	SCS Runoff	3.989	2	724	12,754	---	-----	-----	DEVELOPED WATERSHED SOUT
5	SCS Runoff	1.659	2	726	5,746	---	-----	-----	DEVELOPED WATERSHED NORT
LANDIE CONSTRUCTION NOTCH RD-WATER IN FLOW							Friday, Apr 30, 2021		

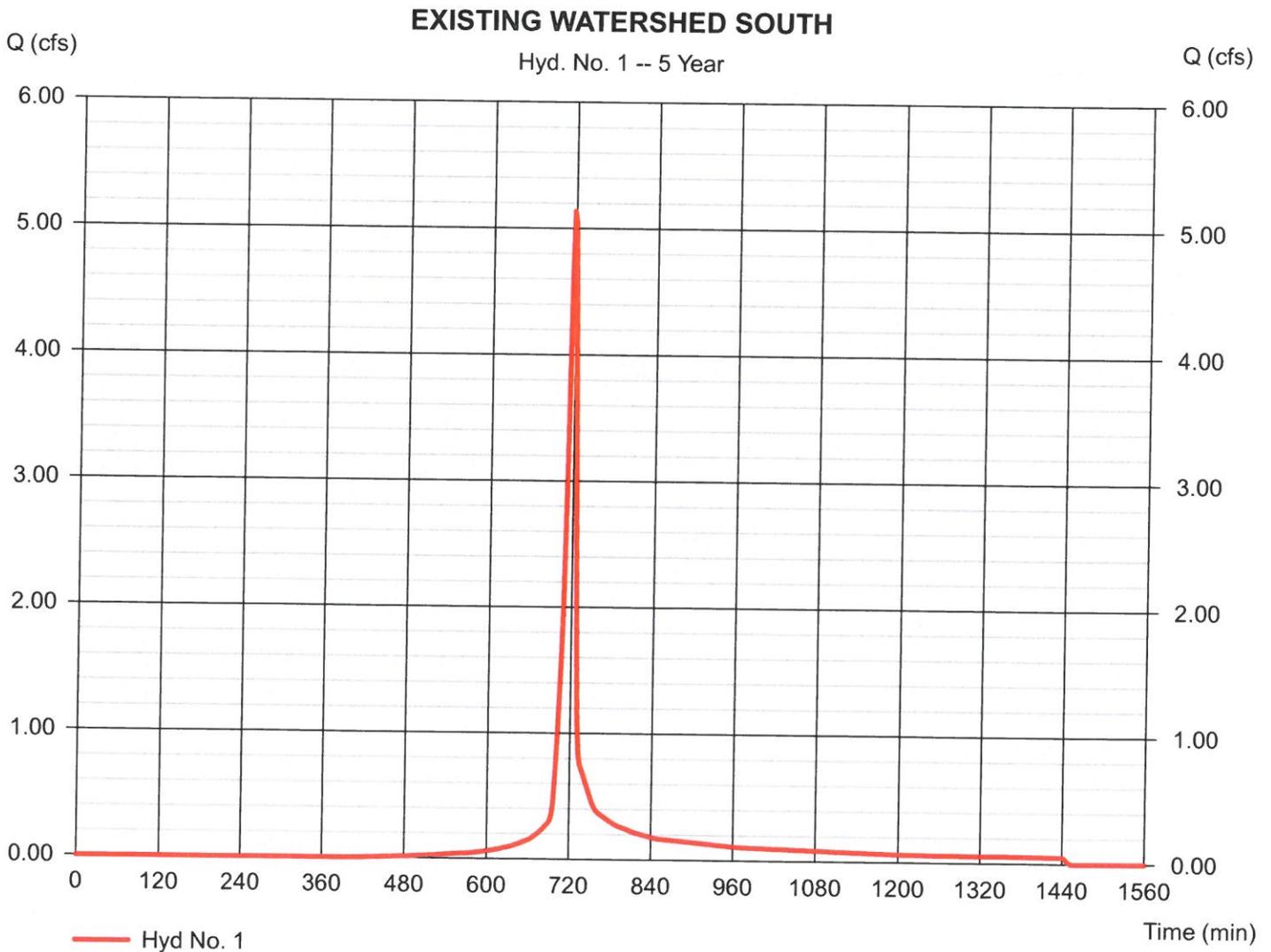
Hydrograph Report

Hyd. No. 1

EXISTING WATERSHED SOUTH

Hydrograph type = SCS Runoff
Storm frequency = 5 yrs
Time interval = 2 min
Drainage area = 1.280 ac
Basin Slope = 0.0 %
Tc method = TR55
Total precip. = 4.20 in
Storm duration = 24 hrs

Peak discharge = 5.138 cfs
Time to peak = 718 min
Hyd. volume = 11,840 cuft
Curve number = 84
Hydraulic length = 0 ft
Time of conc. (Tc) = 9.80 min
Distribution = Type II
Shape factor = 484



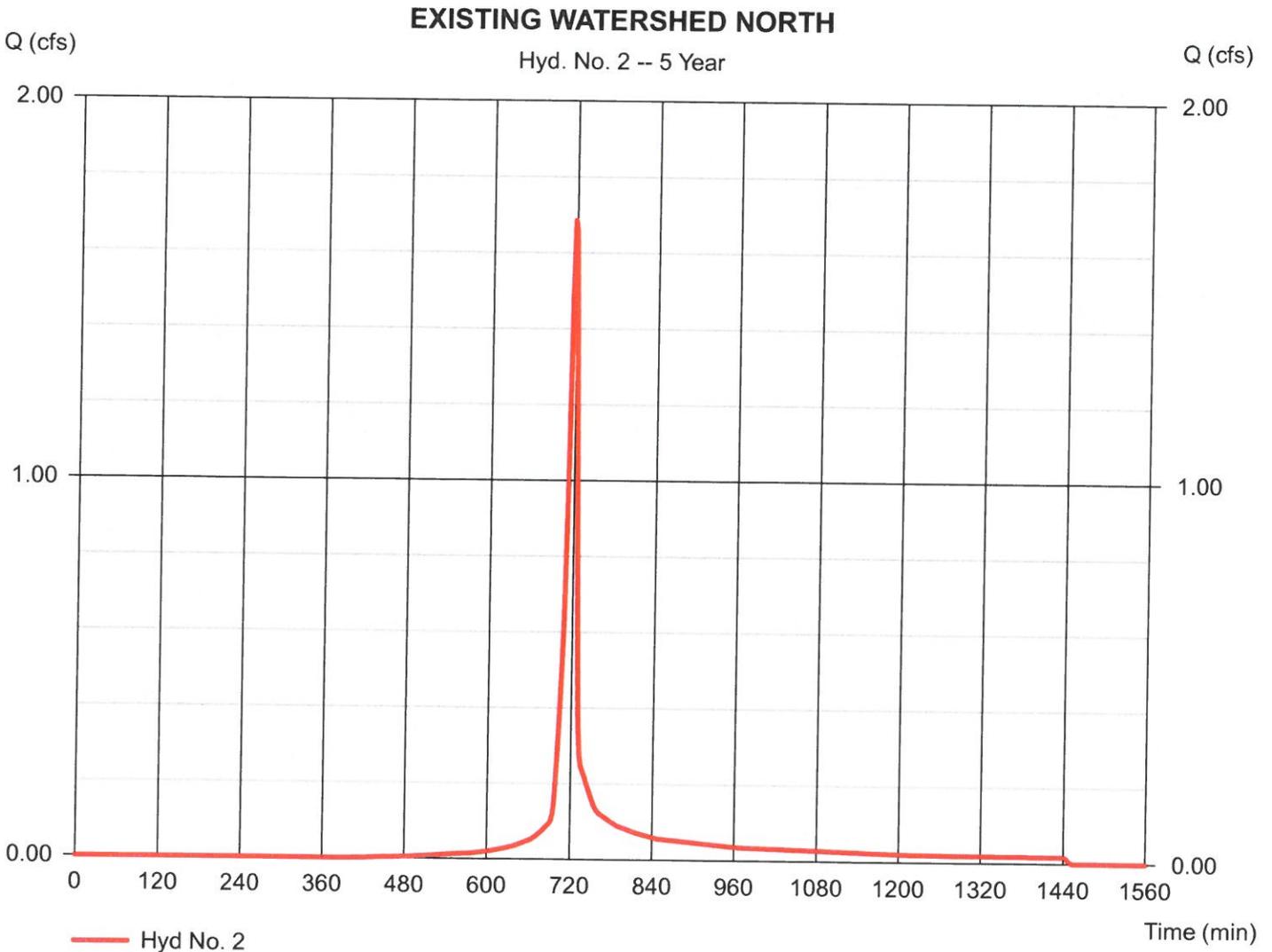
Hydrograph Report

Hyd. No. 2

EXISTING WATERSHED NORTH

Hydrograph type = SCS Runoff
Storm frequency = 5 yrs
Time interval = 2 min
Drainage area = 0.420 ac
Basin Slope = 0.0 %
Tc method = TR55
Total precip. = 4.20 in
Storm duration = 24 hrs

Peak discharge = 1.686 cfs
Time to peak = 718 min
Hyd. volume = 3,885 cuft
Curve number = 84
Hydraulic length = 0 ft
Time of conc. (Tc) = 7.66 min
Distribution = Type II
Shape factor = 484



Hydrograph Report

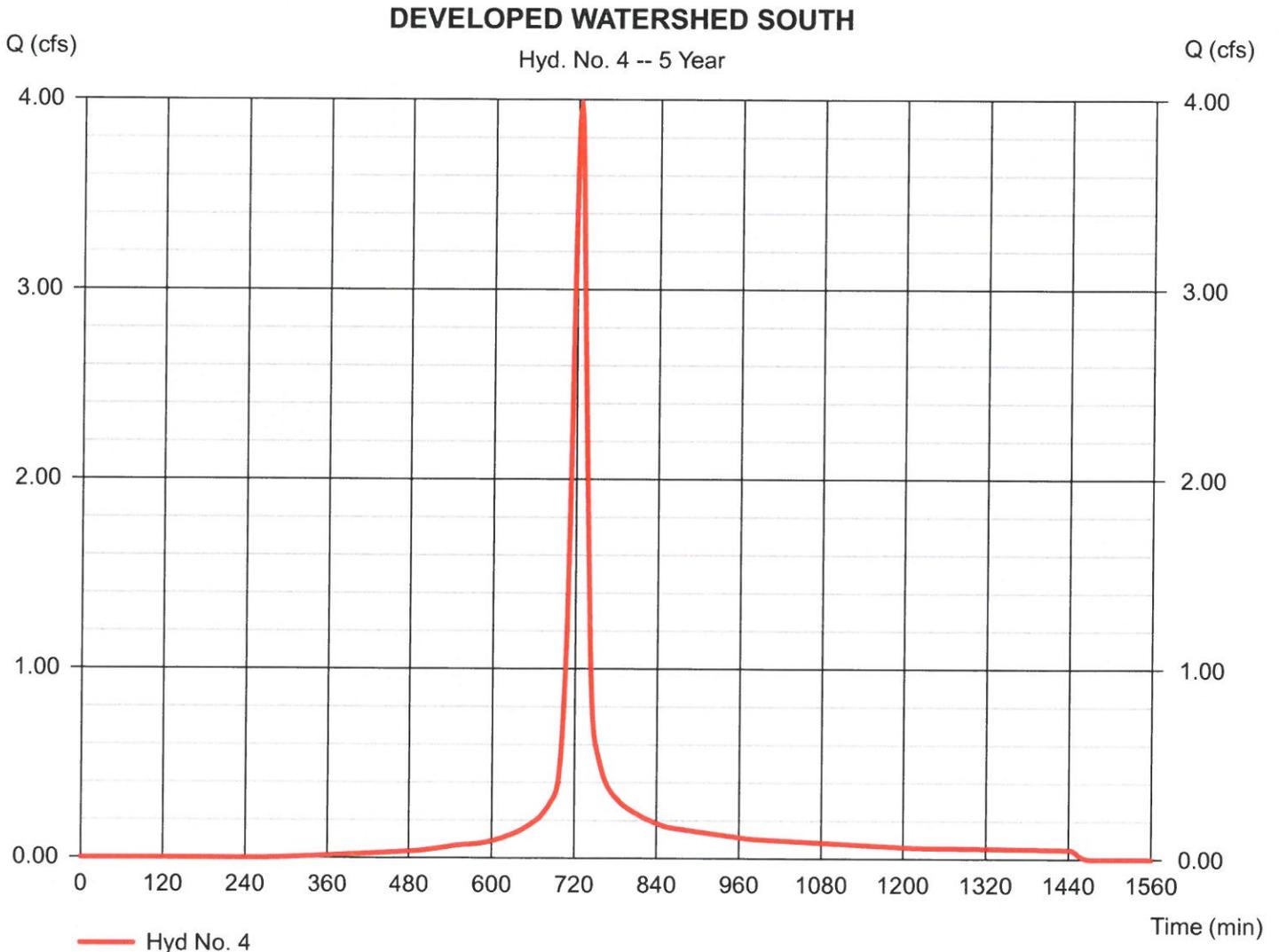
Hyd. No. 4

DEVELOPED WATERSHED SOUTH

Hydrograph type = SCS Runoff
Storm frequency = 5 yrs
Time interval = 2 min
Drainage area = 1.130 ac
Basin Slope = 0.0 %
Tc method = TR55
Total precip. = 4.20 in
Storm duration = 24 hrs

Peak discharge = 3.989 cfs
Time to peak = 724 min
Hyd. volume = 12,754 cuft
Curve number = 90*
Hydraulic length = 0 ft
Time of conc. (Tc) = 19.10 min
Distribution = Type II
Shape factor = 484

* Composite (Area/CN) = [(0.320 x 80) + (0.720 x 95) + (0.090 x 89)] / 1.130



Hydrograph Report

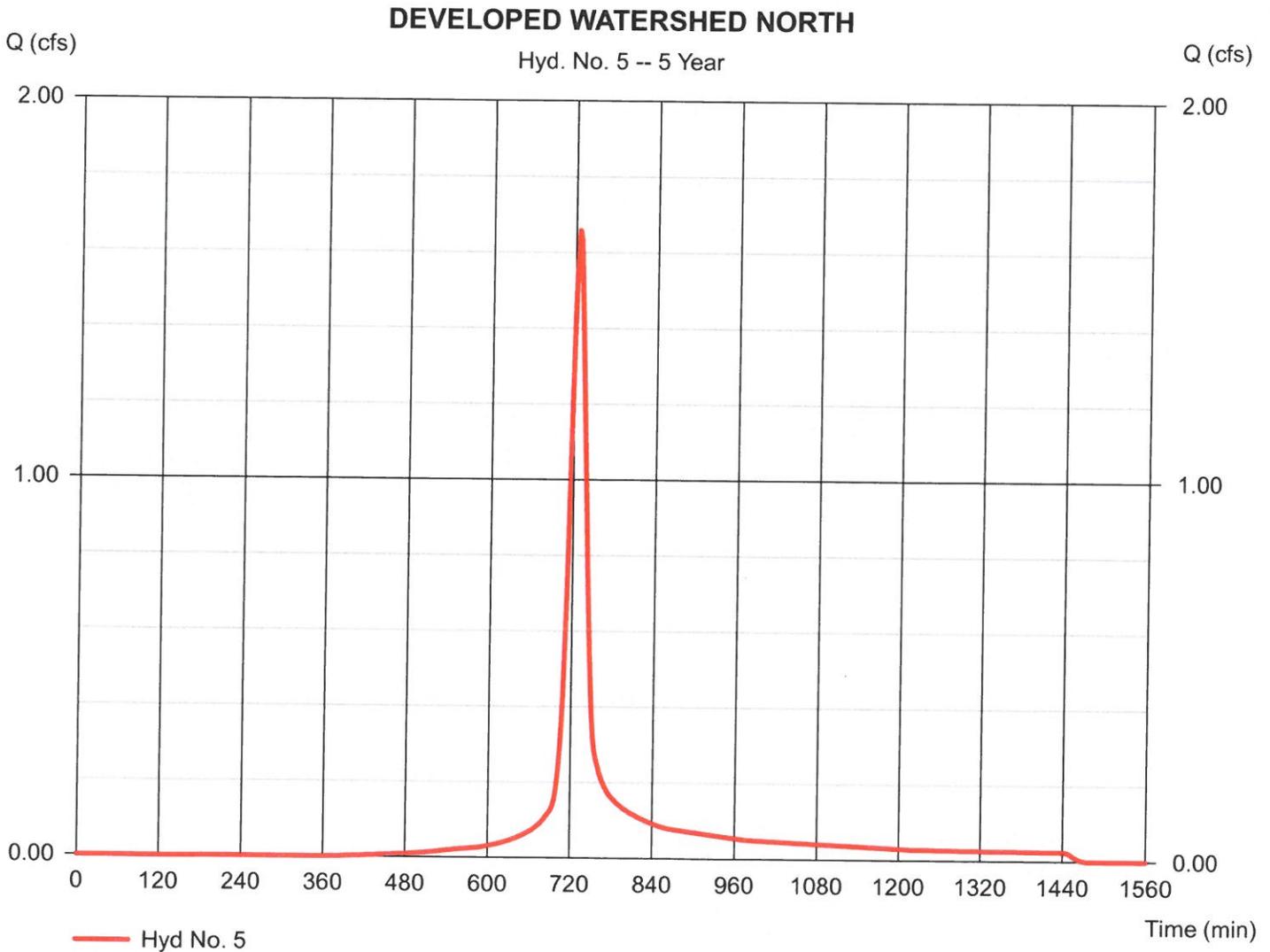
Hyd. No. 5

DEVELOPED WATERSHED NORTH

Hydrograph type = SCS Runoff
Storm frequency = 5 yrs
Time interval = 2 min
Drainage area = 0.570 ac
Basin Slope = 0.0 %
Tc method = TR55
Total precip. = 4.20 in
Storm duration = 24 hrs

Peak discharge = 1.659 cfs
Time to peak = 726 min
Hyd. volume = 5,746 cuft
Curve number = 86*
Hydraulic length = 0 ft
Time of conc. (Tc) = 22.67 min
Distribution = Type II
Shape factor = 484

* Composite (Area/CN) = $[(0.290 \times 80) + (0.150 \times 95) + (0.130 \times 89)] / 0.570$



Hydrograph Summary Report

Hydraflow Hydrographs by Intelisolve v9.22

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph description
1	SCS Runoff	6.453	2	718	14,983	---	-----	-----	EXISTING WATERSHED SOUTH
2	SCS Runoff	2.117	2	718	4,916	---	-----	-----	EXISTING WATERSHED NORTH
4	SCS Runoff	4.865	2	724	15,703	---	-----	-----	DEVELOPED WATERSHED SOUT
5	SCS Runoff	2.068	2	726	7,203	---	-----	-----	DEVELOPED WATERSHED NORT
LANDIE CONSTRUCTION NOTCH RD-WABE ST, FULTON, CT 06105								Friday, Apr 30, 2021	

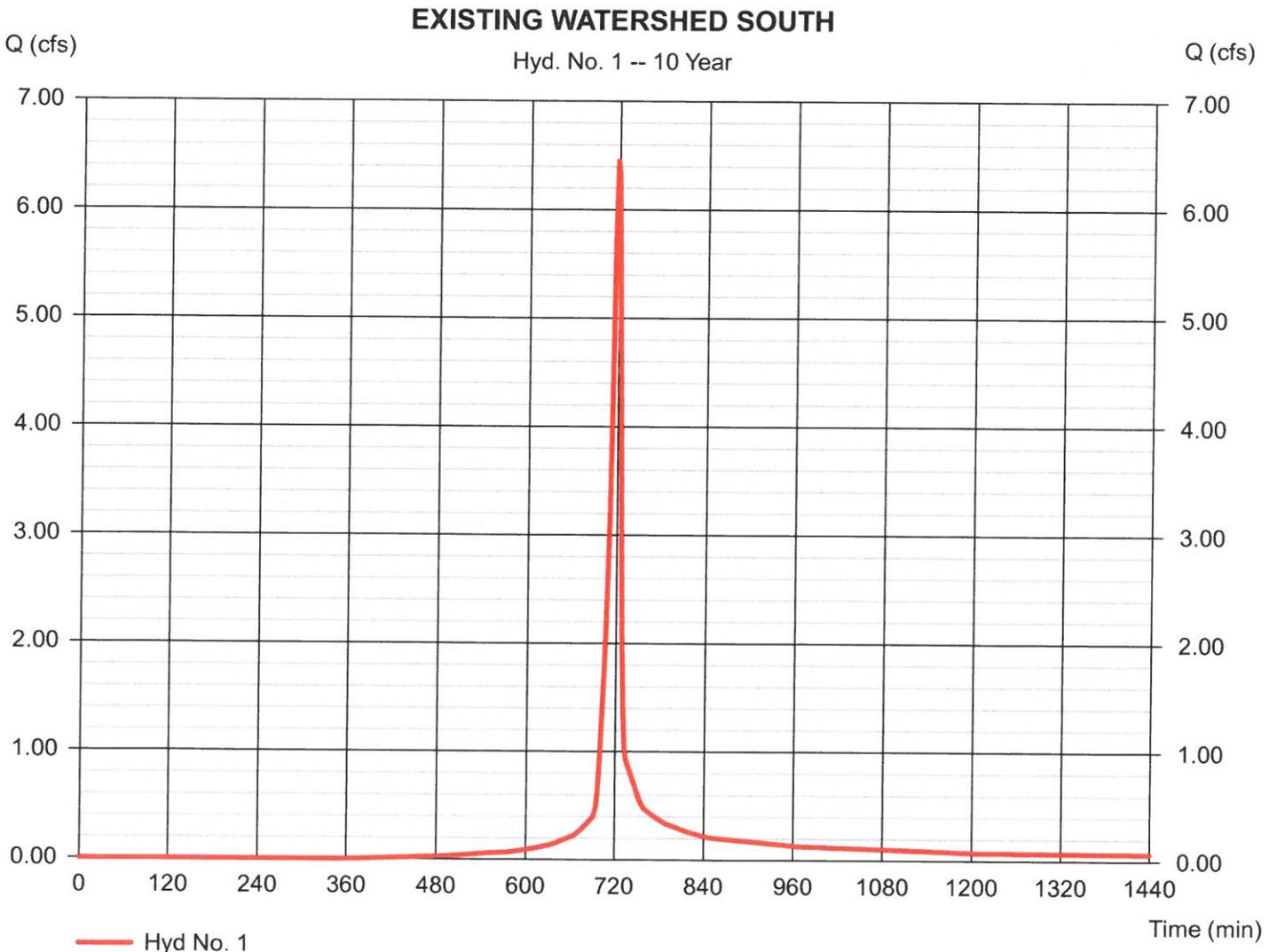
Hydrograph Report

Hyd. No. 1

EXISTING WATERSHED SOUTH

Hydrograph type = SCS Runoff
Storm frequency = 10 yrs
Time interval = 2 min
Drainage area = 1.280 ac
Basin Slope = 0.0 %
Tc method = TR55
Total precip. = 4.95 in
Storm duration = 24 hrs

Peak discharge = 6.453 cfs
Time to peak = 718 min
Hyd. volume = 14,983 cuft
Curve number = 84
Hydraulic length = 0 ft
Time of conc. (Tc) = 9.80 min
Distribution = Type II
Shape factor = 484



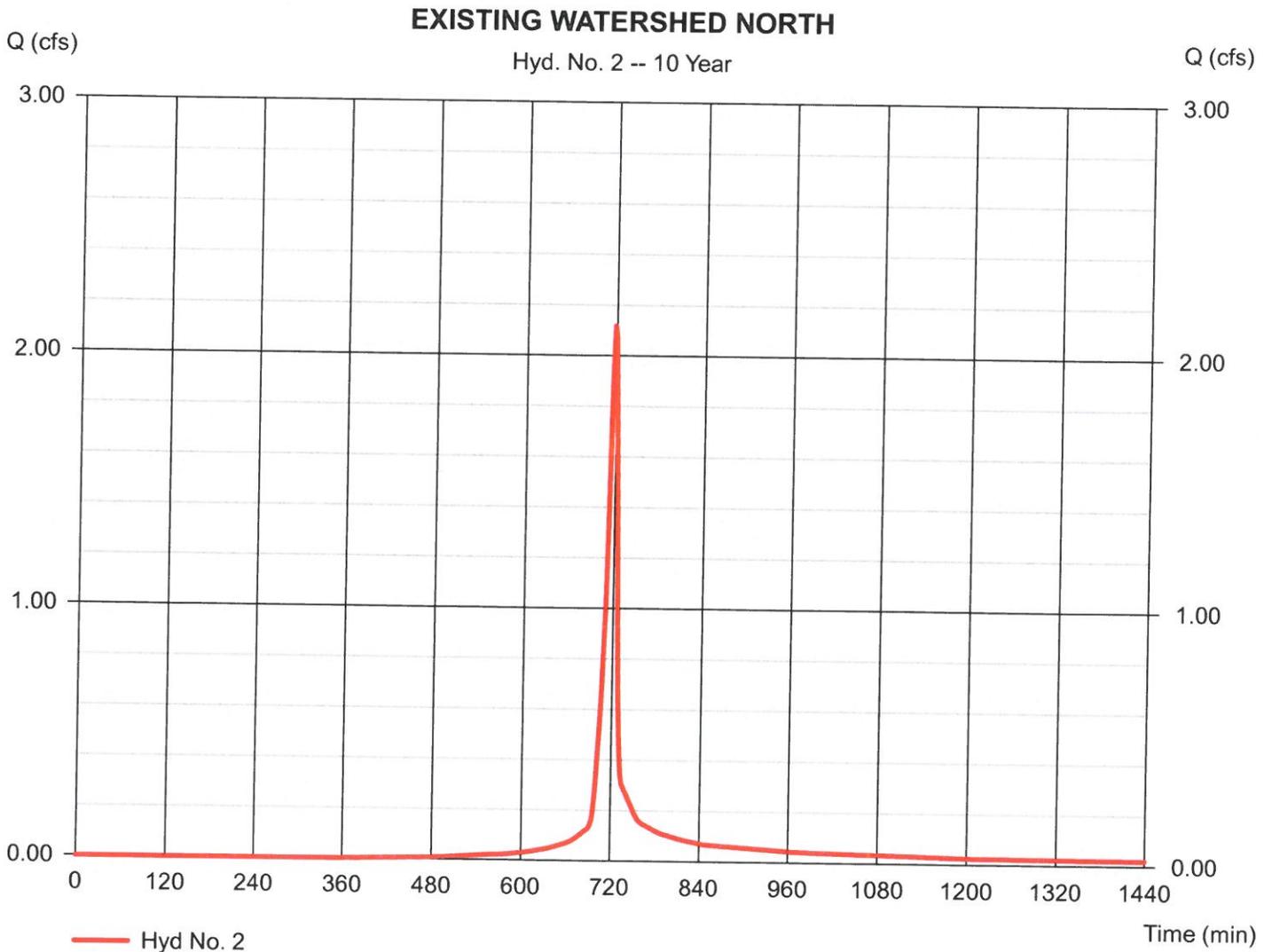
Hydrograph Report

Hyd. No. 2

EXISTING WATERSHED NORTH

Hydrograph type = SCS Runoff
Storm frequency = 10 yrs
Time interval = 2 min
Drainage area = 0.420 ac
Basin Slope = 0.0 %
Tc method = TR55
Total precip. = 4.95 in
Storm duration = 24 hrs

Peak discharge = 2.117 cfs
Time to peak = 718 min
Hyd. volume = 4,916 cuft
Curve number = 84
Hydraulic length = 0 ft
Time of conc. (Tc) = 7.66 min
Distribution = Type II
Shape factor = 484



Hydrograph Report

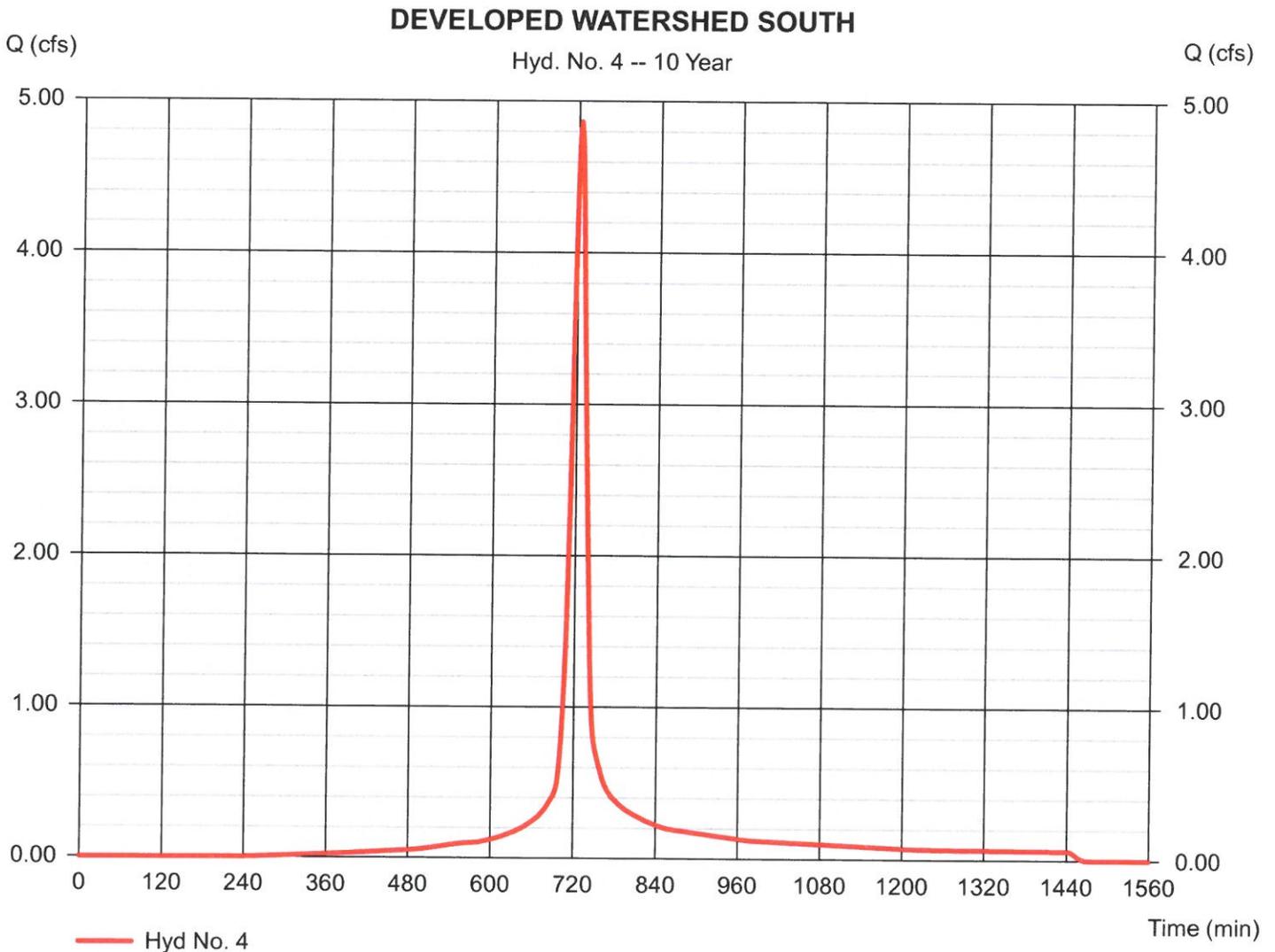
Hyd. No. 4

DEVELOPED WATERSHED SOUTH

Hydrograph type = SCS Runoff
Storm frequency = 10 yrs
Time interval = 2 min
Drainage area = 1.130 ac
Basin Slope = 0.0 %
Tc method = TR55
Total precip. = 4.95 in
Storm duration = 24 hrs

Peak discharge = 4.865 cfs
Time to peak = 724 min
Hyd. volume = 15,703 cuft
Curve number = 90*
Hydraulic length = 0 ft
Time of conc. (Tc) = 19.10 min
Distribution = Type II
Shape factor = 484

* Composite (Area/CN) = $[(0.320 \times 80) + (0.720 \times 95) + (0.090 \times 89)] / 1.130$



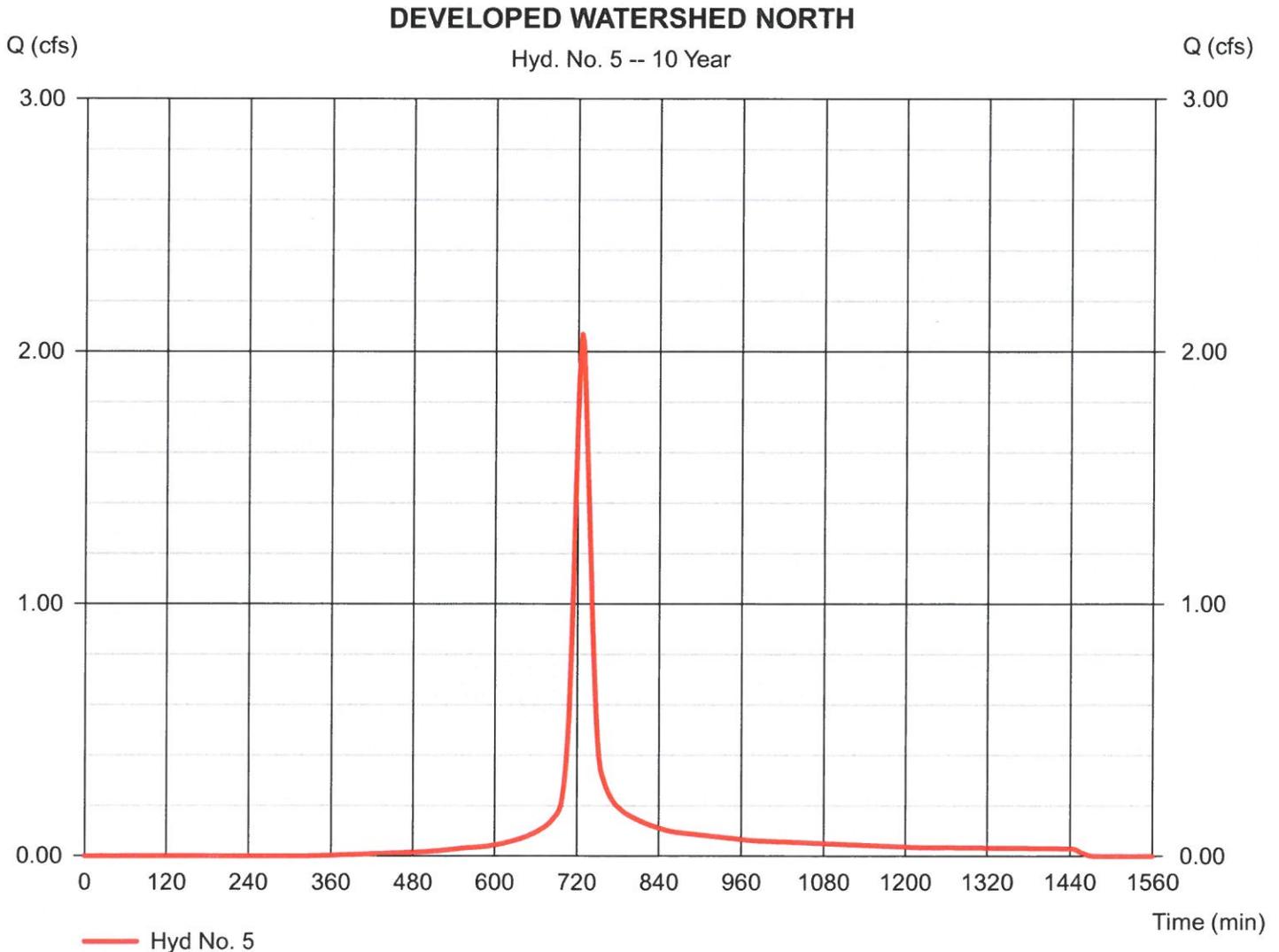
Hydrograph Report

Hyd. No. 5

DEVELOPED WATERSHED NORTH

Hydrograph type	=	SCS Runoff	Peak discharge	=	2.068 cfs
Storm frequency	=	10 yrs	Time to peak	=	726 min
Time interval	=	2 min	Hyd. volume	=	7,203 cuft
Drainage area	=	0.570 ac	Curve number	=	86*
Basin Slope	=	0.0 %	Hydraulic length	=	0 ft
Tc method	=	TR55	Time of conc. (Tc)	=	22.67 min
Total precip.	=	4.95 in	Distribution	=	Type II
Storm duration	=	24 hrs	Shape factor	=	484

* Composite (Area/CN) = [(0.290 x 80) + (0.150 x 95) + (0.130 x 89)] / 0.570



Hydrograph Summary Report

Hydraflow Hydrographs by Intelisolve v9.22

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph description
1	SCS Runoff	7.864	2	718	18,414	---	----	----	EXISTING WATERSHED SOUTH
2	SCS Runoff	2.580	2	718	6,042	---	----	----	EXISTING WATERSHED NORTH
4	SCS Runoff	5.796	2	724	18,880	---	----	----	DEVELOPED WATERSHED SOUT
5	SCS Runoff	2.507	2	726	8,787	---	----	----	DEVELOPED WATERSHED NORT
LANDIE CONSTRUCTION NOTCH RD-WATER TREATMENT TOWER							Friday, Apr 30, 2021		

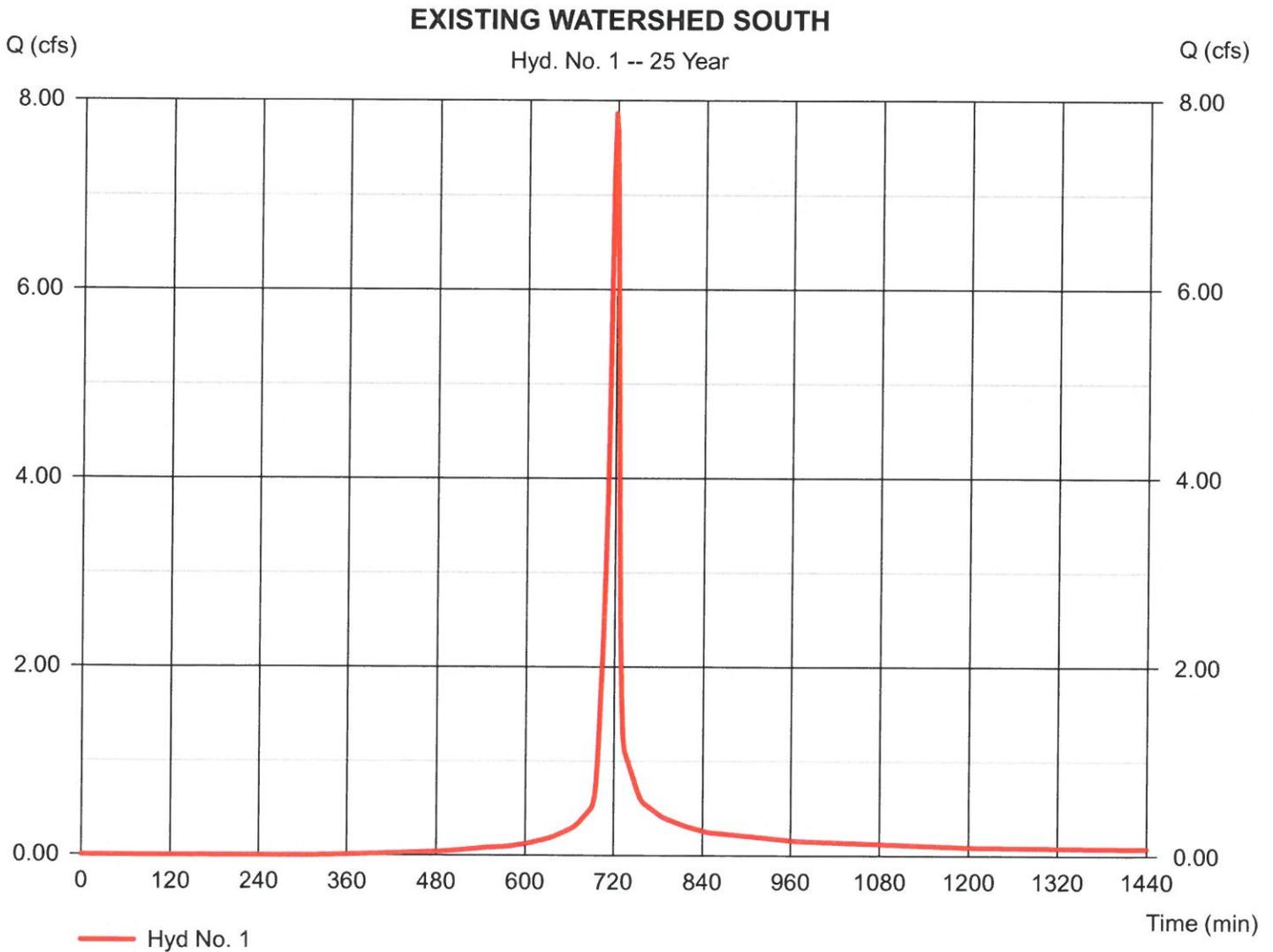
Hydrograph Report

Hyd. No. 1

EXISTING WATERSHED SOUTH

Hydrograph type = SCS Runoff
Storm frequency = 25 yrs
Time interval = 2 min
Drainage area = 1.280 ac
Basin Slope = 0.0 %
Tc method = TR55
Total precip. = 5.75 in
Storm duration = 24 hrs

Peak discharge = 7.864 cfs
Time to peak = 718 min
Hyd. volume = 18,414 cuft
Curve number = 84
Hydraulic length = 0 ft
Time of conc. (Tc) = 9.80 min
Distribution = Type II
Shape factor = 484



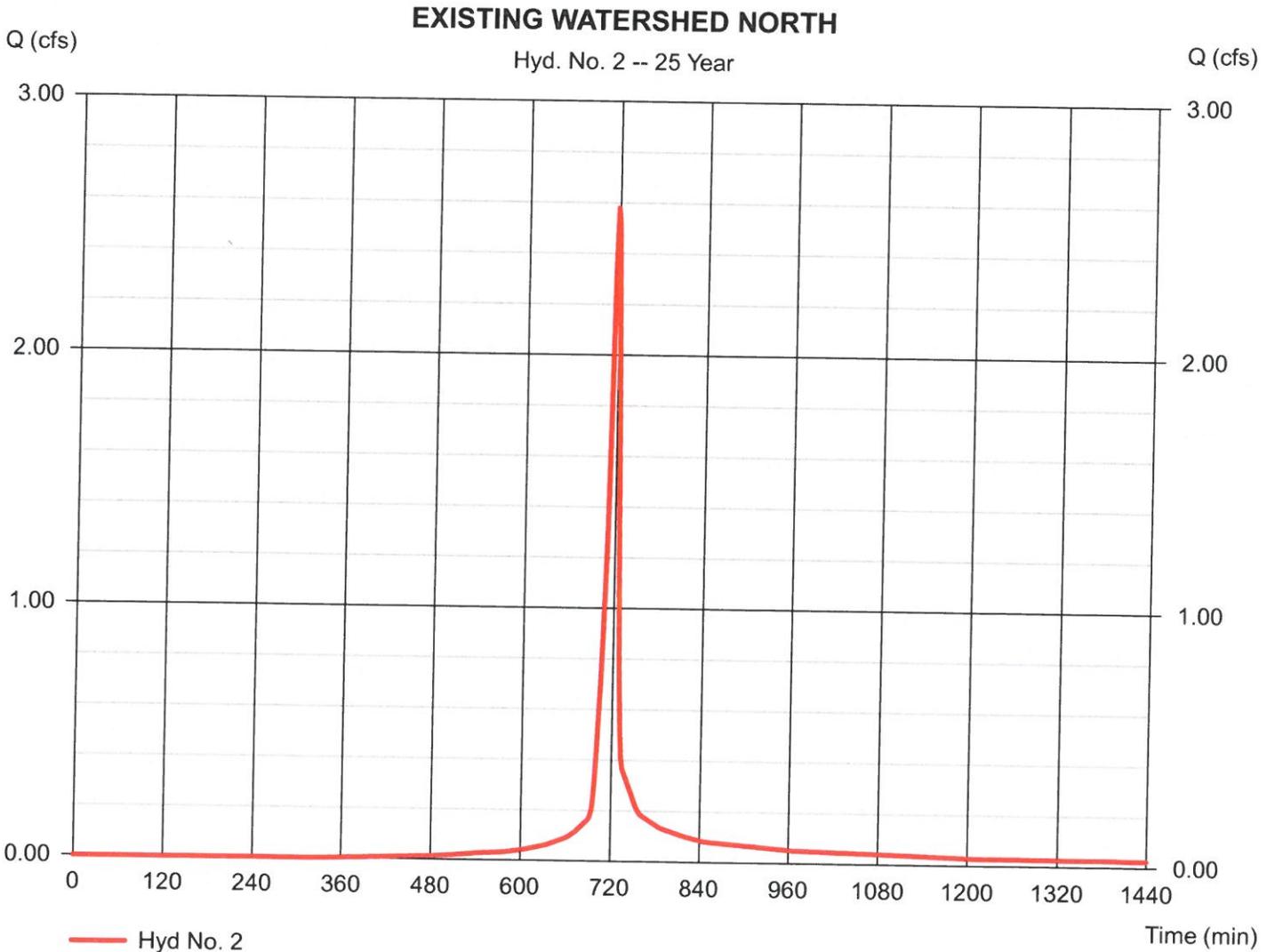
Hydrograph Report

Hyd. No. 2

EXISTING WATERSHED NORTH

Hydrograph type = SCS Runoff
Storm frequency = 25 yrs
Time interval = 2 min
Drainage area = 0.420 ac
Basin Slope = 0.0 %
Tc method = TR55
Total precip. = 5.75 in
Storm duration = 24 hrs

Peak discharge = 2.580 cfs
Time to peak = 718 min
Hyd. volume = 6,042 cuft
Curve number = 84
Hydraulic length = 0 ft
Time of conc. (Tc) = 7.66 min
Distribution = Type II
Shape factor = 484



Hydrograph Report

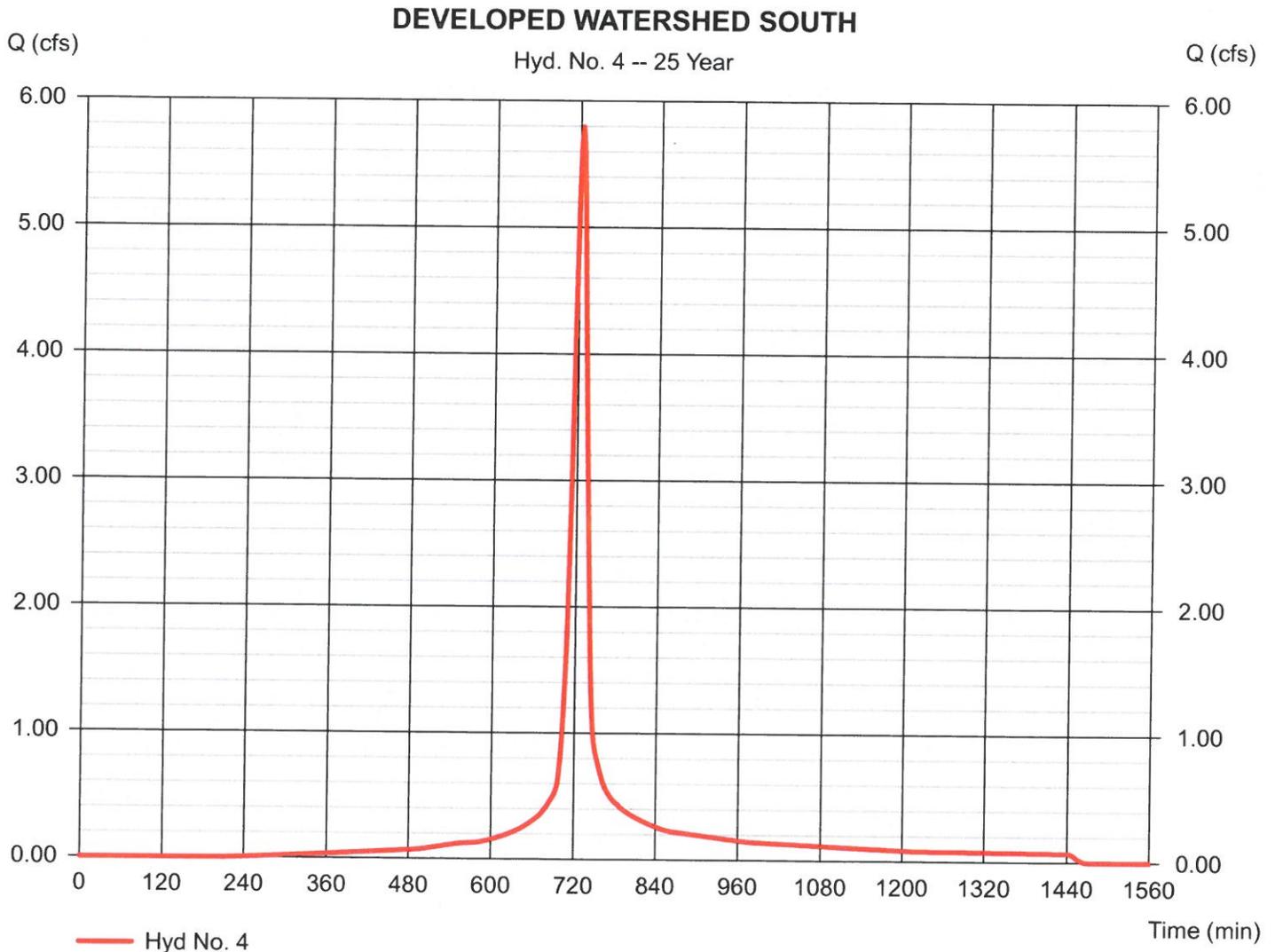
Hyd. No. 4

DEVELOPED WATERSHED SOUTH

Hydrograph type = SCS Runoff
Storm frequency = 25 yrs
Time interval = 2 min
Drainage area = 1.130 ac
Basin Slope = 0.0 %
Tc method = TR55
Total precip. = 5.75 in
Storm duration = 24 hrs

Peak discharge = 5.796 cfs
Time to peak = 724 min
Hyd. volume = 18,880 cuft
Curve number = 90*
Hydraulic length = 0 ft
Time of conc. (Tc) = 19.10 min
Distribution = Type II
Shape factor = 484

* Composite (Area/CN) = $[(0.320 \times 80) + (0.720 \times 95) + (0.090 \times 89)] / 1.130$



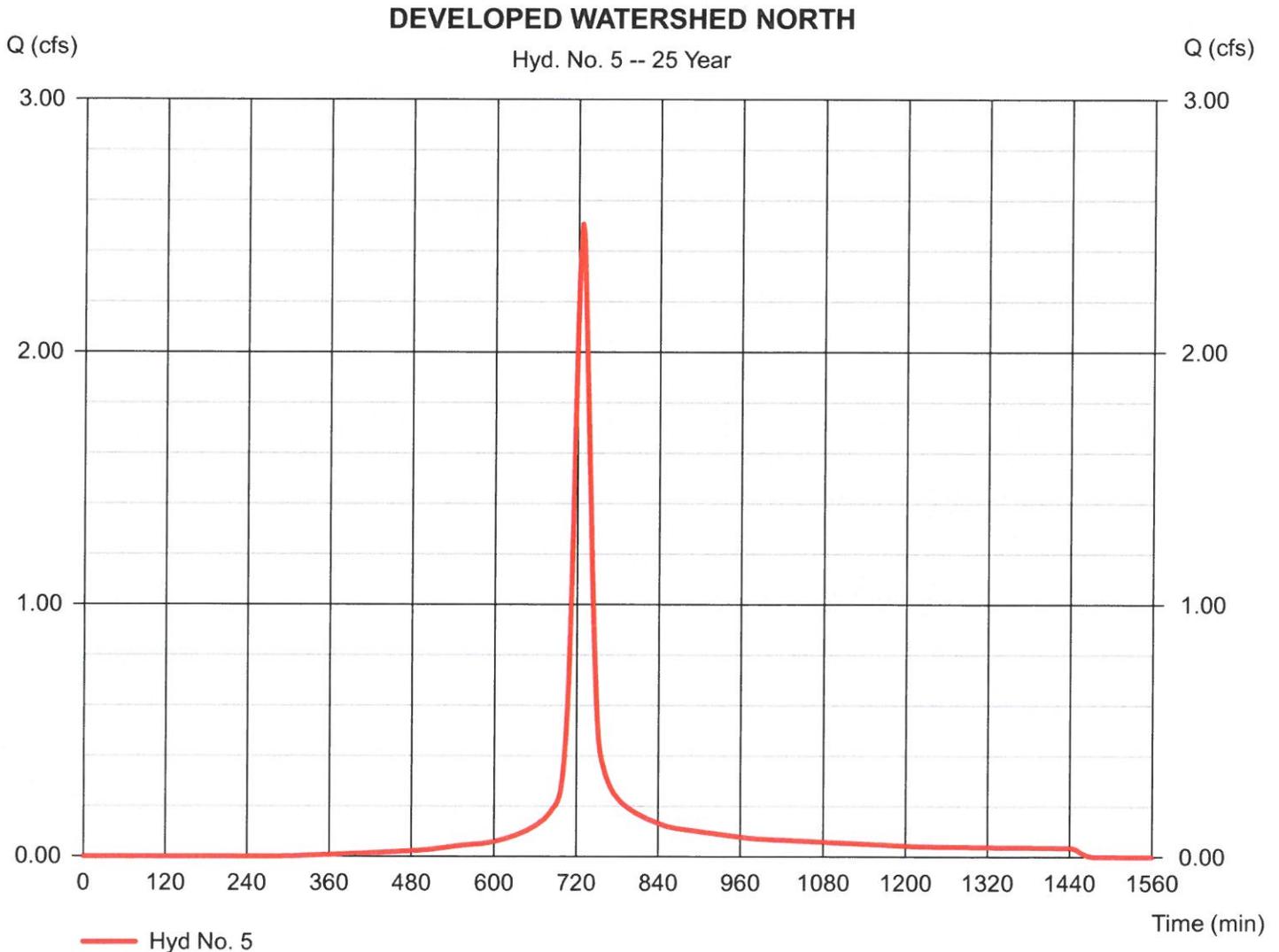
Hydrograph Report

Hyd. No. 5

DEVELOPED WATERSHED NORTH

Hydrograph type	= SCS Runoff	Peak discharge	= 2.507 cfs
Storm frequency	= 25 yrs	Time to peak	= 726 min
Time interval	= 2 min	Hyd. volume	= 8,787 cuft
Drainage area	= 0.570 ac	Curve number	= 86*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 22.67 min
Total precip.	= 5.75 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(0.290 x 80) + (0.150 x 95) + (0.130 x 89)] / 0.570



Hydrograph Summary Report

Hydraflow Hydrographs by Intelisolve v9.22

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph description
1	SCS Runoff	8.923	2	718	21,025	----	-----	-----	EXISTING WATERSHED SOUTH
2	SCS Runoff	2.928	2	718	6,899	----	-----	-----	EXISTING WATERSHED NORTH
4	SCS Runoff	6.491	2	724	21,277	----	-----	-----	DEVELOPED WATERSHED SOUT
5	SCS Runoff	2.836	2	726	9,989	----	-----	-----	DEVELOPED WATERSHED NORT
LANDIE CONSTRUCTION NOTCH RD-WATER POLLUTION CONTROL								Friday, Apr 30, 2021	

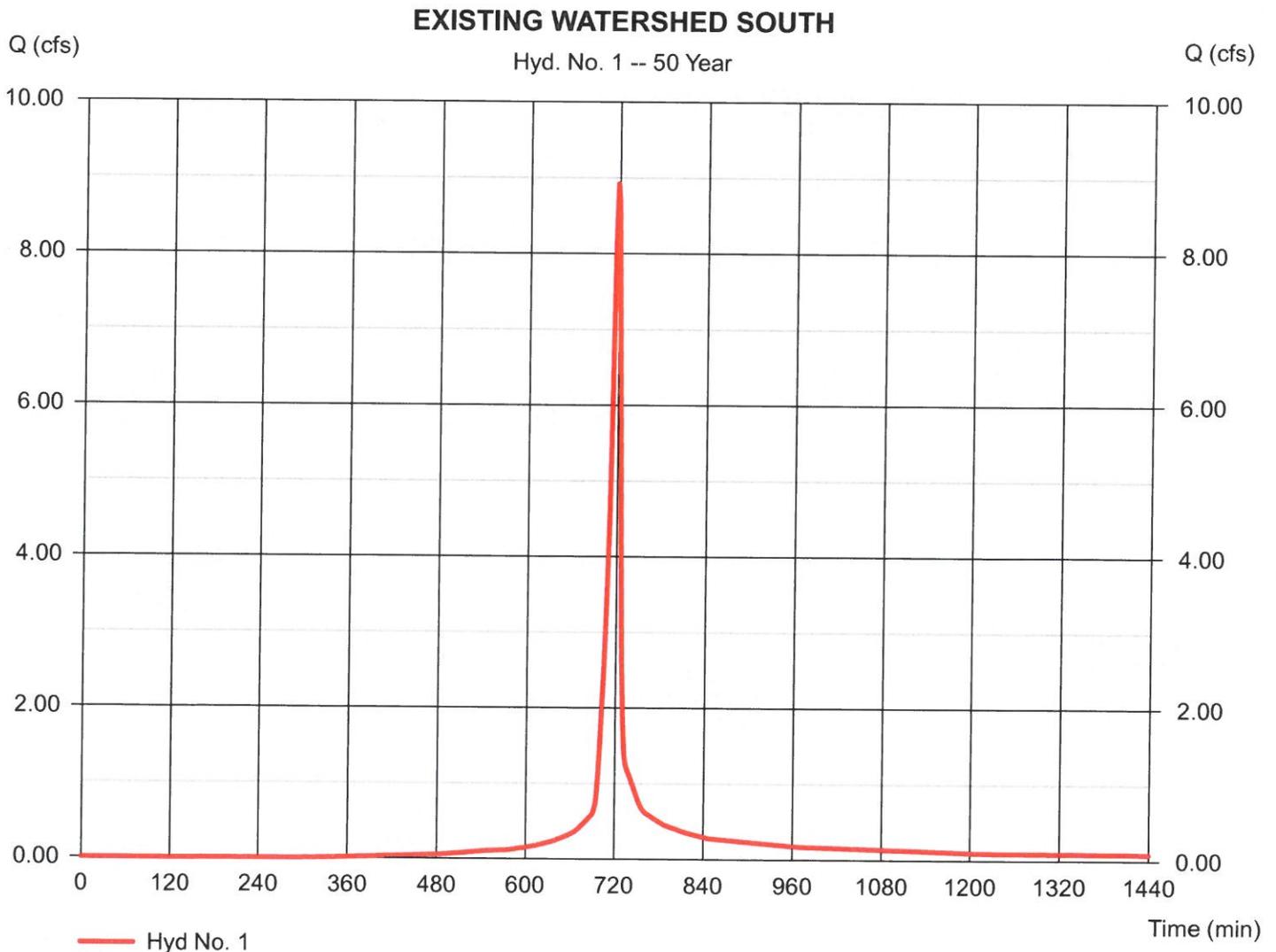
Hydrograph Report

Hyd. No. 1

EXISTING WATERSHED SOUTH

Hydrograph type = SCS Runoff
Storm frequency = 50 yrs
Time interval = 2 min
Drainage area = 1.280 ac
Basin Slope = 0.0 %
Tc method = TR55
Total precip. = 6.35 in
Storm duration = 24 hrs

Peak discharge = 8.923 cfs
Time to peak = 718 min
Hyd. volume = 21,025 cuft
Curve number = 84
Hydraulic length = 0 ft
Time of conc. (Tc) = 9.80 min
Distribution = Type II
Shape factor = 484



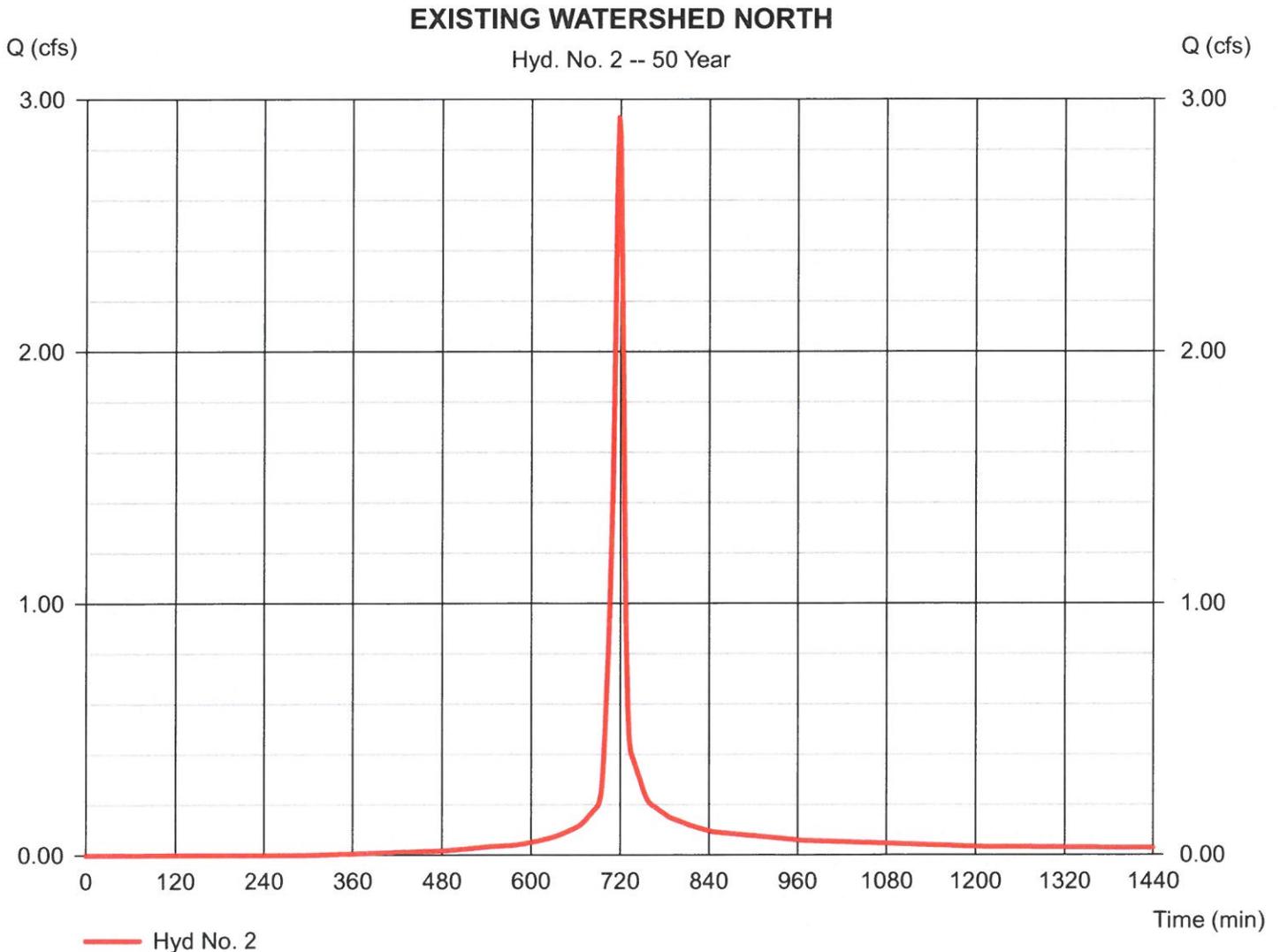
Hydrograph Report

Hyd. No. 2

EXISTING WATERSHED NORTH

Hydrograph type = SCS Runoff
Storm frequency = 50 yrs
Time interval = 2 min
Drainage area = 0.420 ac
Basin Slope = 0.0 %
Tc method = TR55
Total precip. = 6.35 in
Storm duration = 24 hrs

Peak discharge = 2.928 cfs
Time to peak = 718 min
Hyd. volume = 6,899 cuft
Curve number = 84
Hydraulic length = 0 ft
Time of conc. (Tc) = 7.66 min
Distribution = Type II
Shape factor = 484



Hydrograph Report

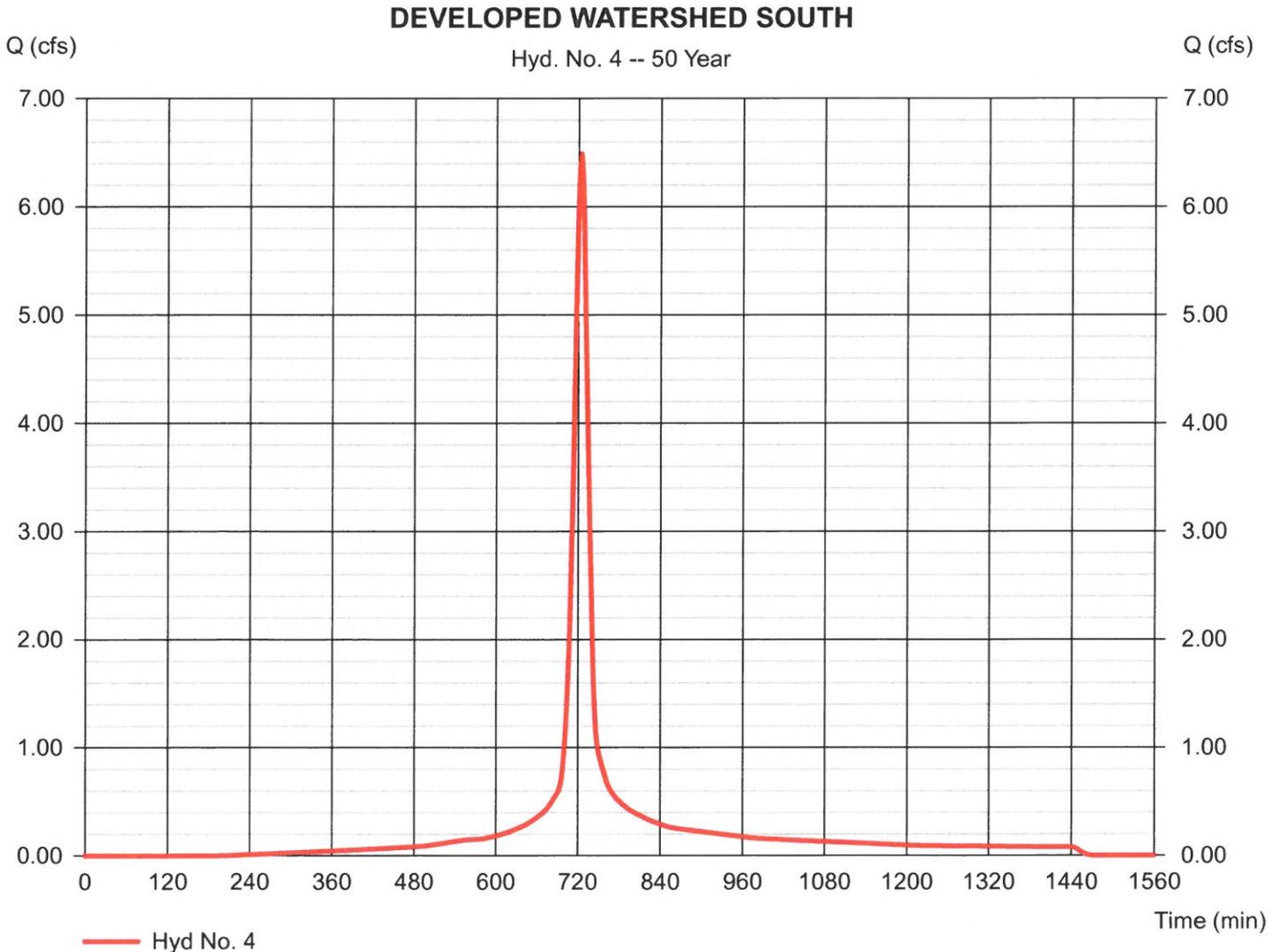
Hyd. No. 4

DEVELOPED WATERSHED SOUTH

Hydrograph type = SCS Runoff
Storm frequency = 50 yrs
Time interval = 2 min
Drainage area = 1.130 ac
Basin Slope = 0.0 %
Tc method = TR55
Total precip. = 6.35 in
Storm duration = 24 hrs

Peak discharge = 6.491 cfs
Time to peak = 724 min
Hyd. volume = 21,277 cuft
Curve number = 90*
Hydraulic length = 0 ft
Time of conc. (Tc) = 19.10 min
Distribution = Type II
Shape factor = 484

* Composite (Area/CN) = [(0.320 x 80) + (0.720 x 95) + (0.090 x 89)] / 1.130



Hydrograph Report

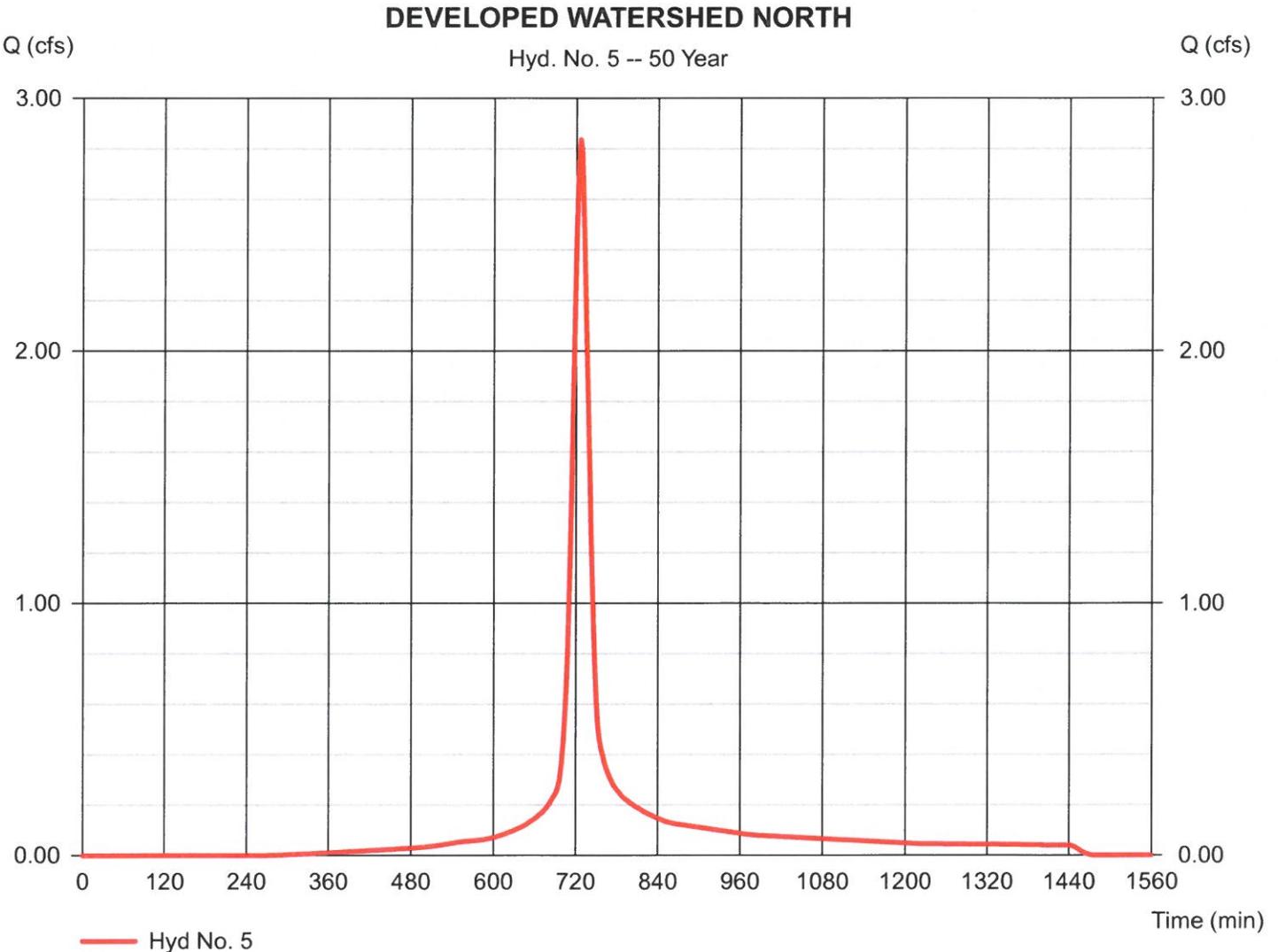
Hyd. No. 5

DEVELOPED WATERSHED NORTH

Hydrograph type = SCS Runoff
Storm frequency = 50 yrs
Time interval = 2 min
Drainage area = 0.570 ac
Basin Slope = 0.0 %
Tc method = TR55
Total precip. = 6.35 in
Storm duration = 24 hrs

Peak discharge = 2.836 cfs
Time to peak = 726 min
Hyd. volume = 9,989 cuft
Curve number = 86*
Hydraulic length = 0 ft
Time of conc. (Tc) = 22.67 min
Distribution = Type II
Shape factor = 484

* Composite (Area/CN) = [(0.290 x 80) + (0.150 x 95) + (0.130 x 89)] / 0.570



Hydrograph Summary Report

Hydraflow Hydrographs by Intelisolve v9.22

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph description
1	SCS Runoff	10.07	2	718	23,882	---	-----	-----	EXISTING WATERSHED SOUTH
2	SCS Runoff	3.304	2	718	7,836	---	-----	-----	EXISTING WATERSHED NORTH
4	SCS Runoff	7.241	2	724	23,886	---	-----	-----	DEVELOPED WATERSHED SOUT
5	SCS Runoff	3.192	2	726	11,300	---	-----	-----	DEVELOPED WATERSHED NORT
LANDIE CONSTRUCTION NOTCH RD-WATER DIVISION								Friday, Apr 30, 2021	

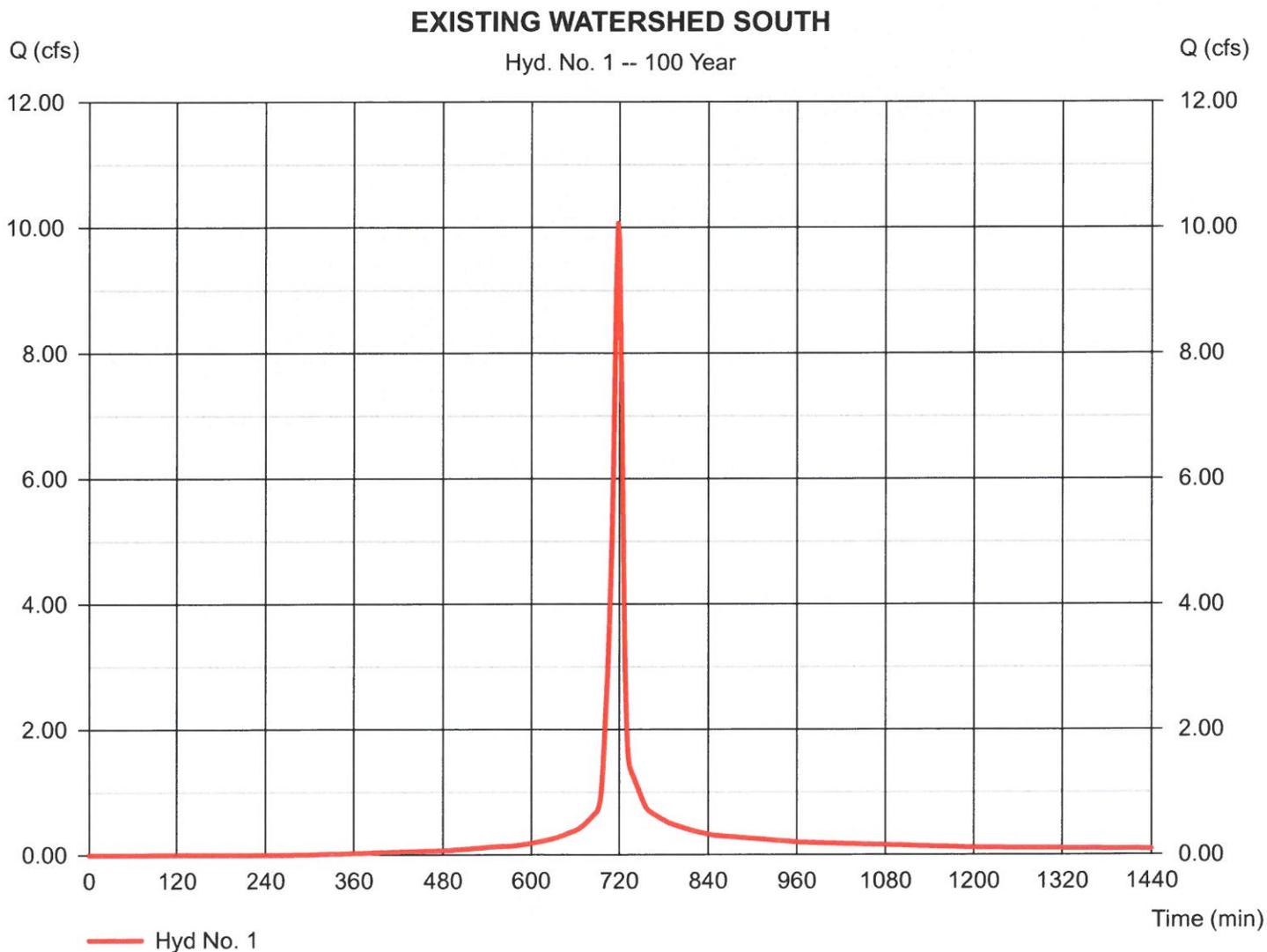
Hydrograph Report

Hyd. No. 1

EXISTING WATERSHED SOUTH

Hydrograph type = SCS Runoff
Storm frequency = 100 yrs
Time interval = 2 min
Drainage area = 1.280 ac
Basin Slope = 0.0 %
Tc method = TR55
Total precip. = 7.00 in
Storm duration = 24 hrs

Peak discharge = 10.07 cfs
Time to peak = 718 min
Hyd. volume = 23,882 cuft
Curve number = 84
Hydraulic length = 0 ft
Time of conc. (Tc) = 9.80 min
Distribution = Type II
Shape factor = 484



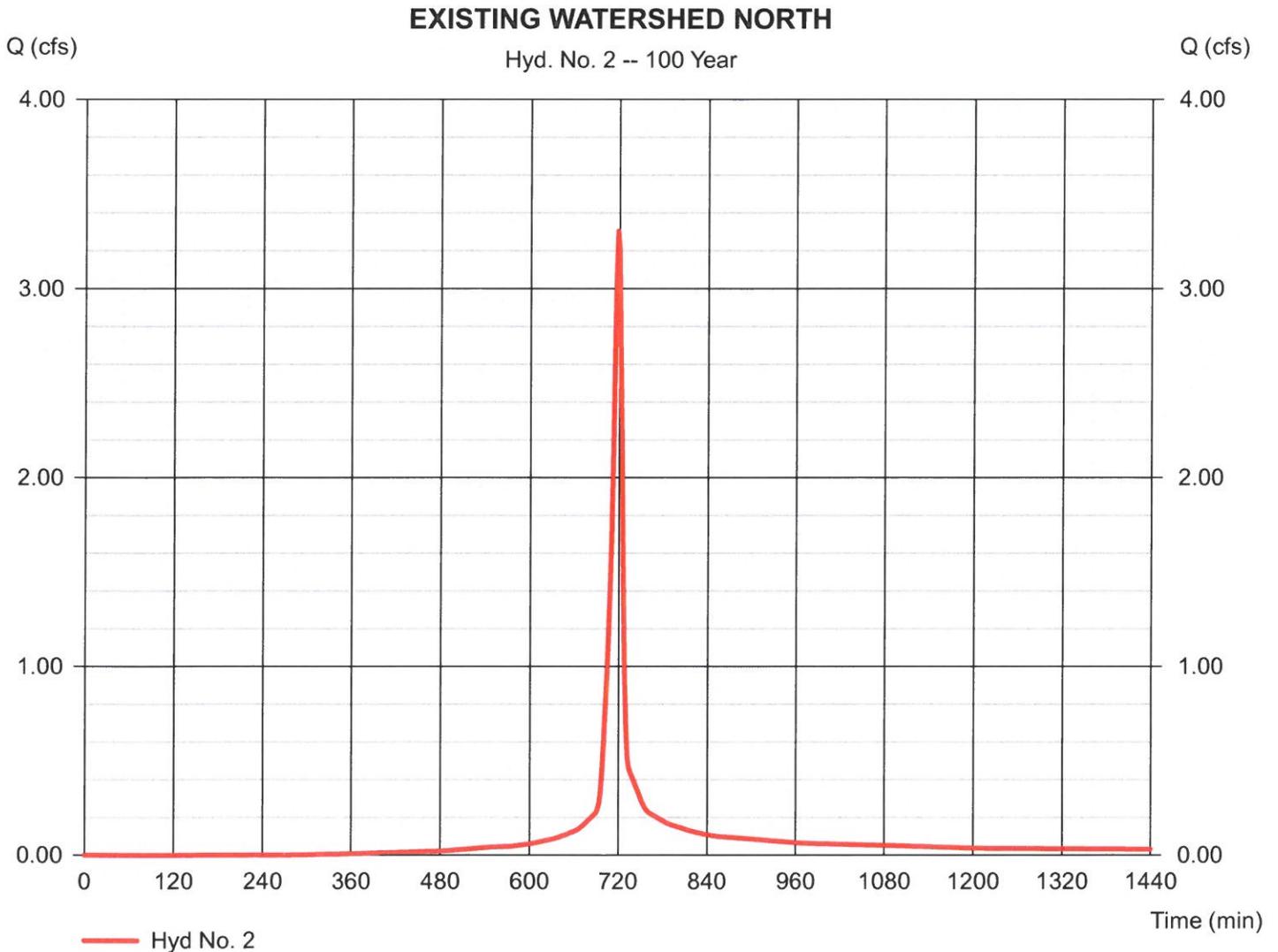
Hydrograph Report

Hyd. No. 2

EXISTING WATERSHED NORTH

Hydrograph type = SCS Runoff
Storm frequency = 100 yrs
Time interval = 2 min
Drainage area = 0.420 ac
Basin Slope = 0.0 %
Tc method = TR55
Total precip. = 7.00 in
Storm duration = 24 hrs

Peak discharge = 3.304 cfs
Time to peak = 718 min
Hyd. volume = 7,836 cuft
Curve number = 84
Hydraulic length = 0 ft
Time of conc. (Tc) = 7.66 min
Distribution = Type II
Shape factor = 484



Hydrograph Report

Hydraflow Hydrographs by Intelisolve v9.22

Friday, Apr 30, 2021

Hyd. No. 4

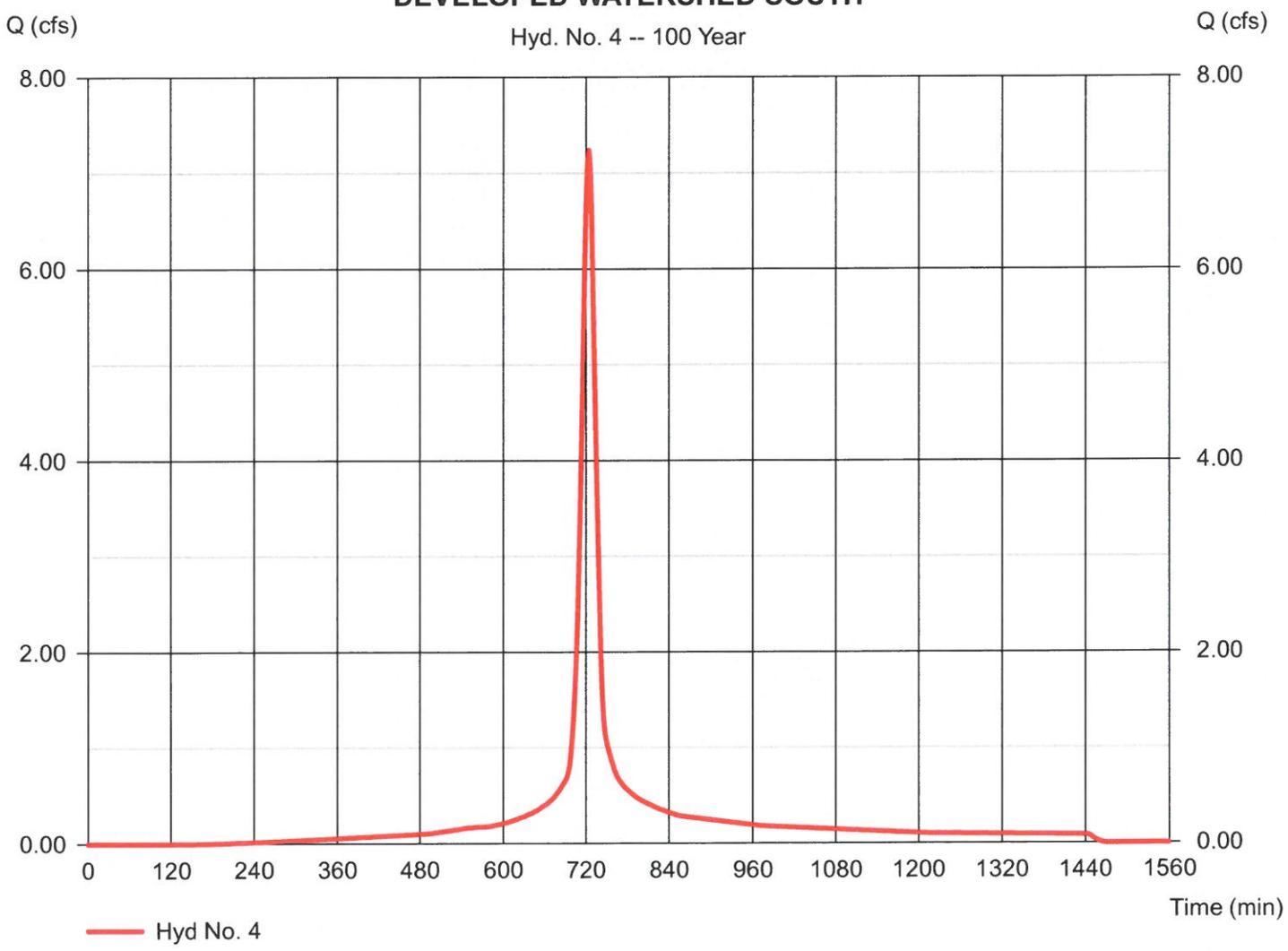
DEVELOPED WATERSHED SOUTH

Hydrograph type = SCS Runoff
 Storm frequency = 100 yrs
 Time interval = 2 min
 Drainage area = 1.130 ac
 Basin Slope = 0.0 %
 Tc method = TR55
 Total precip. = 7.00 in
 Storm duration = 24 hrs

Peak discharge = 7.241 cfs
 Time to peak = 724 min
 Hyd. volume = 23,886 cuft
 Curve number = 90*
 Hydraulic length = 0 ft
 Time of conc. (Tc) = 19.10 min
 Distribution = Type II
 Shape factor = 484

* Composite (Area/CN) = [(0.320 x 80) + (0.720 x 95) + (0.090 x 89)] / 1.130

DEVELOPED WATERSHED SOUTH



Hydrograph Report

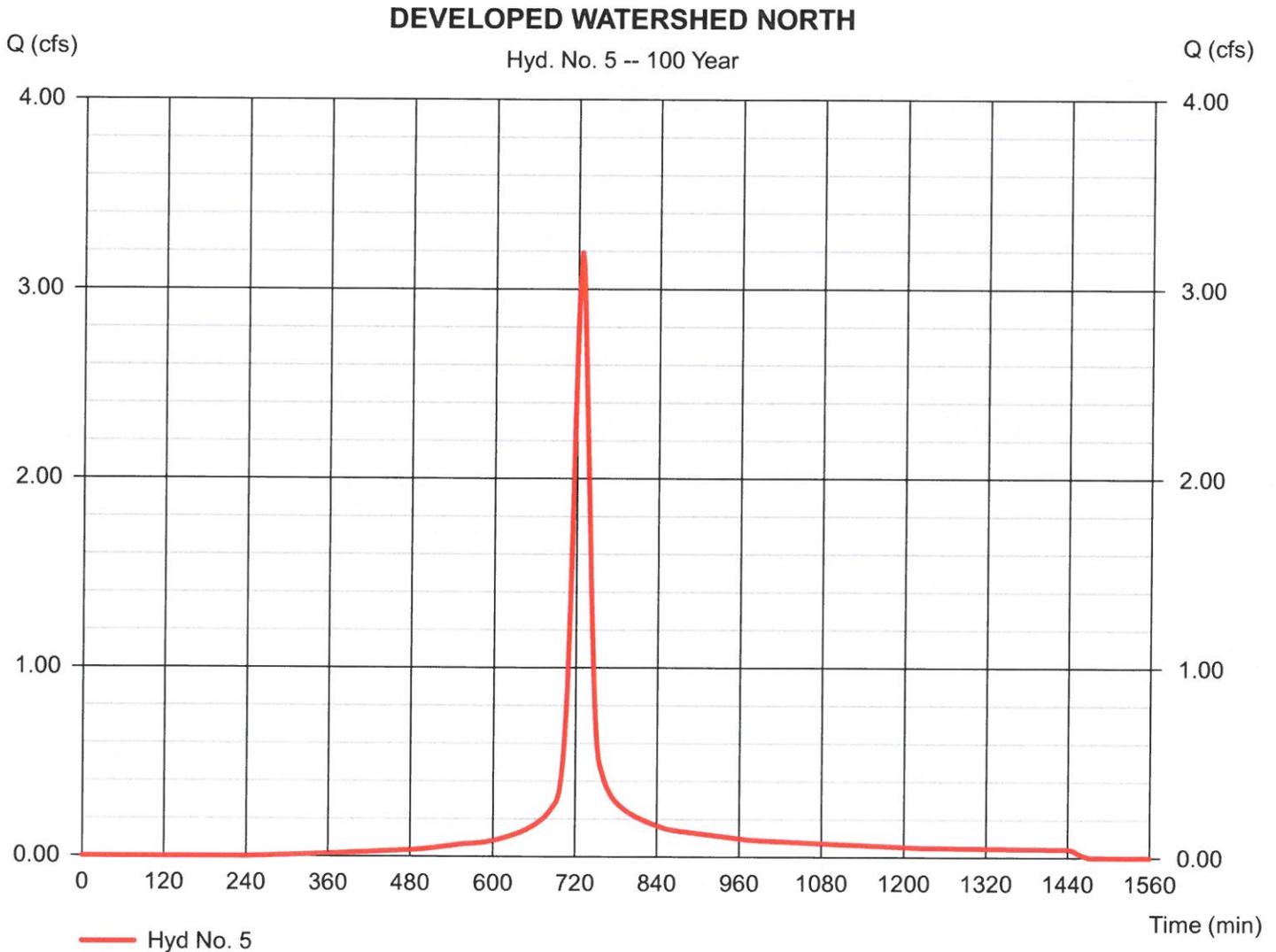
Hyd. No. 5

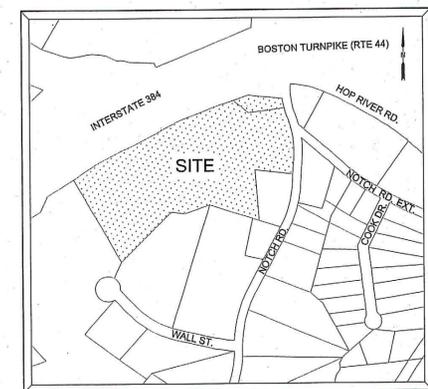
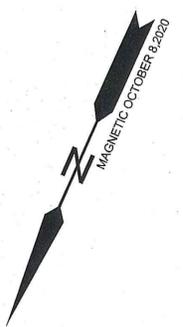
DEVELOPED WATERSHED NORTH

Hydrograph type = SCS Runoff
Storm frequency = 100 yrs
Time interval = 2 min
Drainage area = 0.570 ac
Basin Slope = 0.0 %
Tc method = TR55
Total precip. = 7.00 in
Storm duration = 24 hrs

Peak discharge = 3.192 cfs
Time to peak = 726 min
Hyd. volume = 11,300 cuft
Curve number = 86*
Hydraulic length = 0 ft
Time of conc. (Tc) = 22.67 min
Distribution = Type II
Shape factor = 484

* Composite (Area/CN) = $[(0.290 \times 80) + (0.150 \times 95) + (0.130 \times 89)] / 0.570$





KEY MAP
SCALE 1"=400'

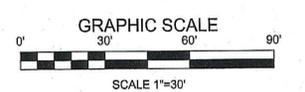
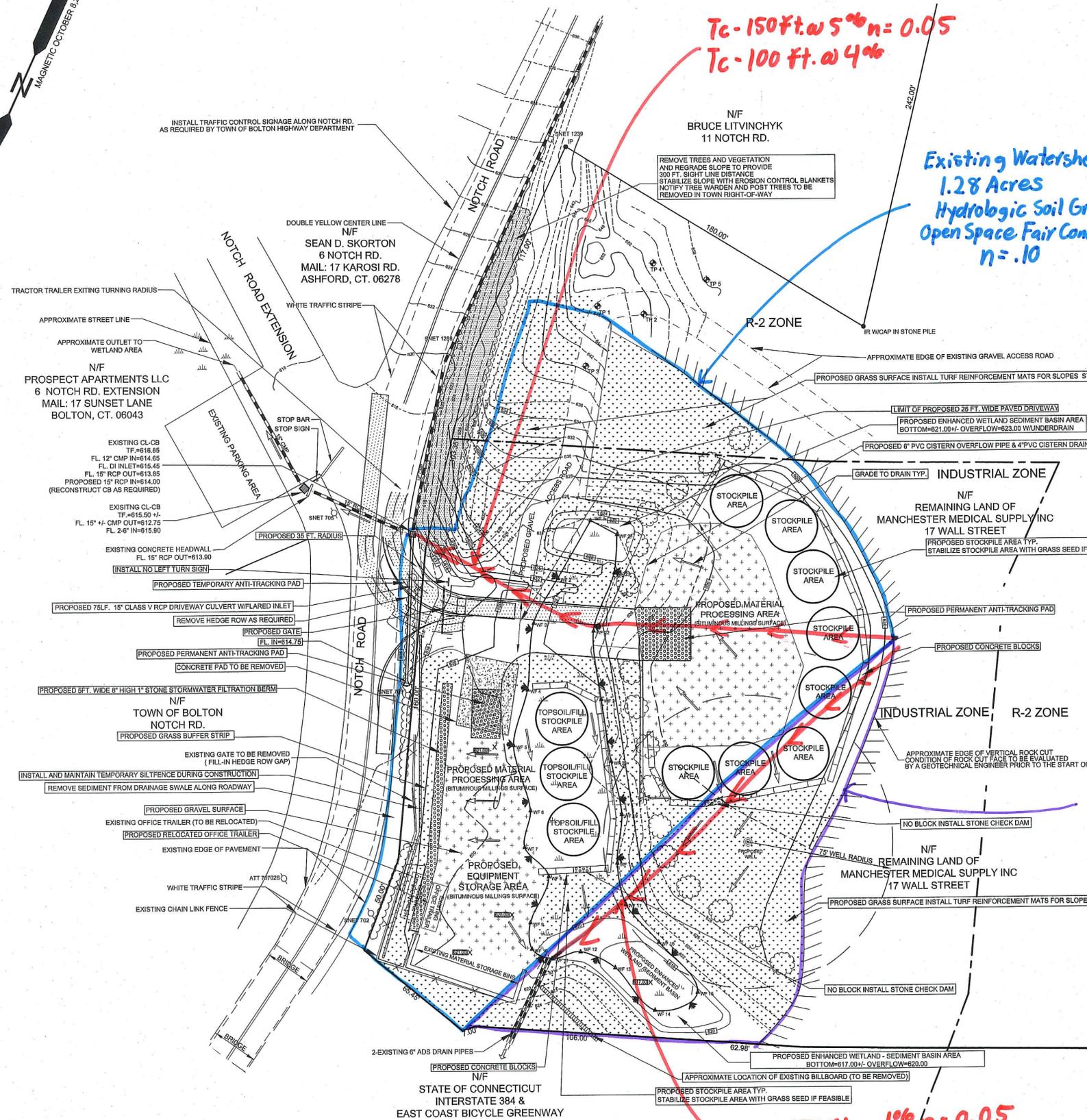
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AREA OF WETLANDS ELIMINATED: 8,284 SQ. FT. 0.19 ACRES +/-
AREA OF WETLANDS ENHANCED: 1,570 SQ. FT. 0.04 ACRES +/-

LEGEND

- EXISTING MERESTONE
- IRON ROD TO BE SET
- EXISTING IRON ROD
- PROPOSED WELL
- PROPOSED SILT FENCE / LIMIT OF DISTURBANCE
- LIMIT OF DISTURBANCE
- STONE WALL
- EXISTING UTILITY POLE
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- PROPOSED CONTOUR
- TEST HOLE
- PERCO PERCOLATION TEST
- EDGE OF FIELD LOCATED WETLANDS
- WETLANDS FLAG
- PROPOSED UNDERGROUND UTILITIES



*Tc - 150ft. @ 5% n = 0.05
Tc - 100ft. @ 4%*

*Existing Watershed South
1.28 Acres
Hydrologic Soil Group D
Open Space Fair Condition
CN = 84
n = .10*

*Existing Watershed North
0.42 Acres
Hydrologic Soil Group D
Open Space Fair Condition
CN = 84
n = .10*

*Tc - 150ft. @ 1% n = 0.05
Tc - 90ft. @ 10%*

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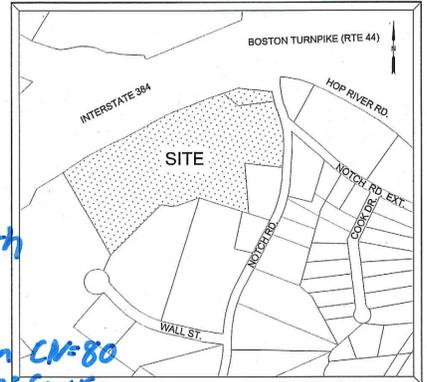
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PLAN PREPARED FOR			
LANDIE CONSTRUCTION			
17 WALL STREET			BOLTON, CT.
SITE PLAN			
SCALE: 1"=30'	DATE: 2/20/2020	FILE NO. 2017-1	SHEET: 1 OF 2
BUSHNELL ASSOCIATES LLC.			
CIVIL ENGINEERING AND LAND SURVEYING			
563 WOODBRIDGE STREET		MANCHESTER, CT. 06042	
860-643-7875			
REVISIONS: 5/18/2020, 7/16/2020, 7/23/2020, 8/12/2020, 9/1/2020, 10/8/2020, 11/10/2020, 3/1/2021, 4/29/2021			



*Developed Watershed South
Hydrologic Soil Group D
1.13 Acres
0.32 Acres Grass Good Condition CN=80
0.72 Acres Driveway + Milling Surface +
Sediment Basin CN=95
0.09 Acres Stockpile
Area CN=89*

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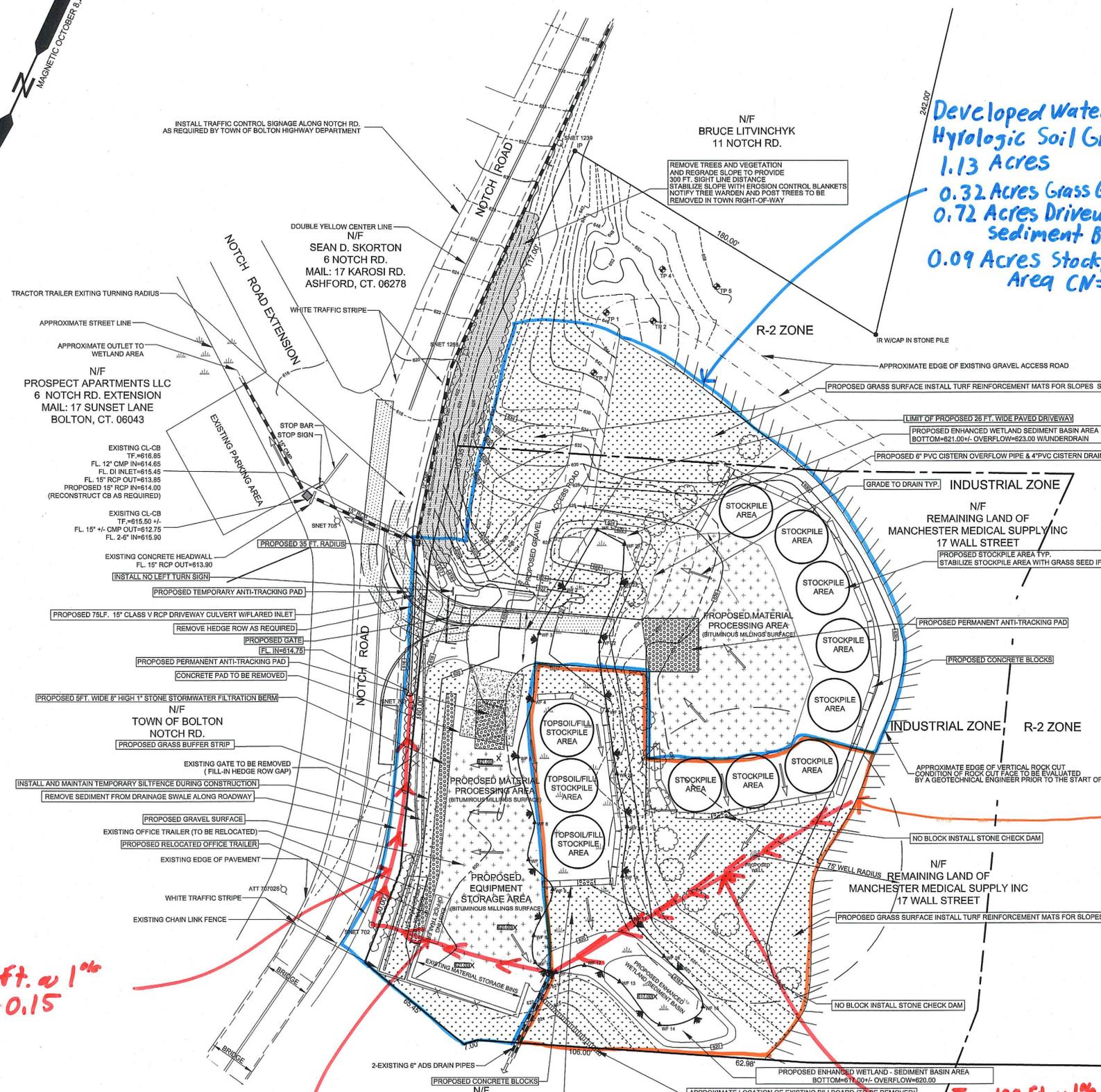
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Hydrologic Soil Group D
0.57 Acres
0.29 Acres Grass Good Condition CN=80
0.15 Acres Milling Surface + Sediment Basin
0.13 Acres Stockpile Area CN=89 CN=95*

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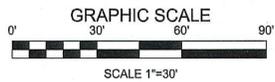
Tc 155ft. @ 1% n=0.15

Tc 60ft. @ 1% n=0.1

*Tc-100ft. @ 1% n=0.20
Tc-30ft. @ 20% n=0.20
Tc-20ft. @ 1% n=0.20
Tc-20ft @ 1%*

LEGEND

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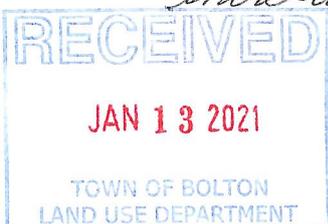


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LANDIE CONSTRUCTION			
17 WALL STREET		BOLTON, CT.	
SITE PLAN			
SCALE: 1"=30'	DATE: 2/20/2020	FILE NO. 2017-1	SHEET: 1 OF 2
BUSHNELL ASSOCIATES LLC. CIVIL ENGINEERING AND LAND SURVEYING 563 WOODBRIDGE STREET MANCHESTER, CT. 06042 860-643-7875			
REVISIONS: 5/18/2020, 7/16/2020, 7/23/2020, 8/12/2020, 9/1/2020, 10/8/2020, 11/10/2020, 3/1/2021, 4/29/2021			

1/13/21

This letter is to address my concerns regarding the quarry property which is located on Notch Rd and directly abuts my property at 11 Notch Rd.

1. I was told by a town official that I would be contacted by the prospective buyer in regards to his plans for the quarry property since it abuts my property. I have not been contacted.
2. How close to my property will trees be cut and how close will the septic system be?
3. Will a wind break buffer of trees be planted at property line?
4. How will the amount of running water from the quarry road hill (the dirt rd) in the spring time impact the septic system?
5. There is to be no rock crushing or quarrying. Permit to do so was forfeited by Mr Galbot, and the town paid the permit would never be renewed.
6. What will be done to keep mud off the road?
7. No jack brake to be used on street.
8. Hours of operation? No Sundays.
9. Can do nothing to enlarge usable property.
10. No jack hammering or blasting.
11. What kind of security lighting will be used?
12. How much traffic will there be during the hours of operation?
13. For safety reasons I am concerned about large vehicles using the road during the time when children or parents may be walking or riding a bicycle to or from school. There is also a safety issue when the school buses are going to or leaving from the school.
14. Many people walk this road in all seasons and there are no sidewalks.



Bruce Litvinchyk
Bruce Litvinchyk
11 NOTCH RD
BOLTON CT 06043
860-649-9712
EVENINGS

From: Barry Stearns [mailto:stearnse6329@sbcglobal.net]
Sent: Saturday, May 08, 2021 3:15 PM
To: Carson, Patrice <pcarson@boltonct.org>
Subject: Special Permit Application PL #21-1 Landie Construction, LLC

I will be out of town the evening of May 12th so I will not be able to attend the public hearing. Please forward my comments to the Planning and Zoning Commission to be included in the public hearing.

Attached you will find my input from both the Nov. 18th P&Z Public Hearing and additional comments for the May 12th public hearing. I am sending both for review by the Planning & Zoning Commission.

After going over the new application for this property I am even more concerned about the proposal for the use of this property. It appears that the primary use of this property will now be to store and process material.

As the president of the Cook Drive Water Association, Inc. and as a 47 year resident of Cook Drive I believe that the approval of this application will be a threat to our community well and will affect the quality of life in our community. I urge the P & Z to deny this application.

If you have any questions please feel free to contact me.

Barry Stearns
21 Cook Drive
(860)649-8250

Nov. 18th P&Z Public Hearing -William Phillips Special Permit Application #PL-20-12 for a proposed garage/office building, excavation business, equipment storage and materials processing

My name is Barry Stearns and I live at 21 Cook Drive, Bolton, CT.

I have some concerns and questions about the application being discussed tonight. Some of my concerns are because I live in the neighborhood. Some are in my capacity as the President of The Cook Drive Water Association, Inc. which is responsible for the safe operation and maintenance of a Community Well providing water to 19 homes on Cook Drive and Notch Road Extension. This well has been providing water to our community for almost 70 years.

Our well property is not an actual abutter of the quarry property but it is located approximately 200' from the property. In none of the Inland Wetlands and P & Z minutes that I have read has there been any mention of this Community Well. It is also not mentioned in any of the applications that I have found and read. The well property is very small and we do not have anywhere else to drill a new well should something happen to our current well.

Listed below are the major concerns:

1. Cook Drive Water Association, Inc. Well

We would like to know why no consideration was given to any impact this project may have on the Cook Drive Water Association well and water system?

2. Stockpile Areas

What exactly is going to be stored in the Stockpile areas shown on the site plan prepared for Landie Construction. What is going to be required of the applicant to ensure that there will be no runoff or leaching of any materials which could affect the ground water in our neighborhood? Are there any restrictions on what can be stored?

3. Traffic Impact

What is the traffic impact going to be on Notch Road? There are very few trucks going up Notch Road at this time and the applicant has stated that they will not be going out to 6 & 44 but rather will be going up Notch Road to leave the site. Their vehicles and their vendor vehicles will be entering from 6 & 44. How much truck traffic will this add to Notch Road?

4. Noise and Dust

The State of Connecticut DOT clear cutting of all of the trees around the 6 & 44 intersection has led to a dramatic increase in traffic noise in our normally quiet neighborhood. We are concerned that the addition of a contracting company and its operations will only add to the noise problem. In a conversation that I had with Mr. Phillips I asked him why he was moving from his present location. He said that he was getting noise complaints from a neighbor. The quarry site is surrounded by residential zones and the noise problem will persist.

When the quarry was operational there were problems with dust and mud on Notch Road from vehicles exiting the quarry. What is going to be done to insure that this problem will not return when Landie becomes operational. Also, there was an agreement with the previous operators at this property that they would not start up until 8:00am. Can this start up time be part of the approval of this application.

5. Intersection of Notch Road and 6 & 44

As a 46 year resident of Cook Drive I have seen and experienced all kinds of problems with the intersection of Notch Road and Rtes. 6 & 44. As you know, the state has a plan in motion to reroute Notch Road to the west, through the old quarry property to bring this intersection into compliance with a conforming, safe intersection. What is going to happen when that plan becomes a reality?

I ask the Planning & Zoning Commission to not approve this Special Permit as I and the Cook Drive/Notch Road Extension community feel that it is a threat to our water supply and the quality of life for our community.

If you do decide to approve this application I would like to see the following conditions added to the approval:

1. No activity at the site until 8:00am.
2. No blasting will be allowed.
3. Mr. Phillips told me that rock crushing and screening will be limited to no more than 4 times per year for a few days each time. Please add that as a condition.
4. All truck traffic entering **and** leaving the site must not use the Notch Road and 6 & 44 intersection.

May 12, 2021 Public Hearing Special Permit Application #PL-21-1

In reviewing the latest application for the use of the old quarry property some more questions have come up.

1. Regulation 16B-3-g requires applicant to notify all abutting landowners within 500 feet no less than 10 days prior to the public hearing. As of May 8, 2021 I have not been notified nor have any others within 500 feet been notified by the applicant.
2. Material processing now seems to be the main reason for this application. It is also an extremely noisy and dusty operation. This is not something that the owners on Notch Road Extension and Cook Drive want. When the quarry was operational we had constant battles about both noise and dust which were never resolved. I believe that the reason was because of some type of “grandfather clause” which allowed them to continue. The quarry has not been operated for years so that should not still be in effect.
3. Nowhere on the site map do I see a water supply (well) nor any sanitary sewer plans for the workers who will be there. What will be done about that?
4. There is still no list of what is going to be stored in the stockpile areas. In the narrative Landie Construction, LLC states that only “clean materials” will be stored at this location. What exactly are “clean materials”?
5. When it comes to noise Landie Construction states that it “shall employ all appropriate measures to minimize noise pollution”. Not only do they not list these measures, for some reason they point out that the property is located at the intersection of routes 6, 44 and 384 as if this is some reason not to worry about noise. The noise in the Cook Drive-Notch Road Extension area from that intersection has increased dramatically since the state decided to clear cut all trees and vegetation from that area. Material processing will only add to that noise pollution.

Barry Stearns
21 Cook Drive
Bolton, CT 06043
(860)649-8250

We the neighborhoods of Notch Road and Notch Road Extension have many concerns about the current application to establish an excavation business in the Bolton Quarry area.

Because of the Pandemic, there is no normal anymore. Working hours have changed. Working from home is common, school days and hours are variable. Because of this, there is more stress in our lives trying to make ends meet.

I would like to address several items that will affect the health, safety and wellbeing of the surrounding neighborhood and the residents all along Notch Road and its side streets if this application is accepted.

The items to be addressed here are:

- A) Previous Owners of the quarry
- B) Wells and their proximity to the quarry
- C) Noise from industrial operations of the applicant
- D) Excessive Dust from daily operations
- E) Traffic in a non-conforming intersection
- F) Wetlands / Water Quality on applicant's property
- G) Property Values

A) Previous owners:

Excessive noise and dust were only some of our problems we had with the previous owners. When we notified the state (DEEP) of noise issues, their response was that there were only 2 noise measuring meters in the state and they were not available at the time we made the noise complaints. They said we could make an appointment to borrow the noise meters. How do you make an appointment for this for when excessive noise is happening on an intermittent basis?

Excessive mud and dust were another issue. We actually had 2 to 3 inches of mud on Notch Road that was dragged out by the trucks on a daily basis. The mud dried into dust when other cars drove through it and we breathed in that dust. The state response was to send me a piece of plexiglass about 4 x6 inches to put on my windowsill outside for two weeks to collect dust samples. The rain kept washing it off.

If you have visited the quarry you will see that nothing was done to reclaim the landscape. It remains a blighted area. The original trailer is falling apart with old tires and debris scattered about the grounds. I do not have the original application from the previous owners, but I do recall that they were supposed to reclaim that area by adding trees, leveling it off and cleaning it up. Only trees were planted along Notch Road so the blight would not be easily seen.

Have any fines ever been issued to the owners of this property for violations of noise, or dust or for not fulfilling the permit requirements? Is it common for a minimum fifty-dollar fine for each violation for every day of that violation? Are we going to collect any fines for not reclaiming the site, or for any violations in the future? Will the future applicant be subject to any fines for violations of their permit and, if so, who will monitor and enforce these requirements?

B) Wells

There are at least 3 wells within 500 feet of the quarry. Two of them are community wells; Cook Drive Water Association consisting of 19 homes and The Prospect Apartments of 6 units. Other wells are individual wells, both shallow and deep, approximately within 700 feet of the quarry.

Any blasting or grading activity poses a threat to all these wells. If any equipment has a leakage problem just one quart of oil or transmission fluid or hydraulic fluid can contaminate up to a quarter million gallons of drinking water or cause an oil slick almost 2 acres in size. There is no amount of mitigation that will help if something goes wrong.

C) Noise:

When considering noise from large vehicles, especially large trucks, we have to consider that noise can be compounded by:

- 1) The nearby topography
- 2) Distance to the observe

One: Topography – The landscape changes dramatically along Notch Road.

At the bottom of Notch Road (at approximately 6 Notch Road) there is a steep incline. Please see (Figure 1) for slope information that was taken from a US Geological Survey Map. This data shows a max slope of approximately 10 percent at the intersection of Notch Road and Notch Road ext. A steep incline is considered to be above 6 percent.

The nearest resident on Notch Road is several feet from the edge of the road and at a 10 percent incline. There is a rock berm directly across Notch Road from the resident's home. As heavily loaded trucks leave the quarry and begin the steep incline, using very low gears, and high RPM's, that vehicle will produce max noise levels.

At the August 12, 2020 P&Z Meeting, Mr. Phillips stated that his trucks would not be any noisier than other trucks. That is, at best, misleading. The land plays a large part in the amount of noise that can be heard by the homeowner. Because there is a large berm across the street at road level there will be secondary noise emission. As the noise from the trucks bounce off the berm it will be added to the original noise generated by the truck. Since there are no grasses or natural materials, like trees, to absorb any of the noise, it will bounce off the solid road surface and further add to the original noise started by the truck.

Another noise consideration. The shape of the existing rock quarry wall causes noise to be amplified, directly impacting residents on Notch Rd Ext. and Cook Drive. That wall is definitely reflective. See (Figure 2)

Two: Distance from the noise source to the homeowner. Consider a fully loaded truck coming down the steep incline using their engine and lower gears to slow down. We all have heard the extremely loud exhaust noise that is created when a large truck is using those low gears to slow down. This will be an extreme annoyance and stress factor to the residents in the surrounding neighborhoods.

Other noise issues.

Loud noise from materials being dumped into an empty truck. A large boulder drop, is like hitting a large base drum. It is startling because you don't expect it. Repeated impact noise is also annoying and stressful to the neighboring residents.

Rock crushers and sifters are noise issues. Equipment that process concrete, asphalt and gravel, powered by a diesel engine is excessively noisy. Mr. Phillips has indicated that the rock crusher would only be rented for several days a year. Are we expected to endure it just because it's a couple of times a year?

D) Dust:

There is mica in the quarry. Repeated high exposure to mica causes fibrosis in the lungs and scarring of the lung tissue. This results in the chronic coughing and shortness of breath typical of pneumoconiosis. The carcinogenic effects of mica are unclear but considering other known health effects it is probably best to avoid exposure as much as possible. What assurances do we have that the excessive dust generated will be contained?

E) Traffic:

The intersection of Notch Road and I384 and Rt6 is designated as non-compliant by the DOT. Line of sight issues, no exit ramp, no on ramp, narrow bridge, a turning radius of more than 90 degrees, an extreme slope exactly at the turn onto Notch Road makes this an extremely dangerous intersection. It is frightening trying to get out of Notch Road onto I384 during rush hour. It will be even more dangerous if large vehicles are allowed to use this area at any time.

Although Mr. Phillips has indicated that his trucks will only exit the area by going up Notch Road, there is no guarantee that vendors or subcontractors for his company will not enter the non-conforming intersection and become a hazardous obstruction to town residents trying to enter or exit from Notch Road.

Included is the turning radius of a standard 30-foot truck with 20-foot wheelbase, overlaid on the site plan (Figure 3). Figure 3 shows that a truck of that size will not be able to enter or leave the site without crossing into oncoming traffic lanes and obstructing Notch Road Ext.

Is there is a turnaround planned in the industrial zone? If there is no plan these vehicles will need to back-out or back in using Notch Road as the turnaround. A low Boy trailer and truck, which carries large equipment and is typically 60 feet long, could cause a significant traffic backup onto I 384.

F) Wetlands:

As mentioned above, just one quart of oil, can contaminate up to a quarter million gallons of drinking water or cause an oil slick almost 2 acres in size. There is not a substantial buffer region to adequately protect the runoff that will occur from quarry operations. Catch basins are not very deep and will fill with sediment and be useless. Is there a plan in place to catch any petroleum products in the basins that could leak from vehicles or equipment?

Is it possible that the wetlands in front of the apartments could dry up due to the extra surface area that is being added by the stockpiles? They could easily add an extra 16,000 square feet of surface area due to the conical shape of the stockpile. Much of the processed material in the 8 stockpiles is reclaimed. What is in this material? Are there petroleum products or natural elements in large quantities (lime in concrete)? They could have an effect on the wetlands.

G) Property Values:

The design of a two-story metal building, 120 feet long and the proposed 50-foot stockpiles, plus the removal of existing trees will be unsightly. Presently we have a row of trees blocking a blighted area. What might be done to make this area look less obtrusive and how will the surrounding property values of the residents be impacted?

Conclusions:

In my opinion and the general consensus of the Cook Drive neighborhood, is that there is nothing in the proposed application that will maintain or protect our health, safety or wellbeing. If this application is approved, we will have stress and health issues due to excessive noise and dust, frustration due to increased traffic at a dangerous intersection, pollution of our water and damage to wetlands.

Stress from time spent around elevated noise levels has been linked with increased workplace accident rates and aggression and other anti-social behaviors. **The most significant sources are vehicles**, aircraft, prolonged exposure to loud music, and industrial noise.

If this application continues, it would be prudent to have an impact study done by the State of Connecticut.

An ERT (Environmental Review Team) should be assembled to ensure that there are no environmental elements that would be harmed before any excavation begins.

An ERT review consists of a natural resources inventory report assembled with summaries written by a team of environmental professionals drawn together from a variety of federal, state, regional and local agencies, and private consultants. Team members vary for each review conducted based on the concerns and requests mentioned in the application.

Thank you for reviewing our concerns. If you have any questions, please contact me.

Ron Beaudoin 860 649 487 860 682 5266 Cell

2 Cook Drive

Bolton, CT.

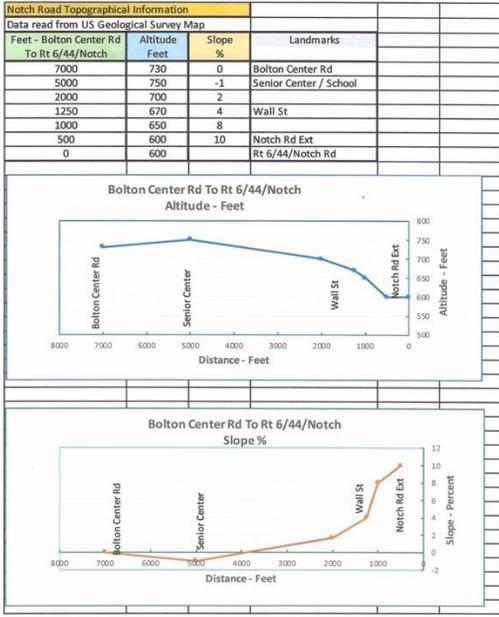
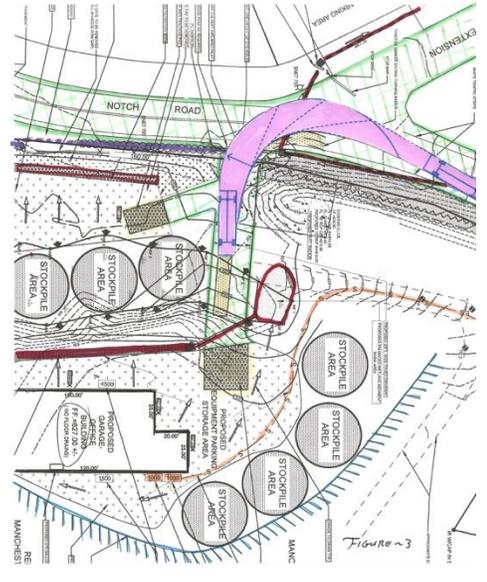
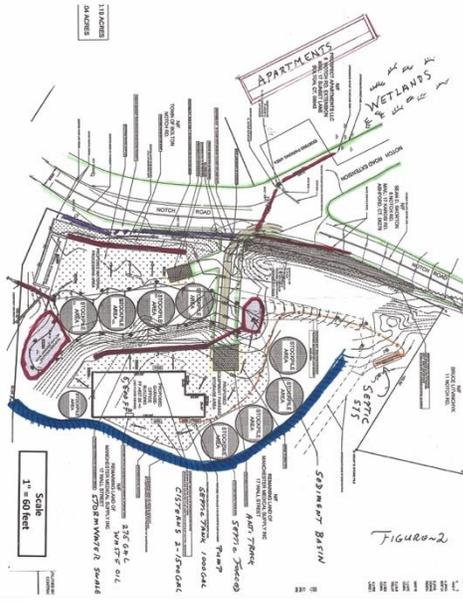


Figure ~ 1



Notch Road Topographical Information			
Data read from US Geological Survey Map			
Feet - Bolton Center Rd To Rt 6/44/Notch	Altitude Feet	Slope %	Landmarks
7000	730	0	Bolton Center Rd
5000	750	-1	Senior Center / School
2000	700	2	
1250	670	4	Wall St
1000	650	8	
500	600	10	Notch Rd Ext
0	600		Rt 6/44/Notch Rd

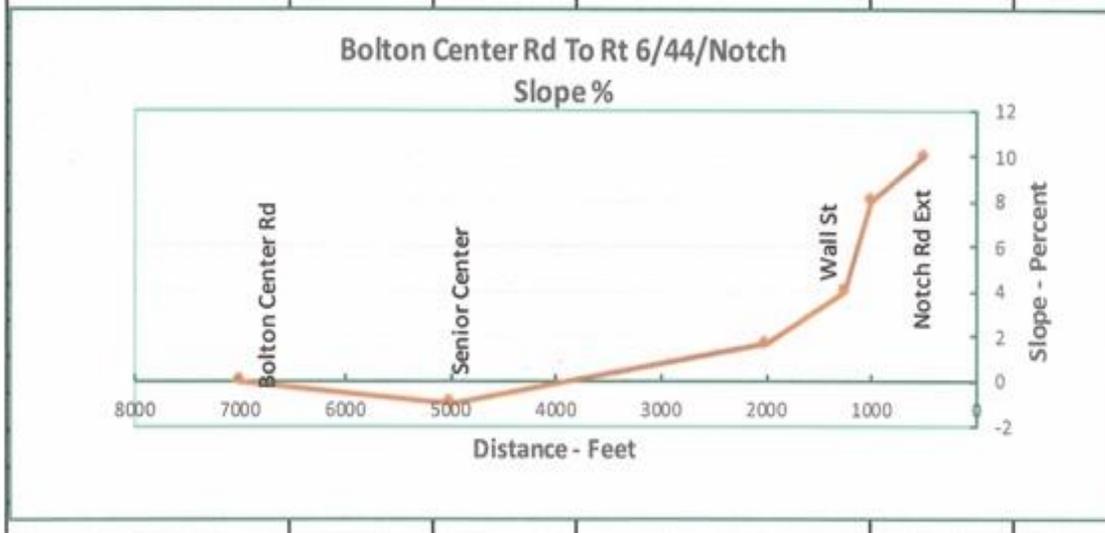
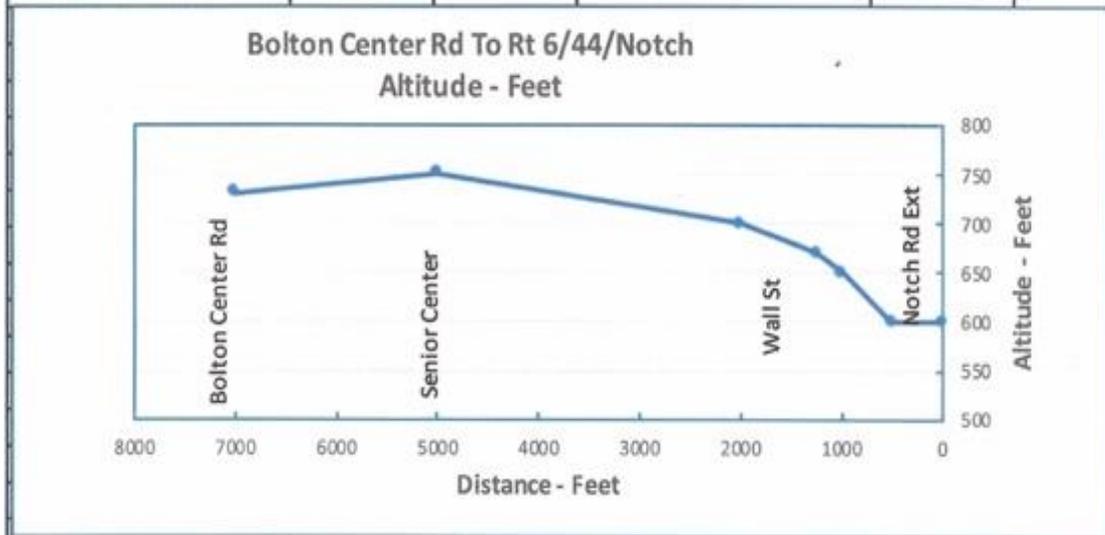
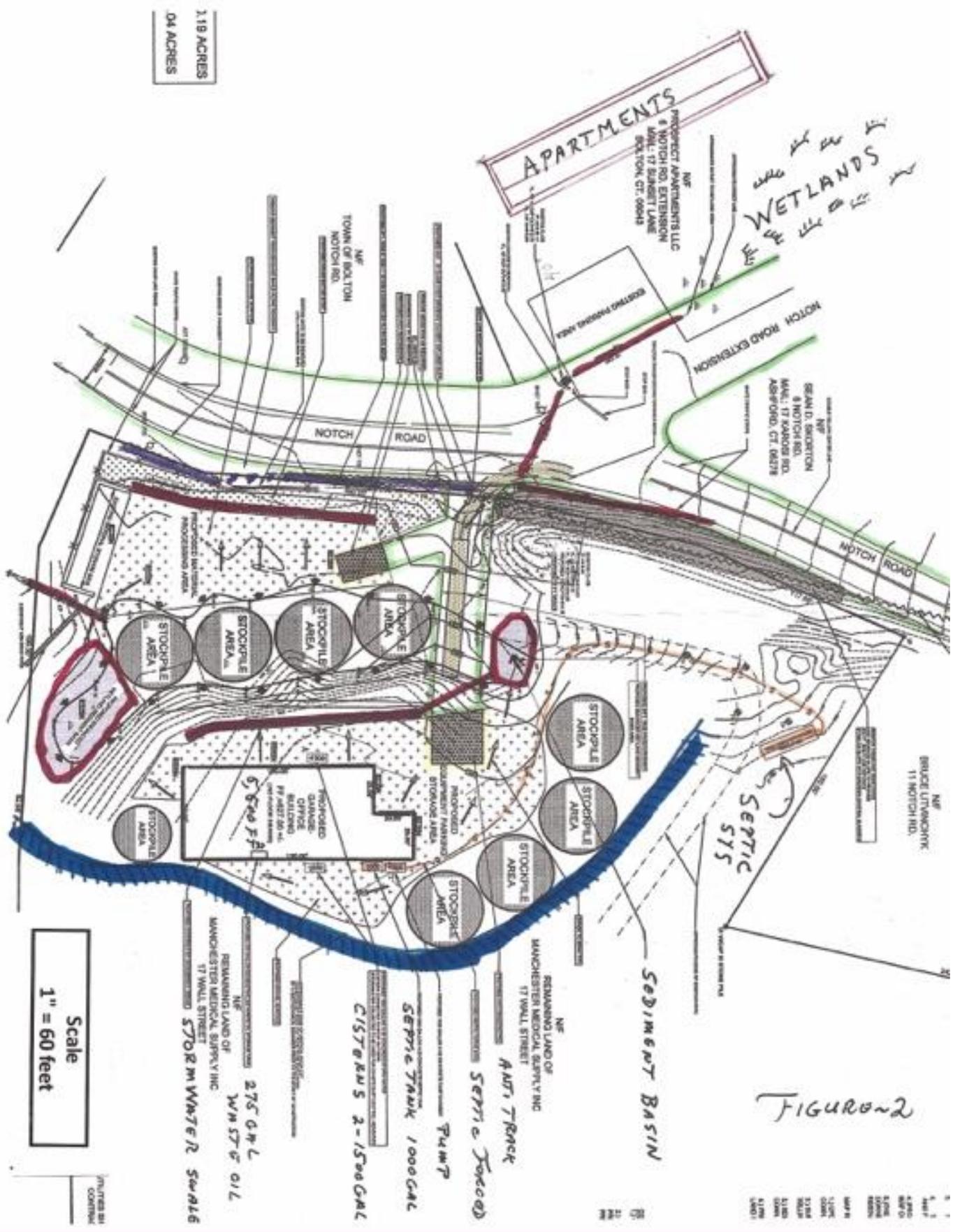


FIGURE ~ 1



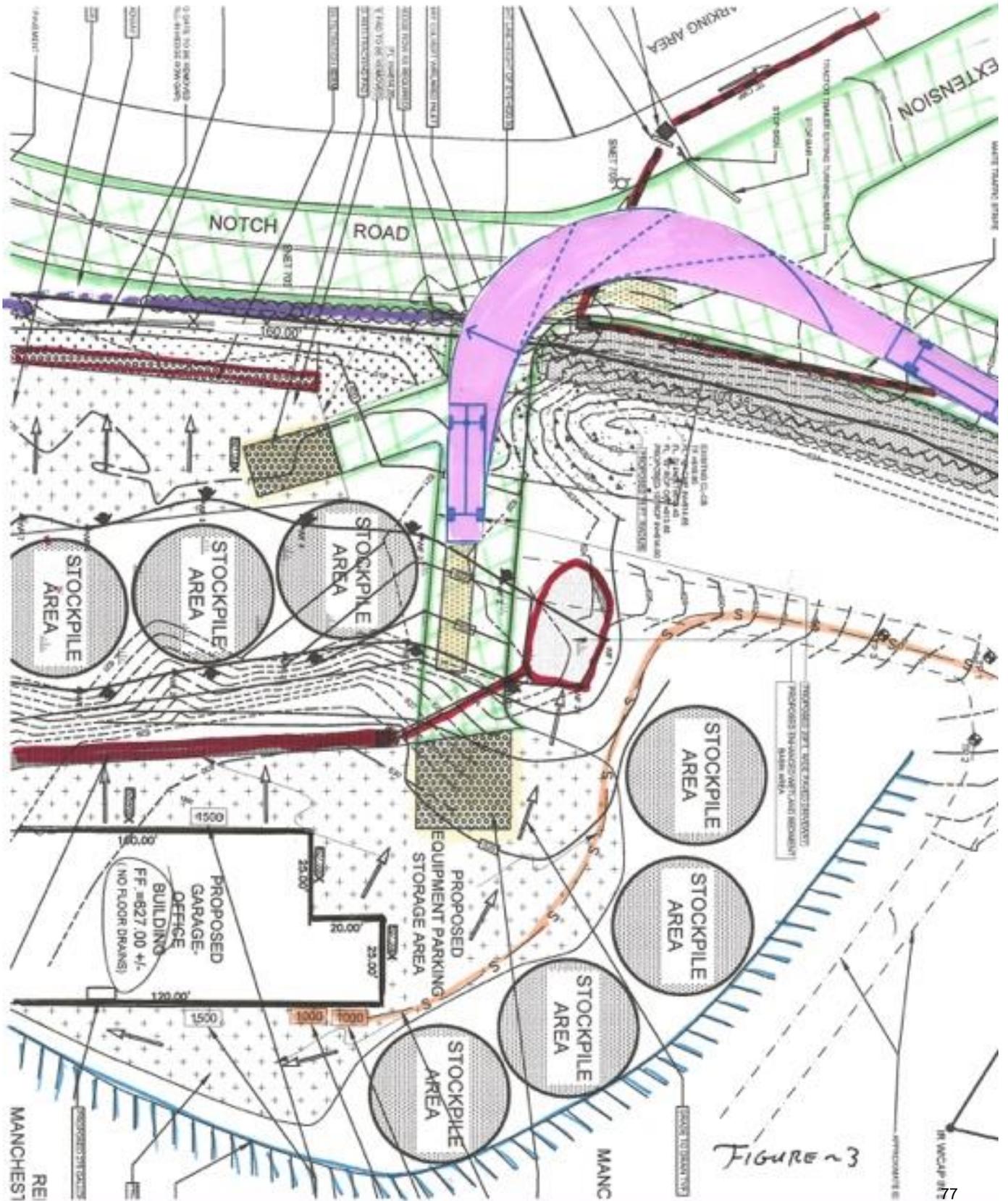


FIGURE 3

Dear Members of the Bolton Planning and Zoning Commission:

I am currently looking at the application by William Phillips to create an excavation business at the Quarry on Notch Road here in Bolton. This would include building a garage / Office, equipment storage, material processing, and excavation business.

I am concerned about the potential noise levels at the Industrial zone that would affect the residents of this area. There are several residents in that area that are within 150 feet of the old Quarry (Industrial Zone).

The purpose of this memo is to familiarize myself and others of the potential hazards of noise and how various noise ordinances and statues might apply to the acceptance of this application.

I am familiar with acoustics from my 17 years at Pratt & Whitney's Acoustic Research and Development Department.

I've included a site plan showing The Industrial Zone, apartments and residential properties that are in close proximity to the industrial zone.

I plan on talking at the Public hearing on the application that is scheduled for Dec 9th, on the subject of noise. I want to ensure that I understand the State of Connecticut's Statues or ordinances and how they apply to noise.

Background information on what is noise:

<https://www.cga.ct.gov/2009/rpt/2009-R-0205.htm>

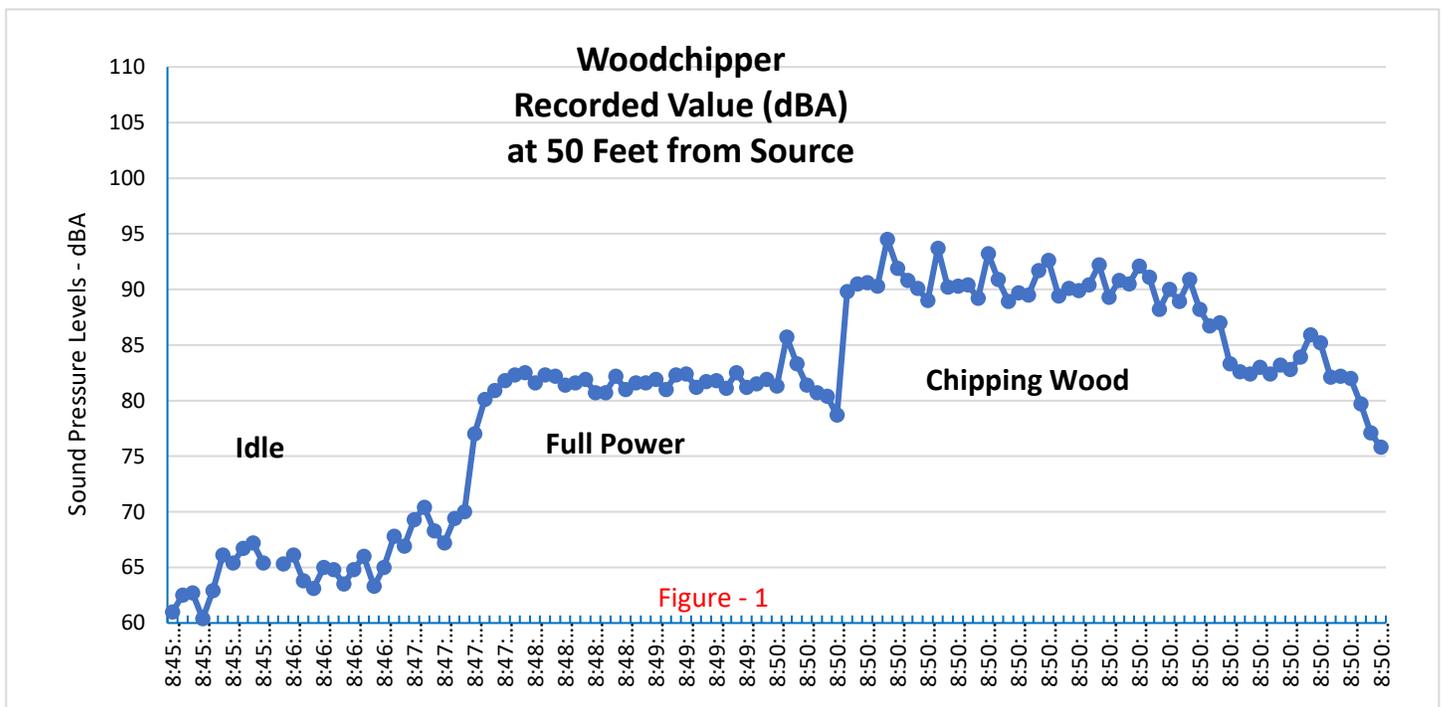
A decibel is the basic measurement unit for sound. Decibel measurements are made on a logarithmic scale, which means that an increase of 10 dB approximates a perceived doubling of the noise level. A noise source measuring 70 dB is therefore 10 times louder than a source measuring 60 dB and 100 times louder than a source reading 50 dB. The average background noise in a typical home is between 40 and 50 dB. State and federal motor vehicle regulations use the "dBA" scale of measurement, which is the scale that most closely approximates the sensitivity of the human ear.

At highway speeds, the noise level produced by heavy trucks is about 10 dB greater than that of light vehicles. As a result, every heavy truck in the traffic flow contributes the same amount to the average noise levels as 10 light vehicles.

My Neighbor had a tree removed from their yard and a woodchipper was used. I have a new app on my iPhone to record noise in dBA's. So, I recorded it, to see if it worked. I included the chart here. (figure – 1). Keep in mind that a 3dB rise is twice as loud because sound pressure uses a logarithmic scale. Therefore, 80 dB plus 80 dB is 83 dB. The chart shows three levels of noise. Idle, Full power and chipping wood. I would assume that a rock crusher would produce at least as much noise.

I also included a noise level list of what might be typical equipment used in an excavation yard.

I created a Noise decay plot to show how a noise source of 90, 80-, & 70 dB's decay with distance. Also, I included the maximum noise levels that are allowed from an industrial site and the maximum noise allowed in a residential site according to statues from the State of Connecticut.



The State of CT created a Research Report in 2014 on the subject of Noise Ordinances in Small Municipalities.

<https://www.cga.ct.gov/2014/rpt/pdf/2014-R-0126.pdf>

Office of Legislative Research



May 16, 2014

NOISE ORDINANCES IN SMALL MUNICIPALITIES

I have included a portion of this report at the end of this memo.

In this report there is a Table that states basically that no person in an industrial zone shall emit noise beyond the

boundary of his/her premises exceeding the level stated in table 1.

Table 1: DEEP's Maximum Continuous Noise Levels (measured in dBA)

Emitter Class	Receptor Zone		
	Industrial	Commercial	Residential (day/night)
Industrial	70	66	61/55
Commercial	62	62	55/45
Residential	62	55	55/45

If I read this chart correctly, it says that no Industrial zone can emit more than 70 dBA's at its boundary and no noise can be greater than 61 dBA when measured on a residential boundary.

Below is a table of some equipment that might be used in an excavation activity.

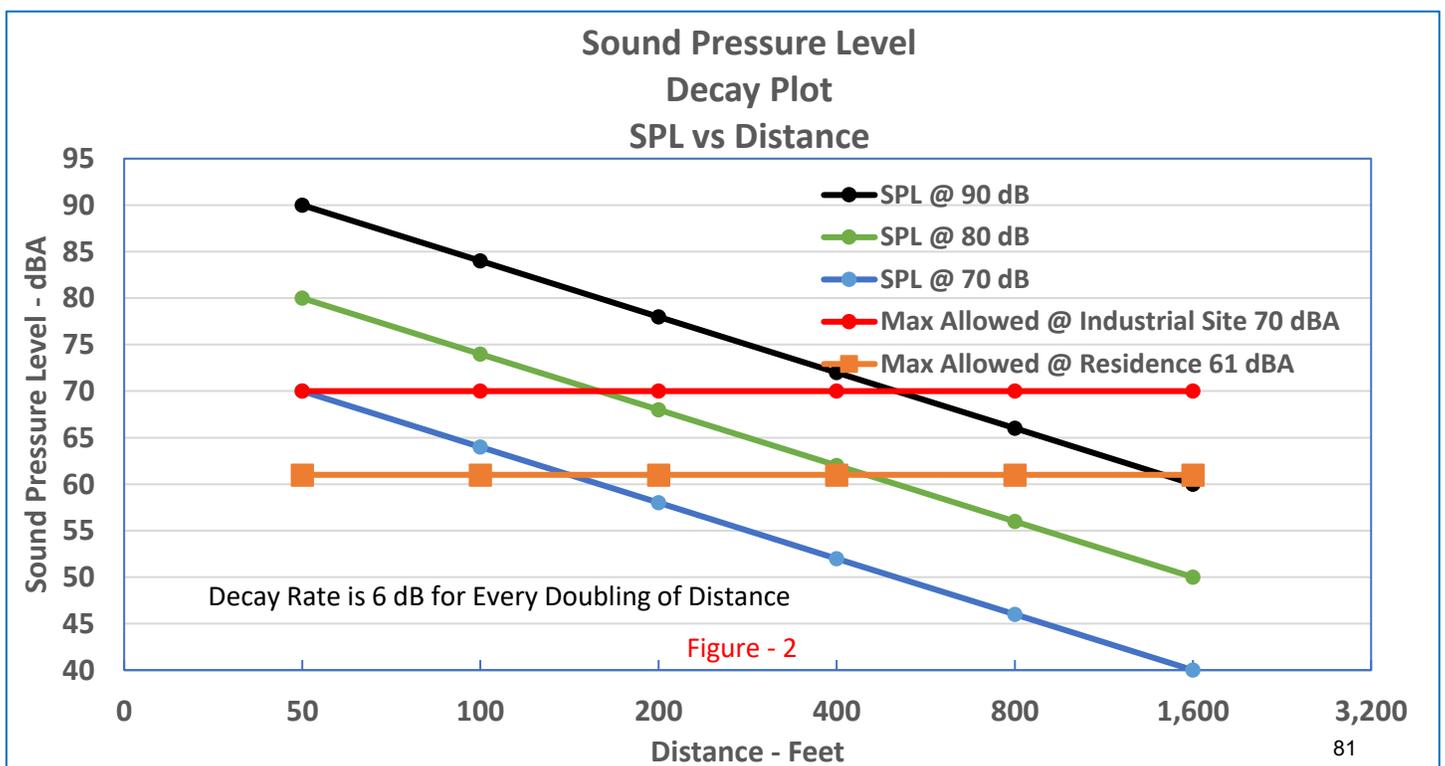
Typical Excavation Equipment	
Backhoe	78
Compressor (air)	78
Concrete Saw	90
Dozer	82
Dump Truck	76
Excavator	81
Flat Bed Truck	74
Front End Loader	79
Jackhammer	89

There are also other noise sources not mentioned here.

Impulse or Impact noise is also a serious issue, which I will not address here. But we all know the sound of a dump truck that has just emptied their cargo and drive a few feet forward then hit the breaks to make sure the load is empty. Then the tail gate swings and hits the empty truck bed.

Impulse noise generally last for less than 2 seconds, but are just as disruptive if not worse than a constant drone.

Since noise decays at 6dB for every doubling of distance, I have created an SPL decay plot. Also, I have inserted the Maximum noise level that are allowed to leave the Industrial Zone (70 dB), And also inserted is the Maximum dB level to enter a residential area (61 dB).



From this graph we can conclude that a 90 dB source such as a concrete saw or jackhammer would have to be approximately 500 feet inside the industrial zone boundary for it to decay enough to meet the state ordinance level of 70 dB. Also, the source would have to be 1,600 feet from the nearest residential property in order not to exceed the 61 dB level.

The nearest Residential Zone property at 11 Notch Road is approximately 75 feet from the industrial zone.

Let's call it 150 feet to their parking area.

I chose my starting point to measure sound pressure levels in the industrial area, based on the main driveway and the location of the anti-tracking pad, where I thought much of the loading and unloading of material would occur. There is another anti-tracking pad located much closer to the road (30 ft), but I wanted to show that this one location could affect all three residential areas.

The Apartments zone is 180 feet to the Industrial zone.

The next residential zone property 6 Notch Road on the corner of Notch Road and Notch Road Extension is also approximately 180 feet. See Figure - 3

The last plot shows the impact of various dB levels on the neighborhood and how it decays with distance. Figure – 4

My concern is that it appears there is no equipment that can be used in this industrial zone that would not violate both the industrial and residential ordinances.

Government is instituted to protect life, liberty and property. Loud, excessive and unreasonable noise at any time is an interference with a person's right to the use and enjoyment of his property, especially in residential areas where human beings sleep or areas where serenity and tranquility are essential to the intended use of the land.

https://www.cga.ct.gov/current/pub/chap_442.htm

Sec. 22a-67. State policy regarding noise. (a) The legislature finds and declares that:

- (1) Excessive noise is a serious hazard to the health, welfare and quality of life of the citizens of the state of Connecticut.
- (2) Exposure to certain levels of noise can result in physiological, psychological and economic damage.
- (3) A substantial body of science and technology exists by which excessive noise may be substantially abated.
- (4) The primary responsibility for control of noise rests with the state and the political subdivisions thereof.
- (5) Each person has a right to an environment free from noise that may jeopardize his health, safety or welfare.

Dealing with an acceptable amount of noise in a residential area is sometimes easier said than done. Maybe a family needs things to stay extra quiet so that young children can sleep at certain times of the day.

More and more people are working from home, and that is another reason why silence matters.

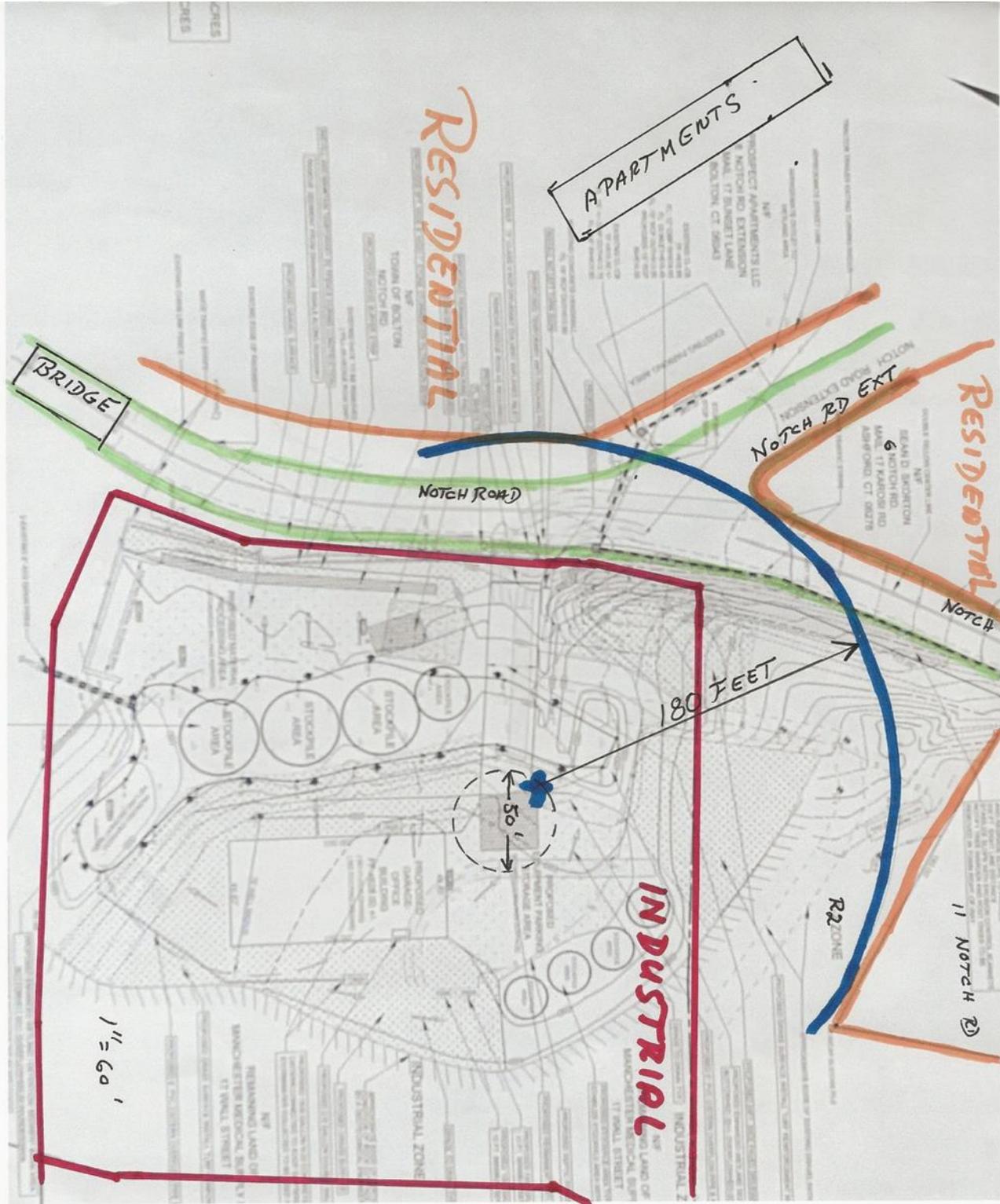


Figure – 3

**Bolton Zoning 2017
P&Z Map
Acoustic Impact and Decay Graft**

Typical Excavation Equipment	
Backhoe	78
Compressor (air)	78
Concrete Saw	90
Dozer	82
Dump Truck	76
Excavator	81
Flat Bed Truck	74
Front End Loader	79
Jackhammer	89

1 Inch = 260 Feet

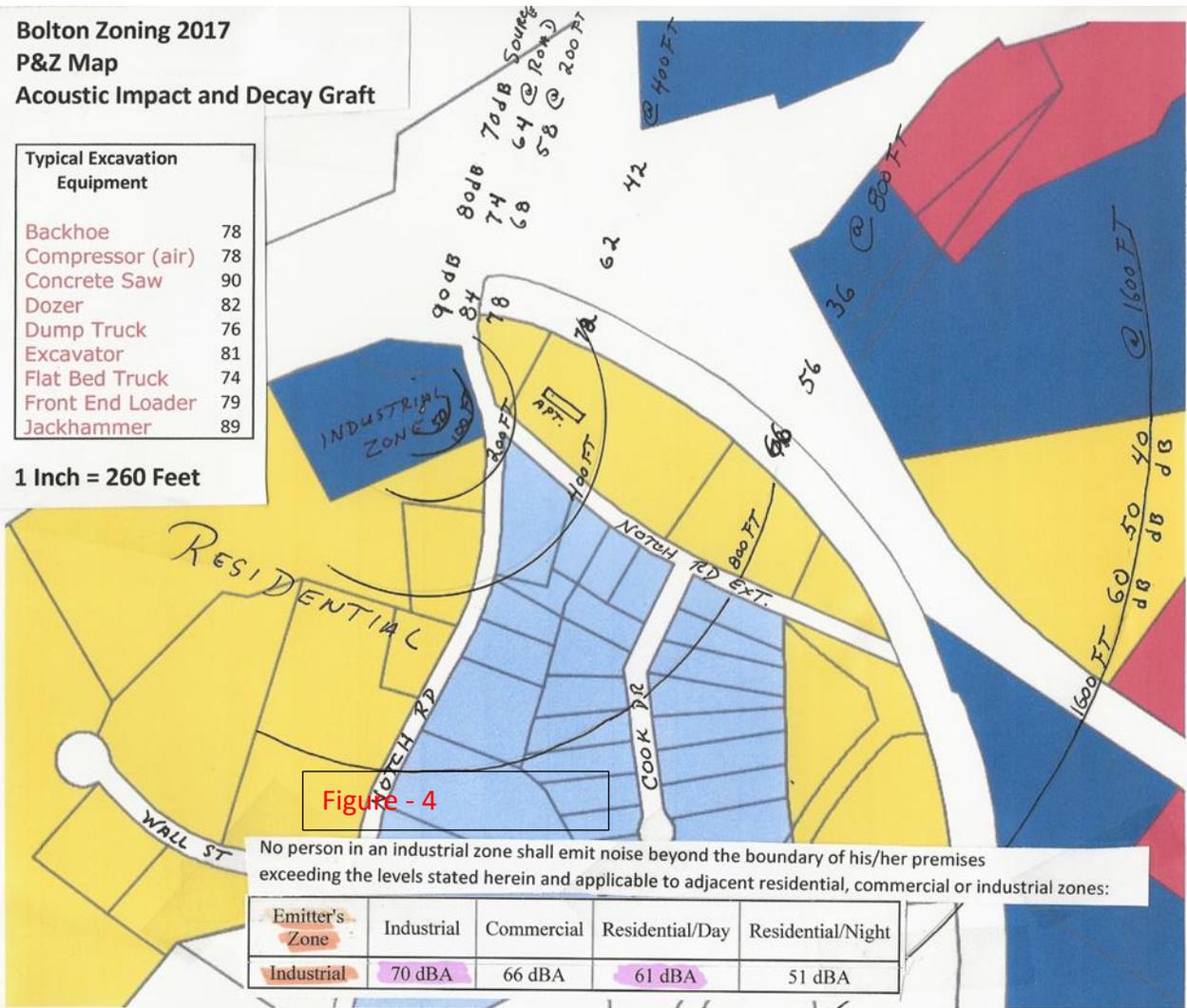


Figure - 4

No person in an industrial zone shall emit noise beyond the boundary of his/her premises exceeding the levels stated herein and applicable to adjacent residential, commercial or industrial zones:

Emitter's Zone	Industrial	Commercial	Residential/Day	Residential/Night
Industrial	70 dBA	66 dBA	61 dBA	51 dBA



May 16, 2014

NOISE ORDINANCES IN SMALL MUNICIPALITIES

By: Julia Singer Bansal, Legislative Analyst II

QUESTION

Compare noise ordinances among Connecticut municipalities with populations similar in size to North Stonington.

SUMMARY

The law authorizes municipalities to regulate stationary noise by ordinance. Municipal noise ordinances must (1) be approved by the Department of Energy and Environmental Protection (DEEP) commissioner and (2) incorporate noise standards that are at least as stringent as those identified in DEEP's regulations (CGS § 22a-73). According to DEEP, at least 75 municipalities have noise ordinances.

We selected a sample of 30 municipalities with populations similar in size to North Stonington, which has a population of 5,297, according to the 2010 Census. The sample included the 15 municipalities both immediately above and immediately below North Stonington in population size. Only eight of these 30 municipalities have noise ordinances (Bethlehem, Durham, East Granby, Harwinton, Middlebury, Old Lyme, Salisbury, and Westbrook). Four of these eight municipalities (Bethlehem, Harwinton, Middlebury, and Salisbury) are part of the Torrington Area Health District (TAHD), which adopted a single noise ordinance applicable in all of its member municipalities and boroughs.

The five noise ordinances we compared establish similar standards and generally include the following core provisions: definitions, land classifications, maximum noise levels, measurement techniques, exemptions, and procedures for granting variances and enforcing standards.

REGULATING NOISE

Both the Department of Energy and Environmental Protection and municipalities are authorized to establish limits on excessive noise from buildings, facilities, and other stationary sources (CGS § 22a-67 et seq.). The Department of Motor Vehicles is authorized to establish limits on excessive noise from motor vehicles (CGS § 14-80a).

Phone (860) 240-8400 <http://www.cga.ct.gov/olr> olr@cga.ct.gov

Connecticut General Assembly

Office of Legislative Research Sandra Norman-Eady, Director

Room 5300 Legislative Office Building Hartford, CT 06106-1591

However, East Granby's ordinance is narrower in scope than the other four ordinances; its provisions are limited to definitions, continuous noise level limits, and exemptions.

Below, we describe the ordinances' core provisions and identify their variations. Generally, the core provisions' content is consistent across ordinances, and the ordinances establish standards matching, rather than more stringent than, those in DEEP's regulations (e.g., identical maximum continuous and impulse noise

levels). The ordinances’ primary differences concern certain definitions, exempted noise sources, and enforcement procedures. Enforcement procedures have the most variation, as the enforcing entity, applicable fine, and appeals procedure differ across jurisdictions.

COMPARISON OF NOISE ORDINANCES

Definitions

Four of the five ordinances include an extensive definitions section with numerous general (e.g., daytime, demolition, emergency work) and acoustic (e.g., impulse noise, decibel, peak sound pressure level) terms. Conversely, East Granby’s ordinance defines only “daytime,” “nighttime,” “decibel,” and “noise level.” Although the ordinances include different terms based on their exemptions, enforcement procedures, and technical detail, they generally define terms similarly, with the exception of daytime and nighttime (see below).

Land Classifications

The noise ordinances set limits based on (1) the source of the noise (emitter class) and (2) where the noise is heard (receptor zone). There are three categories of classes and zones: industrial, commercial, and residential. The five ordinances differ in how they assign property to the three categories. Durham and Old Lyme classify parcels based on the use for which they are zoned, while TAHD classifies parcels based on actual use. Westbrook generally classifies parcels based on their zoned use, but in some situations, it bases the classification on actual use (e.g., commercial parcels used for residential purposes are classified as residential). East Granby does not specify whether parcels are classified based on actual, or zoned for, use.

Noise Level Limits All five ordinances set continuous noise level limits identical to those in DEEP’s regulations (Conn. Agencies Regs. § 22a-69-1 et seq.). “Continuous noise” is ongoing that remains at a measurable level of intensity without interruption over an indefinite or specified period of time. The regulations set maximum allowable continuous noise levels that vary by emitter class; receptor zone; and, for residential receptor zones, time of day, as shown in Table 1.

Table 1: DEEP’s Maximum Continuous Noise Levels (measured in dBA)

Emitter Class	Receptor Zone		
	Industrial	Commercial	Residential (day/night)
Industrial	70	66	61/55
Commercial	62	62	55/45
Residential	62	55	55/45

The definitions of daytime and nighttime vary among the compared ordinances. The ordinances define daytime as:

1. 7:00 am - 10:00 pm Monday through Saturday and 9:00 am - 10:00 pm on Sunday (East Granby, TAHD, and Westbrook);
2. 7:00 am - 9:00 pm Monday through Saturday and 9:00 am - 9:00 pm on Sunday (Durham); and
3. 7:00 am – 10:00 pm, with no change for Sunday (Old Lyme and DEEP’s regulations).

All other times are considered nighttime.

The ordinances (except for East Granby) additionally include maximum impulse noise levels identical to those in DEEP’s regulations, which prohibit impulse noise emissions exceeding (1) 100 dB peak sound pressure to

any receptor zone and (2) 80 dB peak sound pressure to a residential receptor zone at night. “Impulse noises” are of a short duration (generally less than one second), high intensity, abrupt onset, and rapid decay. The ordinances (except for East Granby) also limit certain motor vehicle noises that the Department of Motor Vehicles (DMV) does not regulate. For example, they prohibit sound amplifying devices on or within motor vehicles from emitting noise exceeding the noise level limits established for stationary noise sources. DMV regulates overall vehicle noise (e.g., muffler noise). For a detailed discussion of motor vehicle noise limits, see **OLR Report 2009-R-0205**.

Measurement Techniques

The compared ordinances include requirements concerning noise measurement equipment and procedures. Except for East Granby, they generally require that

(1) individuals taking measurements be trained in sound measurement techniques and (2) instruments be calibrated and used pursuant to the manufacturer’s instructions.

Durham, East Granby, TAHD, and Westbrook require that emitted noise measurements be taken about one foot beyond the boundary of the emitter’s premises and within the receptor’s premises. (DEEP’s regulations require the same method.) Old Lyme requires only that the measurement be taken within the receptor’s premises and beyond the boundary of the emitter’s premises.

Exemptions

Both DEEP’s regulations and the five ordinances we reviewed establish exemptions from the noise level limits. In general, the exemptions include, among other things, sounds from:

1. natural phenomena,
2. construction equipment operated during the day
3. safety signals and equipment,
4. farming activity,
5. leaf and garbage collection
6. domestic power equipment operated during the day,
7. fire and intrusion alarms,
8. emergencies,
9. snow removal equipment, and
10. short public celebrations.

Some exemptions are unique to specific jurisdictions, such as:

1. noise related to public utilities (Old Lyme and East Granby);
2. noise created by products undergoing testing to determine how much noise they produce (Old Lyme);
3. noise from certain motor vehicles being loaded or unloaded (East Granby); and
4. bells and chimes associated with clocks, schools, and churches (TAHD, Durham, and Westbrook; East Granby and Old Lyme exempt noise from bells, carillons, and chimes only if it is related to specific religious observances).

5.

Variations

Four of the five ordinances include procedures for requesting a variance, which is an exception to the applicable noise limit granted to a specific emitter at the regulating entity’s discretion. Durham, TAHD, and Westbrook grant variances only from ordinance provisions that are more stringent than DEEP’s regulations. Because these three ordinances incorporate maximum noise levels identical to those in DEEP’s regulations, there are limited circumstances under which a variance is possible (e.g., a definition or exemptions list that is

more restrictive than DEEP's). Old Lyme considers variance applications without regard to DEEP's standards, and East Granby does not provide for variances.

The ordinances use nearly identical criteria for granting variances. An applicant must show that (1) noise levels generated by the proposed activity will not endanger public health and (2) compliance would be an unreasonable hardship on the applicant. (DEEP uses the same standard in determining whether to grant a variance from its noise regulations.) All four ordinances with variance procedures require applicants to submit similar information about the activity for which they require a variance (e.g., the activity's location, hours of operation, technical and economic justifications, and proposed noise control measures).

Enforcement

Four of the five ordinances include varying provisions concerning enforcement of maximum noise levels (East Granby does not have enforcement provisions). In the compared ordinances, (1) enforcing authorities include the police chief, first selectman, board of selectmen, board of directors, and director of health; (2) the daily penalties range from \$20 to \$400; and (3) appeals procedures range from detailed (e.g., Durham) to not specified (e.g., Westbrook).

Table 2 lists, for each jurisdiction, the enforcing entity, applicable fine, entity to which an appeal is made, and timeframe for filing an appeal.

HYPERLINKS

DEEP Noise Pollution Control Website (including PDFs of all approved noise ordinances):

http://www.ct.gov/deep/cwp/view.asp?a=2684&q=322150&deepNav_GID=1619, last visited May 12, 2014.

JB:am

I have previously sent two memos with my concerns about several issues that would have existed if the excavation business application was approved. Most of the concerns that have been presented so far (well water contamination, wetland pollution, traffic, safety, dust and noise pollution) are those items that we think pose a potential health and welfare threat to our neighborhood and surrounding area.

All these issues can be argued because they do not yet exist and will not exist if this application is denied. However, there is one item on the list that is not arguable. That is noise. The industrial property has not been used in 15 years. The sounds emitted from that property for the last 15 years have been frogs, birds and crickets, much like our backyards. 15 years is a long time for peace and quiet and to have that peace disrupted with industrial equipment is unacceptable for the surrounding residential neighborhoods. We know the noise level will be a problem because a noise complaint has already been filed from a residential neighborhood in its current location, against this very business, which is a fraction of the size that is currently proposed.

One may say that an industrial operation has existed there before. True, The Bolton Quarry has existed way back to 1836 and before, using men and horses to remove stone. In my history here from 1973 until now, the quarry has been in operation with different owners. Both times, promises were made on environmental issues including dust control and noise abatement.

However, promises were not kept, ordinances were not enforced, and we suffered the consequences. Mud on the roads, dust in the air, (Mica and Quartz), noise at all hours of the day, trees that were planted along the road that were no bigger than 3 feet tall to prevent seeing the eyesore that they had created. Those trees are finally substantial enough to somewhat hide the trailer office, that is still there falling apart and the old tires and debris that are still there after 15 years. Part of the new plan is to remove a good part of those trees. If there were any chance of noise abatement it would have been those trees.

What procedures are in place if our community well becomes polluted.

We constantly test for different contaminants on a yearly, and monthly basis. We have tested for over 80 different contaminants in a one-year period. In that time only one violation was found and that was for turbidity (cloudy water) 2006. One other time a slightly high sodium level was found (2007)(2008). This being the case, I believe that any variation in the 80 contaminants going forward that would exceed the state drinking water standards should be considered caused by probable excavation activity and dealt with at their expense.

We live in a time when many of us work from home at all hours of the day. Home, where we work, play relax and sleep. Our sanctuary from the outside world. Our neighbors are our friends. Some neighbors have health issues, and one has a child with autism. How do you console a 2-year-old who is very sensitive to the excessive noise of an excavation activity?

Also, our alarm clocks should not be preset by the arrival of large trucks at 7:30 AM.

I end with this:

There is nothing in this application and I repeat NOTHING that will maintain or improve our way of life here in our community. You will be introducing more dangerous traffic in an intersection that is already dangerous. The state has stated that it is a non-conforming intersection. You will be introducing excessive noise where there is nothing but birds singing and frogs croaking. The environment and the neighborhood will be put at risk with dust and pollution.

Nothing will be easier.

There is a strong possibility that it will be extremely detrimental to our health, safety, wellbeing and the environment.

Ronald Beaudoin. 860 649 4878
2 Cook Drive
Bolton, CT

**MEMORANDUM IN SUPPORT OF LANDIE CONSTRUCTION INC./WILLIAM
PHILLIPS' REQUEST FOR SITE PLAN AND SPECIAL PERMIT APPROVAL FOR
PROPERTY LOCATED AT ONE NOTCH ROAD/WALL STREET [QUARRY]**

INTRODUCTION

Landie Construction, Inc., by William Phillips, has offered to purchase the real property located at 1 Notch Road, Bolton, Connecticut from the current owner, Manchester Medical Supply, Inc. The actual purchase is contingent upon the Planning and Zoning Commission's approval of a site plan and Special Permit request. Landie Construction Inc. has filed the require application with this commission seeking the site plan and Special Permit approval. Landie Construction Inc. has filed all other required and necessary pertinent documentation and plans in pursuit of this application.

This is in fact the second application filed by Landie Construction, Inc. The first had been withdrawn to allow Landie Construction Inc. additional time to complete its due diligence.

In conducting its due diligence, Landie Construction's agents have met with Notch Road neighborhood representatives, and have had several conferences and consultations with the town's professional staff.

All steps have been taken to reasonably address the concerns of the neighbors and adopt the recommendations and suggestions of the Town's professional staff.

One Notch Road is in an Industrial Zone. Per Bolton's Zoning regulations, **"This zone is intended to allow those activities which require truck traffic, materials processing, good employee access and a certain degree of flexibility in site and building design to follow the function being served..."**

The Town's zoning regulations allow for permitted uses within the Industrial Zone by Special Permit. Particularly, and as it applies to this application, a particular permitted use is **"Outdoor Storage of equipment and materials necessary to a permitted use listed in the Industrial Zone provided that such storage is appropriately screened and does not constitute a health or safety hazard..."**

Landie Construction Inc. intends to purchase the real property known as 1 Notch Road, located within the Industrial Zone, for the purpose of storing clean, non-hazardous materials, and equipment, at that location. For the most part, the material to be stored at the site shall be excavation related materials such as soils, topsoil, stone, fill materials, and concrete. Additionally, Landie Construction Inc. shall intermittently process materials, particularly, the stored concrete. Processing materials is not an activity in which Landie Construction Inc regularly engages and will only do so infrequently. (see Narrative.)

The equipment to be stored on site shall be such equipment as needed to move the materials, for instance truck/trailers, loaders, excavators, etc. (please see Narrative). All of which is permitted under the town's zoning regulations.

NEIGHBORS' CONCERNS

The neighborhood representatives have outlined the following concerns:

1. Material processing as a main reason for this application:

Response: Material processing is not a main reason for this application. Storage of material remains the main reason for this application. Processing materials will occur at this location only occasionally as set forth in the NARRATIVE. [Material processing is also a permitted use.]

2. Water supply and sanitary sewage plans not addressed:

Response: A non-potable water supply/well is shown on the site plan submitted. There shall be no buildings or similar improvements constructed at the site and therefore no need for a septic plan. Landie Construction will most likely provide for a portable toilet at the location.

3. Materials to be stored at the location:

Response: As set forth herein, Landie Construction shall store clean non-hazardous excavation related materials such as, but not limited to soil, topsoil, stone, concrete (processed concrete) and other types of fill.

4. Noise:

Response: Landie Construction Inc. shall maintain the existing tree buffer and will add additional landscaping with the intention of minimizing noise.

Unfortunately, Landie Construction cannot cure, remedy or otherwise minimize the pre-existing noise sources.

5. Effects on the existing community well:

Response: The community well is located outside of a 150 foot buffer defined by the State of Connecticut health regulations and as such should not be affected by the proposed usage. That noted, the plans show that the effects on drainage are minimal, if at all. The plan shows that drainage/run off shall not be increased by the exercise of the usage as presented.

[Blasting was another concern expressed regarding the community well. There shall be no blasting in the normal course of business, except and unless and as a last resort, minimal blasting is necessary to achieve the appropriate highway site line, and rock face stabilization, as may be required for approval. Most likely Landie Construction Inc. will be able to use hydraulic hammers to achieve a similar result.]

6. Traffic impact on the neighborhood:

Response: Landie Construction is prepared to erect signs on Notch Road with regard to speed and grade. Landie Construction's employees shall be educated with regard to proper driver behavior and attention to the neighbors' concerns.

Landie Construction does not anticipate a regular significant traffic increase.

The plan has been submitted and approved by Town Highway Department personnel.

7. Dust:

Response: Landie Construction cannot and will not be operating a quarry and as such the creation of dust should be minimal. The non-potable water supply source

as shown on the submitted plans is intended to be used to wet down materials and equipment to reduce dust on an as needed basis.

8. The intersection of Route 44 and Notch Road and the State of Connecticut planned re-configuration of this intersection:

Response: Landie Construction will modify its plans in accordance with whatever may happen if the State's plans are realized.

Presumably, the intersection will become a safer one if the State completes its proposed modifications.

9. Property Values:

Response: This location is zoned for industrial use and has been for some time. Location within or near the existing industrial zone is just one thing considered when establishing property values. As such the planned usage should have little or no effect on property values.

10. Wetlands:

The plans submitted appropriately address wetlands and provide for a safe method of drainage to avoid wetland impact. The plan as submitted has been approved by Bolton's Wetland Commission.

CONCLUSION

1 Notch Road is located within an Industrial Zone. The Town's zoning regulations identify permitted uses within an Industrial Zone.

The storage of materials and equipment and the processing of materials are permitted uses within the Town's Industrial Zone (with Special Permit).

Landier Construction Inc. intends to use the property for the storage of materials and equipment, as well as for the occasional processing of materials. Landier Construction Inc. has submitted plans to the Town's professional staff and has adopted the recommendations of the staff members. Landier Construction's agents have met with neighborhood representatives and have tried to reasonably address neighborhood concerns. This property could be used for far more noxious purposes than those proposed by Landier Construction, Inc.

Landier Construction Inc. has applied to the Planning and Zoning Commission for site plan and Special Permit approval. The review of the application submitted, as well as the other pertinent information which has also been filed, is an administrative function of this commission. Landier Construction Inc. submits that this site plan and Special Permit request can only be denied if it fails to comply with the requirements already set forth in the Town's Zoning Regulations. Connecticut case law provides that the designation of a particular use of property as a permitted use establishes a conclusive presumption that such use does not adversely affect the district and precludes further inquiry into its effect on traffic, municipal services, property values, or the general harmony of the district.

For the reasons set forth herein, Landier Construction Inc. respectfully requests that the site plan and special permit be approved and granted.



Town of Bolton

222 BOLTON CENTER ROAD • BOLTON, CT 06043

Date: May 11, 2021

To: Planning & Zoning Commission

From: Patrice L. Carson, AICP, Consulting Director of Community Development

Subject: William Phillips' Special Permit appl. at 1 Notch Road for Excavation Business, Equipment Storage & Material Processing Areas

INFORMATION

Application No.: VP#PL-21-1

Application Date: March 10, 2021

Receipt Date: April 14, 2021

Public Notification: Posted on Website April 23, 2021 per Governor's Executive Order

Public Hearing Date(s): May 12, 2021

Applicant(s): William Phillips

Owner(s): Manchester Medical Supply

Wetlands Permit Submitted: March 10, 2021

Wetlands Permit Effective: April 27, 2021

Wetlands Permit Expires: April 26, 2023

PROPOSAL / EXISTING CONDITIONS/BACKGROUND

Applicant, William Phillips, of 21 Clark Road, Bolton, is seeking a Special Permit for the operation of an excavation business, including outdoor storage of heavy equipment and material processing areas on a 12 acre parcel at 1 Notch Road aka 17 Wall Street in the Bolton Assessor's Records. There was a prior application for this site which also included buildings but the applicant is not requesting and buildings at this time.

Located on the west side of Notch Road, this is the last lot before the entrance onto Route I-384 eastbound which was used as a staging area when work was done on Route I-384. The lot has a varying topography, almost two-tiered, with the lower tier having access from Notch Road and the upper tier having access from Wall Street. The property is zoned I and is surrounded by R-2 on all sides except the north where it's bound by Route I-384. Currently the property is mostly vacant with the remnants of "bins" that held different construction materials like stone. Prior to this, the property was a gravel excavation site that included blasting, cutting stone, and (loaded and unloaded) truck traffic. There are wetlands on the property and an application has been made and approved by the Bolton Inland Wetlands Commission for the activity proposed within 100 feet of wetlands or watercourses.

The activities proposed in this application for the site are allowed by Special Use Permit on Industrially zoned properties. The PZC may want to know generally how much truck traffic is expected, what kind of material will be processed and how, hours of operation, and number of employees.

The applicant and his design professionals have been meeting with town staff to discuss the overall concept plan, architectural plans and site development plan. The application and site plan appears to have addressed most of the concerns brought up during that meeting.

REPORTS RECEIVED

- Site Plan Checklist - completed
- 09/26/20 review email from Joseph Dillon, PE with 8 issues to address
- 05/06/21 Stormwater Management Report & Watershed Maps

ADDITIONAL INFORMATION RECEIVED

- Abutters List & Map
- 04/29/21 Site Development Plan & Details 3 pages
- 05/12/20 Real Estate Contract
- Inland Wetlands Approval
- Engineering & Legal Review Fee of \$2,000
- Verification of Sign Posted on Property
- Project Narrative/Statement of Use
- 05/11/21 Memorandum in Support of Project from Applicant

INFORMATION STILL NEEDED:

- Public Health Approval
- E&S Cost Control Bond Estimate
- Site Improvements Bond Estimate

STAFF ANALYSIS

The plans appear to meet Town Regulations if the following items are adequately addressed and may require additional information:

- The drawing set should include details for the proposed turf reinforcement mat, stone check dam, stormwater infiltration berm and grass buffer strip.
- The traffic control sign(s) proposed along the east shoulder of Notch Road should be specifically called out and shown on the Site Plan.

STAFF RECOMMENDATION

The staff has determined that:

- the application is complete
 - the application still needs to address two engineering details
 - Bond estimates for Erosion & Sedimentation Control and Site Improvements need to be submitted and approved
 - the use is in keeping with the zone in which it is located.
-



May 11, 2021

Ms. Patrice Carson, AICP
Director of Community Development Town
Office Building
222 Bolton Center Road
Bolton, CT 06043

Re: Landie Construction 17 Wall Street
Site Plan Review
NLJA #0968-0044

Dear Ms. Carson:

As requested, we have reviewed the following information received for the subject project at our office through May 6, 2021:

- Item 1: Set of three (3) drawings titled "Plan Prepared for Landie Construction, 17 Wall Street, Bolton, CT, scales as noted, dated 02-02-20, last revised 04-29-21, prepared by Bushnell Associates, LLC.
- Item 2: Report titled "Stormwater Management Report Prepared for Site Located at 17 Wall Street / Notch Road, Bolton, CT", dated May 6, 2021, prepared by Bushnell Associates, LLC.
- Item 3: Bolton Planning and Zoning Commission Application for Special Permit, Site Plan Review or Modification of a Previously Approved Application, dated 03-08-21, accompanied by List of Properties within 500', Narrative for Proposed Activity for 1 Notch Road.

The subject application proposes to develop the site for equipment and material storage, material processing operation of an excavation business.

We have the following comments:

1. The drawing set should include details for the proposed turf reinforcement mat, stone check dam, stormwater infiltration berm and grass buffer strip.
2. The traffic control sign(s) proposed along the east shoulder of Notch Road should be specifically called out and shown on the Site Plan.

Nathan L. Jacobson & Associates, Inc.
Nathan L. Jacobson & Associates, P.C. (NY)
86 Main Street P.O. Box 337 Chester, Connecticut 06412-0337
Tel 860.526.9591 Fax 860.526.5416

Consulting Civil and Environmental Engineers Since 1972



Ms. Patrice Carson, AICP
Director of Community Development
Re: Landie Construction
17 Wall Street
Site Plan Review
NJ #0968-0044

May 11, 2021
Page 2 of 2

Should you have any questions, please feel free to contact our office.

NATHAN L. JACOBSON & ASSOCIATES, INC.

Joseph M. Dillon, P.E.

JMD:jmd

cc: James Rupert
Lance Dimock
Barbara Kelly
Andrew Bushnell
File



Town of Bolton

222 BOLTON CENTER ROAD • BOLTON, CT 06043

INLAND WETLANDS COMMISSION OF THE TOWN OF BOLTON INLAND WETLANDS PERMIT # 2020-5 - MODIFICATION

Name and Address of Applicant:

**William Phillips
21 Clark Road
Bolton, CT 06043**

**Property to which this permit applies:
1 Notch Road, Bolton, CT**

This authorization refers to Application C-21-2 which proposes to conduct and revise regulated activity in or within 100 feet of inland wetlands and/or watercourses in the Town of Bolton.

The permitted activities, **within the wetland and the upland review area** are:

- **Installation of a well;**
- **Grading and construction of gravel parking, storage, and work areas;**
- **Creation/installation of storm water management infrastructure; and**
- **Construction of associated improvements.**

The Bolton Inland Wetlands Commission, as the Inland Wetlands and Watercourses Agency of the Town of Bolton, following investigation, and after reviewing the full record, has considered the application with due regard for the criteria found in the Inland Wetland Regulations of the Town of Bolton. The agency believes that the proposed activity, subject to the specified conditions, conforms with the purpose of Town regulations and does not violate any of its provisions or regulations governing wetlands and/or watercourses. Therefore, this authorization will constitute the permit required pursuant to Section 11.1 of the Inland Wetland Regulations of the Town of Bolton.

This permit is issued with the following specific conditions and/or modifications and with the attached general conditions:

1. **The work is to be done in accordance with the “Plan Prepared for Landie Construction, 17 Wall Street, Bolton, CT” revised 4/1/21 that was prepared by Bushnell Associates LLC.**
 - a. **The northernmost ‘proposed concrete block’ barrier may be moved up to 10’ closer to the ‘proposed enhanced wetland sediment basin’.**
2. **The maintenance intervals, inspection and cleaning as necessary for the retention basins, berms, and anti-tracking mats must be spelled out and added to the plan.**
3. **Best practices for spills and hazmat must be noted on the plan.**
4. **Final finishing/design of the enhanced wetland/sediment basin shall be approved by the Bolton Inland Wetlands Agent**
5. **Soil erosion and sediment control measures shall be installed and maintained in accordance with the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control.**

This permit is subject to, and in no way derogates, any present or future property right or any other rights or powers of the Town of Bolton. This permit conveys no property rights in real estate or materials or any exclusive privileges.

No permission, either express or implied, is given for any regulated activities other than those authorized in this permit.

The applicant will notify the Agency 3 days before the permitted activity begins.

The applicant will notify the Agency within 7 days of the completion date that the permitted activity has been finished.

Effective date of permit: **4/27/21**

Expiration date of permit: **4/26/23**



Bolton Inland Wetlands Commission

ALL INLAND WETLAND PERMITS ARE SUBJECT TO THE FOLLOWING GENERAL CONDITIONS:

1. No person shall conduct a regulated activity in a regulated area without first obtaining a permit from the Agency. (Section 7.1)
2. Permits shall be valid for a time specified by the Agency. (Section 11.6)
3. All permits shall be in writing, including any special conditions of the permit. One copy shall be maintained in the agency files and one copy furnished to the Applicant.
4. This permit shall not be construed as relieving the permittee of the obligation to obey all applicable federal, state, and local laws or to obtain any other applicable federal, state, and local permits.
5. The agency or its designated agent may enter at all reasonable times upon any private or public property to inspect for and investigate any possible violations of the Inland Wetlands Regulations of the Town of Bolton. (Sections 14.1 and 14.2)

Original to: Applicant

Copy to: Inland Wetlands Commission files



Bushnell Associates, LLC

Civil Engineering • Land Surveying



May 11, 2021

To: Joe Dillon PE.
Town Engineer Bolton CT.
Nathan L. Jacobson & Associates, Inc.
86 Main Street P.O. Box 337
Chester, Connecticut 06412-0337

Re: Site Improvement Bond Estimate for proposed improvements at 17 Wall Street/Notch Rd. Bolton, CT. Bushnell Associates Job No. 2017-1.

Joe,

I have calculated the estimated costs for the site improvement bond required for the above referenced project as follows for your review.

Item	Unit Cost	Total Cost
Landscape plantings 16 5-6Ft. Evergreen Trees	\$125/Each	\$2,000.00
Brush Removal	1,500.00 L.S.	\$1,500.00
PAVED DRIVEWAY:		
Class 1 Binder (2.5" Thick) 5,000 SQ.FT. / 39 C.Y.	\$93.36 C.Y.	\$3,641.04
Class 2 Surface (1.5" Thick) 5,000 SQ.FT. / 23 C.Y.	\$98.77 C.Y.	\$2,271.71
Processed Aggregate Base (8" Thick) 5,000 SQ.FT. / 124 C.Y.	\$49.24 C.Y.	\$6,105.76
75 L.F. 15" Class V RCP w/Flared Inlet	\$60.00 L.F.	\$4,500.00
20 L.F. 12" Class V RCP w/Flared Inlet	\$90.00 L.F.	\$6,750.00
2-Sediment Pools	\$650.00 EACH	\$1,300.00
Wetland Plantings	\$1,500.00 L.S.	\$1,500.00
58-Stockpile Concrete Blocks	\$60.00 Each	\$3,480.00
Millings Surface Area 12,800 SQ.FT. (3" Thick)/ 120 C.Y.	\$40.00 C.Y.	\$4,800.00
Relocation of existing gate and plantings	\$1,500.00 L.S.	\$1,500.00
Stone Check Dams	\$1,500.00 L.S.	\$1,500.00
3-Traffic Control Sign	\$300.00 Each	\$900.00
Sightline Establishment	\$5,000.00 L.S.	\$5,000.00



Bushnell Associates, LLC

Civil Engineering • Land Surveying



Site Lighting \$3,000.00 L.S. \$3,00000

2-Permanent Anti-Tracking Pads \$650.00 Each \$1,30000

Total Estimated Bond Amount: \$51,048.51

20% Contingency if needed: \$10,209.70

Should you have any questions or require any additional information please feel free to contact me.

Andrew Bushnell PELS.



Bushnell Associates, LLC

Civil Engineering • Land Surveying



May 11, 2021

To: Joe Dillon PE.
 Town Engineer Bolton CT.
 Nathan L. Jacobson & Associates, Inc.
 86 Main Street P.O. Box 337
 Chester, Connecticut 06412-0337

From: Andrew Bushnell PE.LS.
 Bushnell Associates LLC.

Re: Erosion Control Bond Estimate for proposed improvements at 17 Wall Street / Notch Rd Bolton, CT.
 Bushnell Associates Job No. 2017-1.

Joe,

I have calculated the estimated costs for the erosion control bond required for the above referenced project as follows for your review.

Erosion Control Bond:

(Note that unit cost prices have been determined by the use of the current published CT. DOT prices and local market rates.)

Item	Unit Cost	Total Cost
1-Temporary Anti-Tracking Pad	\$650.00	\$650.00
650 LF. Silt Fence	\$3.50 LF.	\$2,275.00
26,500 SQ. FT. Loam Mulch and Seed Disturbed Areas	\$0.45 SQ. FT.	<u>\$11,925.00</u>

Total Estimated Bond Amount: \$14,850.00

20% Contingency if needed: \$2,970.00

Should you have any questions or require any additional information please feel free to contact me.

Andrew Bushnell PE.LS.



Town of Bolton

222 BOLTON CENTER ROAD • BOLTON, CT 06043

BOLTON PLANNING AND ZONING COMMISSION

APPLICATION FOR SPECIAL PERMIT, SITE PLAN REVIEW OR MODIFICATION OF A PREVIOUSLY APPROVED APPLICATION

1. Application Title: Georgia's extended Petio

2. Check all that apply:

Special Permit Application Modification of an Approved Special Permit Application*

Site Plan Review Application Modification of an Approved Site Plan Review Application*

* The Commission may require a new application if the proposed modification significantly alters the previously approved application.

3. Street Address of subject property Georgia's Rest 275 Boston Turn

4. Deed Reference (Bolton Land Records) Volume _____ Page _____

5. Assessor's Records Reference: Map # _____; Block # _____ Parcel / Lot # _____

6. Current zone(s) of subject property _____ Acreage: _____

7. In Aquifer Protection District? Yes _____ No _____

8. In FEMA Flood Area? Yes _____ No _____

9. Wetlands Application Required? Yes _____ No _____

10. Applicant(s) George Koutouris

Address 27 Heron Farm Rd Bolton Zip 06043

Phone # 860-918-4970 Fax # _____ E-mail georgekoutouris61@gmail

11. Owner(s) of subject property Same

Address _____ Zip _____

Phone # _____ Fax # _____ E-mail _____

12. Official Contact / Representative regarding this Application: Same

Address _____ Zip _____

Phone # _____ Fax # _____ E-mail _____

13. Project Engineer: Andrew Bushnell, P.E., L.S.
Address 563 Waveridge St Manchester Zip 06047
Phone # 860-643-7875 Fax # 860-643-7875 E-mail abushnell@bushnell
AssociatesLLC.com

14. Project Architect: _____
Address _____ Zip _____
Phone # _____ Fax # _____ E-mail _____

15. Other Experts Retained by Applicant: _____

16. Briefly describe the proposed use of the subject property. Provide greater detail in Project Narrative.
expand existing patio by 29 feet

17. Square footage of new / expanded space: 725 # of new parking spaces 172 minus 3 = 169
for new patio

18. List the Section(s) of the Zoning Regulations under which application is made: _____

19. Provide all the applicable items for a complete application including a completed Checklist for Site Plan Review and Special Permit Applications. A completed checklist must be provided to comprise a complete application.

20. Applicant's Endorsement:
I am a willful participant and fully familiar with the contents of this application.
Signature [Signature] Date 3-23-2021

21. Owner's Endorsement:
I am a willful participant and fully familiar with the contents of this application.
Signature [Signature] Date 3-23-2021

NOTE: If there are any material changes to this application, the Applicant shall immediately notify the Town Staff in writing.
Applicants may be subject to Supplemental Review fees to defray the cost of Professional Review Services such as engineering or legal reviews.

**BOLTON PLANNING & ZONING COMMISSION
CHECKLIST FOR SITE PLAN REVIEW (§ 16A)
AND SPECIAL PERMIT (§ 16B) APPLICATIONS**

March 11, 2009

THIS CHECKLIST MUST BE COMPLETED BY THE APPLICANT OR AN AUTHORIZED REPRESENTATIVE AND SUBMITTED WITH THE APPLICATION.

The Planning and Zoning Commission will use this checklist in determining the completeness or incompleteness of the application. The applicant is responsible for providing all the applicable information on this checklist. The applicant is encouraged to provide any additional information to clearly present a proposed activity and its potential effects on the community. The Commission may require additional information not included in this checklist to determine compliance with the regulations.

AN APPROVAL OF AN APPLICATION COULD BE DENIED IF AN APPLICATION LACKS SUFFICIENT INFORMATION.

Some of the items below are essential for any application while others may not be applicable for a particular proposal. The applicant is encouraged to ask the town staff to review the completed application with all supporting information and the completed checklist, prior to submitting the application to the Planning and Zoning Commission so that the staff can provide the applicant an opinion on the completeness of the application.

Pursuant to Section 16A.2.p, at time of application submission, the applicant may request in writing that the Commission determine that all or a part of the information required under Section 16A.2.c through o. (except subsections e., f., i., and j.) is NOT necessary in order to decide on an application.

Applicants may be subject to supplemental review fees to defray the costs of professional review services such as engineering or legal reviews. Please see attached information sheet.

Name of Development _____

Applicant _____ Date _____

Item	Description	Applicant		Staff	
		Included	Not Included	Completeness Opinion	
				Yes	No
1	Completed, signed application by applicant and owner	✓			
2	Payment of required application fees	✓			
2A	Statement of Use in accordance with § 16A.2.b	✓			
3	All draft deeds for any roads, road widenings and easements for drainage, conservation, driveways, utilities		✓		
4	Evidence of request for approval by the Health District and/or Sewer Authority for review, as appropriate		✓		
5	Evidence of submission of application to the Inland Wetlands Commission if it is within that Commission's jurisdiction		✓		
6	Evidence of submission of a request for review and approval by the Fire Marshal and Fire Chief of the water supply for fire protection		✓		
7	Copies of any required applications to other local, state or federal regulatory approvals		✓		
8	Written evidence of applicant's legal interest in the subject property (deed, lease option to purchase, bond for deed, etc.)		✓		

Item	Description	Applicant		Staff	
		Included	Not Included	Completeness Opinion	
				Yes	No
9	List of mailing address of all current property owners within 500 feet of the subject property, from the Town Assessor records (for special permit only)	✓			
10	List of all hazardous or potentially hazardous materials which will be present on the property with a full description of procedures that will be used to assure safety with the material safety data sheets		✓		
12	Digital copy of plans in DXF or DGN format if available	✓			
13	Paper and digital copies of all reports including hydrology, hydraulic and drainage computations and	✓			
14	14 sets of complete stamped and signed site plans measuring 24" x 36		✓		
	THE FOLLOWING ITEMS 15 THROUGH 51 SHALL BE INCORPORATED IN PLANS				
15	A-2 boundary survey of the subject property showing all existing and proposed boundary lines and markers, easements, adjoining property lines and the names of all current abutting property owners	✓			
16	Names of abutting lot owners	✓			
17	USDA Soils boundaries and types	✓			
18	Plan title block in the extreme lower right corner (not sideways) to include the name of the town of Bolton				
19	All plan sheets numbered with the format "sheet x of y"				
20	Clear legible plans with all lines, symbols and features readily identifiable	✓			
21	North arrow on each plan including the reference meridian	✓			
22	Graphic bar scale on each plan sheet, not smaller than 1"= 40' unless otherwise approved by the Commission	✓			
23	Overall plan of site at a smaller scale, with sheet index, if the site does not fit on one sheet at a scale of 1"=40'				
24	Key map at a scale of 1"= 500' showing the relation of the site to abutting properties and streets, shown on plan and zoning district boundaries within 500' of site				
25	Original and revision plan dates and revision explanations shown on the affected plan sheets				
26	Existing and proposed grading with two foot contours to T-2 standards, for all ground surfaces, shown on plan				
27	Existing and proposed structures and features, their uses and those to be removed, shown on the plan				
28	HVAC equipment located outside the building(s)				
29	Existing and proposed driveway entrances to street, parking, loading areas, fire lanes, sidewalks and construction detail drawings, shown on plan				
30	Sight distances from property entrances along public roads shown on plan and on profile if grading is needed				
31	Soil test locations and soil test results shown on plan				
32	Existing and proposed sewage disposal systems and design information, shown on plan				
33	Outside Storage Areas				

Item	Description	Applicant		Staff	
		Included	Not Included	Completeness Opinion	
				Yes	No
34	Underground / overhead utilities, existing and proposed				
35	Existing and proposed water supply shown on plan				
36	Existing wells and sewage disposal systems on other properties that could conflict with proposed site improvements, shown on plan				
37	Existing and proposed footing drains, curtain drains and dry wells, shown on plan				
38	Existing and proposed drainage systems, any affected floodway or floodplain and construction detail drawings, shown on plan, including base flood elevation and floor elevation data.				
39	Existing and proposed bridges and culverts on or adjacent to the site, shown on plan				
40	Existing and proposed signs with dimensions and construction detail drawings, shown on plan				
41	Existing and proposed fences and walls with dimensions and construction detail drawings, shown on plan				
42	Zoning district boundaries affecting the site, shown on plan				
43	Table shown on plan of zoning dimensions required and provided for lot area, street frontage, lot width, yard setbacks, impervious area, building coverage and the height and floor area of each building				
44	Table on plan of parking / loading spaces required / provided				
45	Fire lanes				
46	Sidewalks and other pedestrian ways				
47	Off-site traffic improvements				
41	Limits of wetlands as delineated by a certified soil scientist with the soil scientist's signed certification, shown on plan or a certification signed by a soil scientist that no wetlands are within 100 feet				
42	Natural features including 100 year flood plain areas, ponds, vernal pools, aquifers, slopes steeper than 25% and potential areas of endangered species, shown on plan				
43	Landscaping plan including the locations, numbers, installed sizes, anticipated mature sizes, species and common names of proposed plants plus cost estimate based on published Connecticut DOT unit prices				
44	Existing trees of 6" caliper or greater				
45	Significant archaeological sites				
46	Lighting plan including the location, size, height, light intensity coverage areas and manufacturer's product descriptions for each light type				
47	Erosion and Sedimentation Control Plan, with narrative and construction detail drawings, in accordance with the latest Connecticut Guidelines for Soil Erosion and Sediment Control				

Item	Description	Applicant		Staff	
		Included	Not Included	Completeness Opinion	
				Yes	No
48	Best management practices to remove contaminants, including sediments and oils, from runoff water, shown on plan, in construct detail drawings, and explained in a report by a qualified professional				
49	Architectural elevation drawings of proposed buildings				
50	Architectural floor plans of existing and proposed buildings				
51	Perspective color drawings or digital views of the site as seen from adjacent roads and from abutting property lines showing the proposed conditions including buildings, landscaping and appurtenant features				
52	Traffic Impact Report for applicable sites as described in Zoning Regulations Section 16A.2.k.				
53	Thorough, well organized drainage design report for before and after development conditions, that conforms to the latest Conn. Dept. of Transportation and Conn. Dept. of Environmental Protection guidelines and requirements with appropriate calculations, maps, graphics and narrative descriptions of hydrology, hydraulics, assumptions, erosion controls, drainage paths and systems for the 1, 2, 10, 50 and 100 year storm events				
54	Statement in drainage report that the after development flows for all storm events do not exceed the before development flows				
55	Sanitary Waste Disposal Plan (if community sewerage system)				
56	Evaluation of the impact of proposed development upon existing and potential public surface and ground drinking water supplies, pursuant to CGS, Section 8-2				
57	Certified copy of Certificate of Public Convenience and Necessity in connection with a "water company", in accordance with CGS, Section 8-25a				
58	Existing and proposed Covenants or Restrictions				
59	Engineer's itemized cost estimate for the installation of all erosion and sediment controls based on published Connecticut DOT unit prices				
60	Engineer's itemized cost estimate for site improvements based on published Connecticut DOT unit prices as basis for the establishment of a completion bond				

LIST OF ABUTTERS WITHIN 500 FT

SOUTHERN N E TELEPHONE CO	401 MERRITT 7	NORWALK, CT 06851
FIANO LAWRENCE F & ROSE D	240 BOSTON TPKE	BOLTON, CT 06043
ANSALDI ANDREW JR EST OF &	39 TUNXIS TRAIL	BOLTON, CT 06043
CONNECTICUT STATE OF	79 ELM ST	HARTFORD, CT 06106
TSAMBIKA LLC	275 BOSTON TPKE	BOLTON, CT 06043
CONNECTICUT STATE OF	2800 BERLIN TURNPIKE	NEWINGTON, CT 06111
BOLTON EXXON LLC	262 BOSTON TPKE	BOLTON, CT 06043
FIANO LAWRENCE F & ROSE D	240 BOSTON TPKE	BOLTON, CT 06043
JAKEE LLC	102 SOUTH RD	BOLTON, CT 06043
FIANO LAWRENCE F	240 BOSTON TPKE	BOLTON, CT 06043
FIANO LAWRENCE F	240 BOSTON TPKE	BOLTON, CT 06043
BOLTON SENIOR COMMUNITY LLC	1622 MAIN ST	EAST HARTFORD, CT 06108
PREUSS NORMAN J JR TR & SHARON B TR	233 BOSTON TPKE	BOLTON, CT 06043
THE CARLYLE JOHNSON MACHINE COMPANY LLC	291 BOSTON TPKE	BOLTON, CT 06043

SURVEY NOTES:

1.) THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES "MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29 2019. IT IS A GENERAL LOCATION SURVEY PLAN CONFORMING TO HORIZONTAL ACCURACY CLASS D AND TOPOGRAPHIC ACCURACY CLASS T-2. THIS PLAN WAS COMPILED FROM OTHER MAPS, RECORD RESEARCH OR OTHER SOURCES OF INFORMATION. IT IS NOT TO BE CONSTRUED AS HAVING BEEN OBTAINED AS THE RESULT OF A FIELD SURVEY, AND IS SUBJECT TO SUCH CHANGE AS AN ACCURATE FIELD SURVEY MAY DISCLOSE.

2.) THE PROPERTY IS LOCATED IN A GMUJZ (GATEWAY MIXED USE INDUSTRIAL) ZONE AND AP2 (AQUIFER PROTECTION) ZONE.

3.) TOPOGRAPHY SHOWN WAS FIELD DERIVED BY BUSHNELL ASSOCIATES LLC AND BASED ON AN ASSUMED DATUM.

MAP REFERENCES:

1.) IMPROVEMENT LOCATION PLAN GEORGINA'S RESTAURANT PREPARED FOR: GEORGE KOUTOUZIS 275 BOSTON TURNPIKE BOLTON, CONNECTICUT DATE: 01 / 14 SCALE: 1"=20 FT. DESIGN: RRM DRAWN: DAS CHECK RPM SHEET 1 OF 1 PROJECT NO. 14-002 PLAN NO. 14-002 REVISED TO 02-08-14 MESSIER & ASSOCIATES, INC. SURVEYORS - ENGINEERS 288 MAIN STREET MANCHESTER, CT (860) 646-6013 PUTNAM CT (860) 928-1171

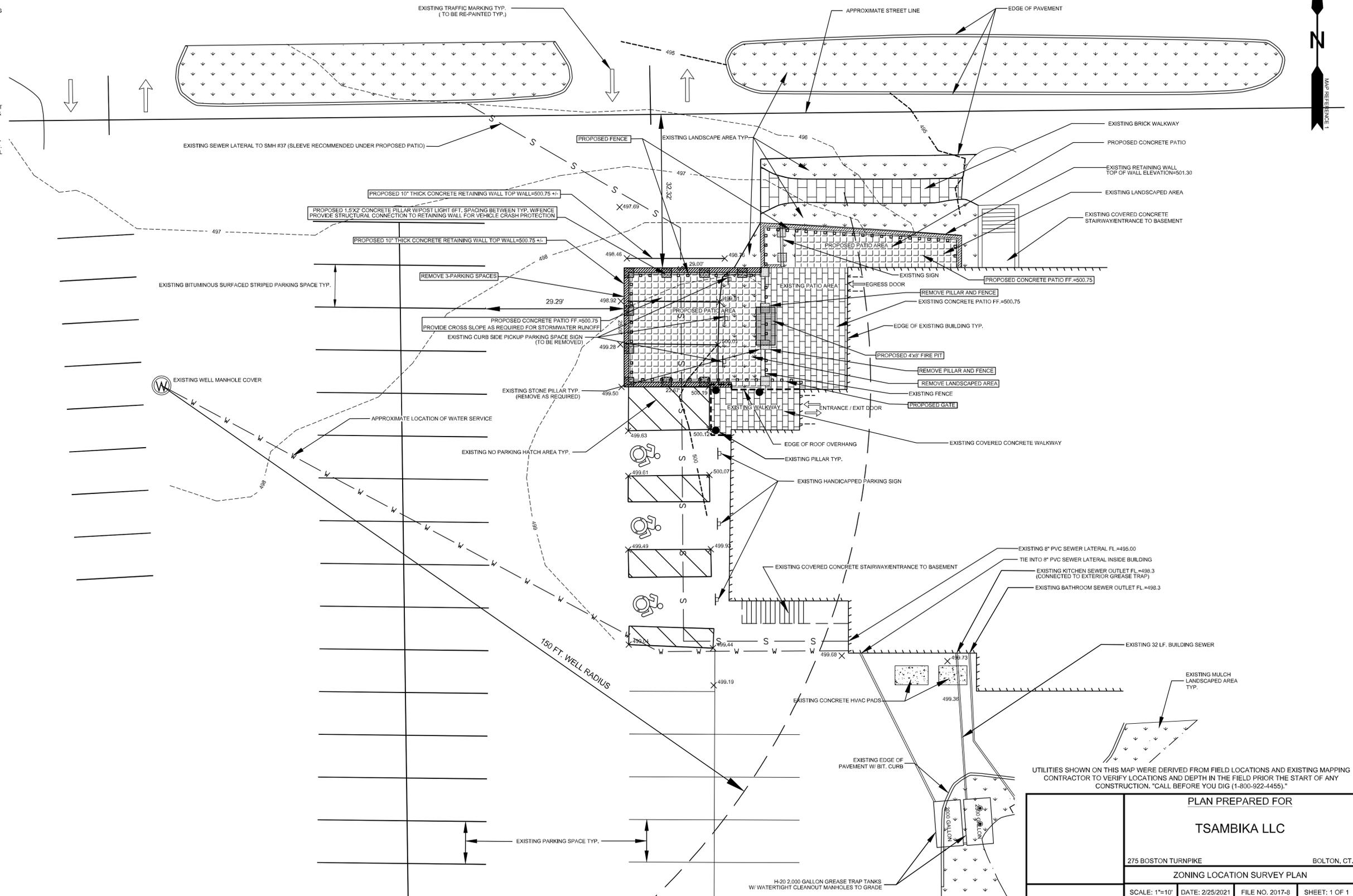
2.) PLAN PREPARED FOR TSAMBIKA LLC 275 BOSTON TURNPIKE BOLTON, CT. SANITARY SEWER CONNECTION PLAN SCALE: 1"=10' DATE: 2/24/2017 FILE NO. 2017-8 SHEET: 1 OF 1 REVISED TO 3/4/2017 BUSHNELL ASSOCIATES LLC. CIVIL ENGINEERING AND LAND SURVEYING 563 WOODBRIDGE STREET MANCHESTER, CT. (860) 642-860-643-7875

CONSTRUCTION NOTES:

1.) OWNER OR CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSPECTIONS AND APPROVALS.

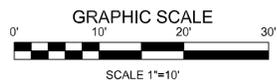
2.) OWNER OR CONTRACTOR TO VERIFY ALL DIMENSIONS AND INFORMATION CONTAINED ON THIS PLAN PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.

BOSTON TURNPIKE



LEGEND

- ⊙ EXISTING WELL
- ⊙ 604 EXISTING SPOT GRADE
- ⊙ EXISTING UTILITY POLE
- ⊙ 604 PROPOSED SPOT GRADE
- ⊙ 604 EXISTING SPOT GRADE
- 604 EXISTING CONTOUR
- 604 PROPOSED CONTOUR



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

ANDREW F. BUSHNELL P.E. L.S. 24591
 THIS MAP IS NOT VALID UNLESS IT BEARS THE EMBOSSED SEAL OF THE LICENSED LAND SURVEYOR WHOSE REGISTRATION NUMBER AND SIGNATURE APPEAR ABOVE.

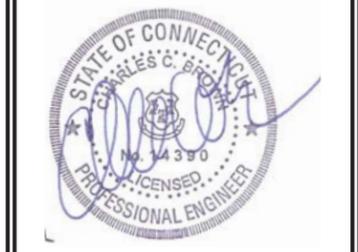
UTILITIES SHOWN ON THIS MAP WERE DERIVED FROM FIELD LOCATIONS AND EXISTING MAPPING CONTRACTOR TO VERIFY LOCATIONS AND DEPTH IN THE FIELD PRIOR THE START OF ANY CONSTRUCTION. "CALL BEFORE YOU DIG (1-800-922-4455)."

PLAN PREPARED FOR			
TSAMBIKA LLC			
275 BOSTON TURNPIKE		BOLTON, CT.	
ZONING LOCATION SURVEY PLAN			
SCALE: 1"=10'	DATE: 2/25/2021	FILE NO. 2017-8	SHEET: 1 OF 1
BUSHNELL ASSOCIATES LLC.			
CIVIL ENGINEERING AND LAND SURVEYING			
563 WOODBRIDGE STREET		MANCHESTER, CT. 06042	
860-643-7875			
REVISIONS: 3/8/2021, 3/26/2021, 4/8/2021			

KEYNOTES / GENERAL NOTES:

PILLARS DESIGNED AS TRAFFIC BARRIER FOR 6000# IMPACT

CONCRETE:
 F'c 3000 PSI AIR ENTRAINED



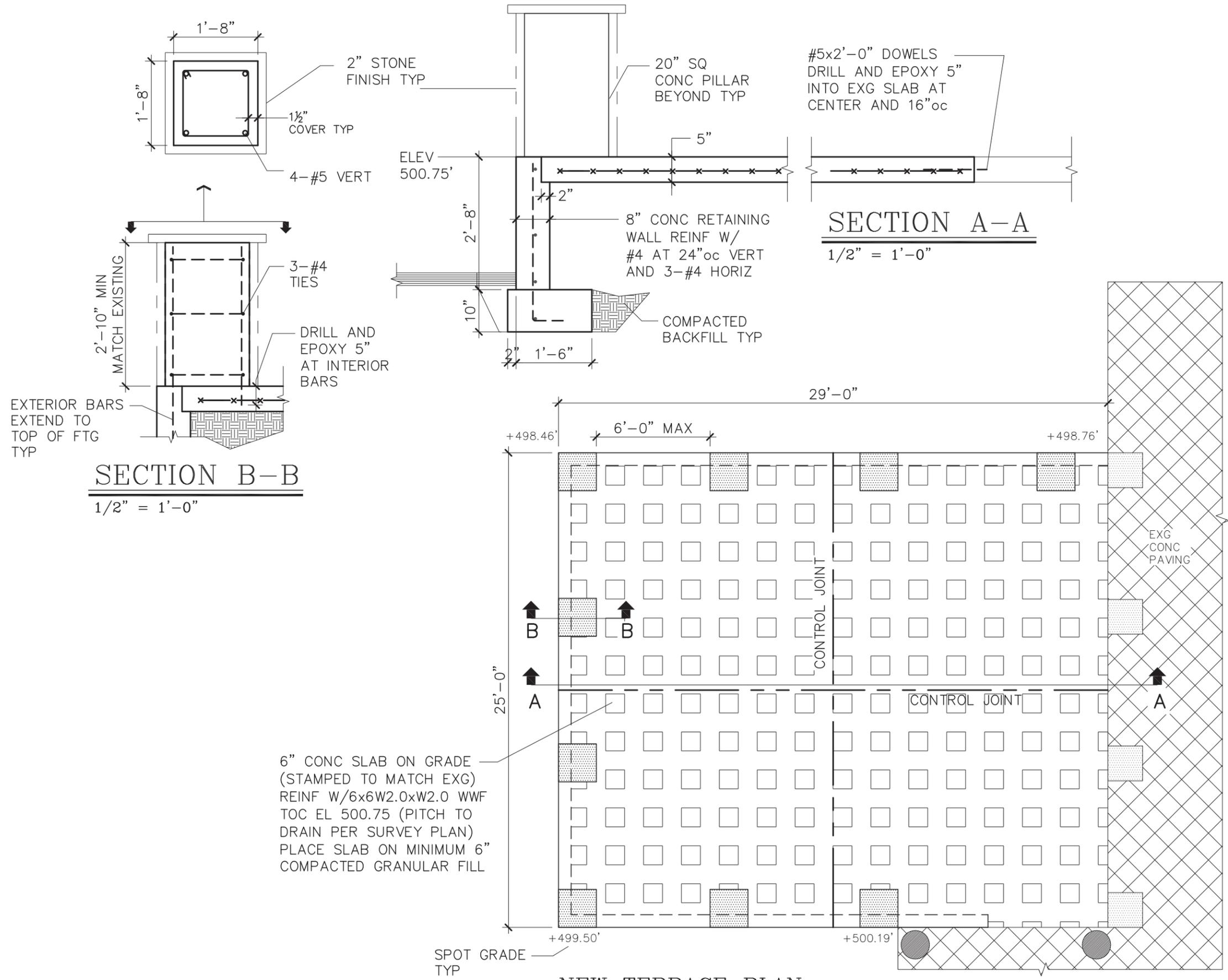
PERMIT 28APR21
 REVISED 26APR21

PATIO SLAB EXTENSION

275 BOSTON TPKE
 BOLTON, CT

CONSTRUCTION

DATE: 21APR21 DWG. NO.
 PROJECT: SK1
 SCALE: CCB
 DRAWN BY: 13
 CHECKED BY:



From: George Koutouzis [mailto:georgekoutouzis61@gmail.com]
Sent: Thursday, March 25, 2021 10:48 AM
To: Carson, Patrice <pcarson@boltonct.org>; Rupert, Jim <jrupert@boltonct.org>
Subject: Georgina's Tent and temporary patio

Hello Patrice and Jim

Georgina's Restaurant seating per updated covid regulations with 6 feet distancing
main dining 17 tables = 74 people
lounge area 9 tables = 36 people
grand ballroom max per covid 100 quests
lower ballroom half of total occupancy 46 quests

total indoor occupancy 256 people

When Tent is in use max occupancy for outdoor is 200 people
the grand ballroom will not be used if an outdoor function is ongoing

when tent is in use max total people will be 356

parking spaces at the moment is 172
we will lose 8 spaces for the tent 3 spaces for the temporary patio
and 3 spaces for the new permanent patio during construction
total loss of 14 spaces, with everything going total spaces will be 158 parking spaces.

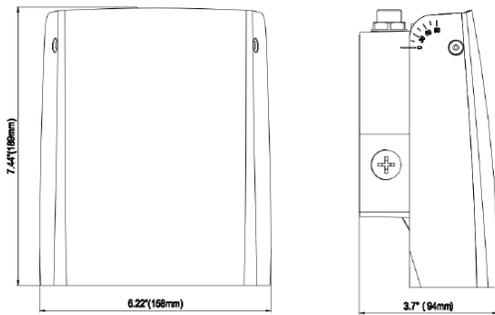
As for the fire information it's posted on the tent and it will be confirmed during Jim's inspection
as he did last year.

Thank you George.

WALLMAX™ THIN CUT OFF
WP-AD SERIES



DIMENSIONS: 15W, 20W & 29W:



PRODUCT DESCRIPTION:

WallMax Thin Cut Off Wall Packs are a full Cutoff wall fixture which includes a photocell with removable cap. Further enhancing the versatility, they are also CCT selectable between 3000K, 4000K and 5000K. These durable, energy-saving fixtures are perfect for lighting outdoor walkways, landscapes and parking areas.

FEATURES:

- CCT Selectable between 3K/4K/5K version available
- Full Cutoff optics
- Universal 120-277V
- Battery Backup Options available

CONTROLS:

- 120-277V Photocell included with removable cover cap
- Programmable motion sensor available as an option

WARRANTY:

10-year standard warranty with labor allowance* (further details available at www.maxlite.com/warranties)

*Warranty Limitations: Product must be rated for the application per the Product Data Sheet (PDS); operated ≤16 hrs/day; in ambient of -29°F to 104°F.

*Up to \$25/unit; labor allowances of up to \$500/unit available for purchase – contact MaxLite representative for details.

MODEL SELECTION

WP-AD	S		U	-		B	
FAMILY	HOUSING SIZE	WATTAGE	VOLTAGE	-	CCT	FINISH	OPTIONS
WP-AD=WallMax™ Thin Cut Off	S=Small	15=15W; 100W MH replacement 20=20W; 150W MH replacement 29=29W; 175W MH replacement	U= 120-277V	-	CS= CCT Selectable between 3/4/5K	B= Bronze Contact MaxLite for additional finishes	(OMIT)= None PC= 120-277V Photocell with removable cap included standard EMO= Battery Backup 0°C EM2= Battery Backup -20°C MS= Photo/Motion Sensor (External)

SPECIFICATIONS:

SPECIFICATIONS:		WP-ADS15	WP-ADS20	WP-ADS29
ITEM	SPECIFICATION	DETAILS		
GENERAL PERFORMANCE	Input Power (W)	15.6	19.5	28.4
	Lumens Delivered (lm)	1,900 - 2,050	2,400-2,600	3,450-3,690
	Efficacy (lm/W)	122-131	123-133	121-130
	CRI	>70		
	Lumen Maintenance (L70)	≥100,000		
	Color Temperature	Selectable between 3000K, 4000K and 5000K		
	Operating Temperature	-40°F to 104°F (-40°C to 40°C)		
	Housing	Die Cast Aluminum housing with tempered glass lens, Adjustable 0-90° option available (Consult Maxlite)		
ELECTRICAL	Power Factor	>0.90		
	Input Voltage	120-277V		
CERTIFICATION	Material Usage	RoHS compliant; no mercury		
	Environment	Outdoor, Wet location, IP65		
	Qualifications	FCC, cULus		
	Warranty	10-year standard warranty*		
QUALIFICATION	DesignLights Consortium	DLC Premium		

ORDERING:

ORDER CODE	MODEL NUMBER	UPC #	DLC ID NUMBER	DLC CATEGORY	WATTAGE (Nominal)	CCT
105039	WP-ADS15U-CSBPC	767627002335	PY0AVLM4	Outdoor Full-Cutoff Wall-Mounted Area Luminaires	15	Selectable between 3/4/5K
104540	WP-ADS20U-CSBPC	767627972119	P8XWSX4C	Outdoor Full-Cutoff Wall-Mounted Area Luminaires	20	Selectable between 3/4/5K
104541	WP-ADS29U-CSBPC	767627972126	PMNMF0D	Outdoor Full-Cutoff Wall-Mounted Area Luminaires	29	Selectable between 3/4/5K

SCALE 1/8"=1'-0"

post lighting

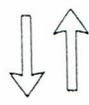
25.00'

29.00'

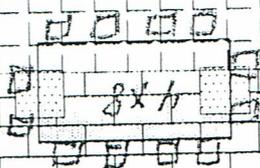
22.67'



EXISTING BUILDING



ENTRANCE-EXIT DOORS



Garage

EGRESS DOOR

*well deck
lighting
Attached
Specs.*

EXISTING BUILDING
Dining Room

<i>Seating</i>	
10 Tables of 2 =	20
14 Tables of 4 =	56
Fire Pit 12 guests =	12
Total	88

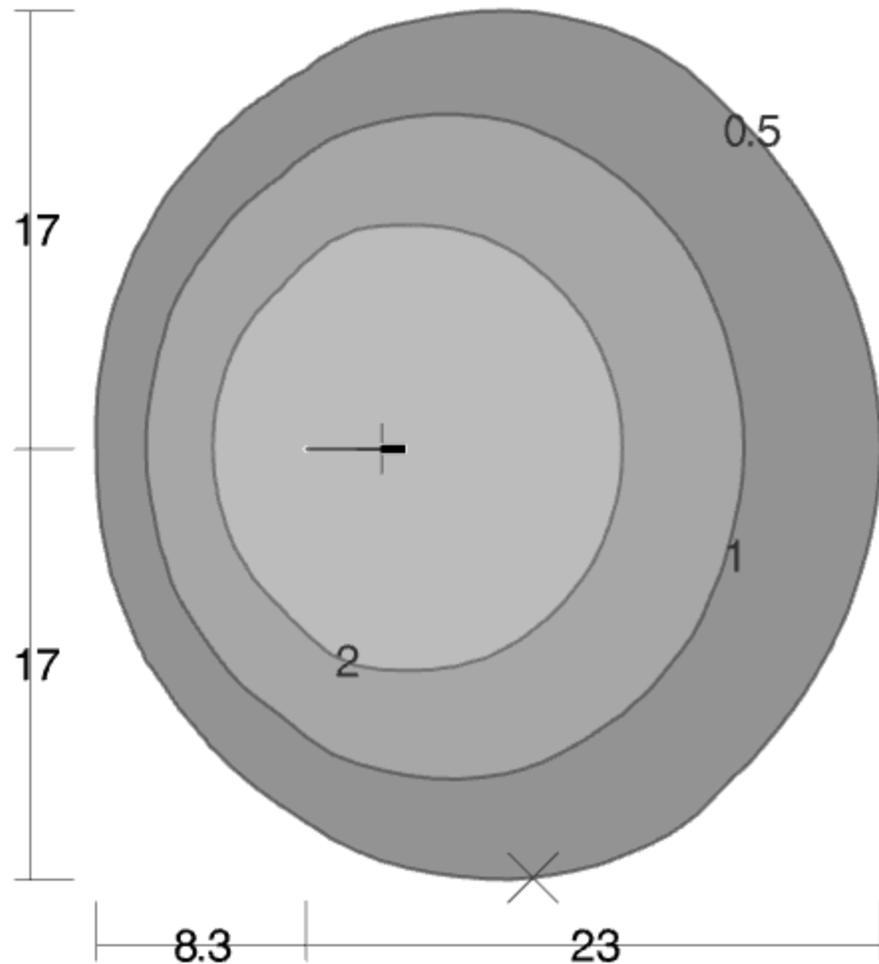
WP-ADS15U-CSBPC

MaxLite Inc.
 ED200519023L
 LED Adjustable wall pack CCT selectable



Luminaire Watts	15	W
Ballast/Driver Factor	1.00	
Light Loss Factor	0.900	↻
Total Proration Factor	1.00	
Luminaire Lumens	2058	lms

12 ft



Min: 0.50 fc X
 Max/Avg: 3.0

Avg: 1.6 fc
 Avg/Min: 3.1

Max: 4.7 fc +
 Max/Min: 9.3

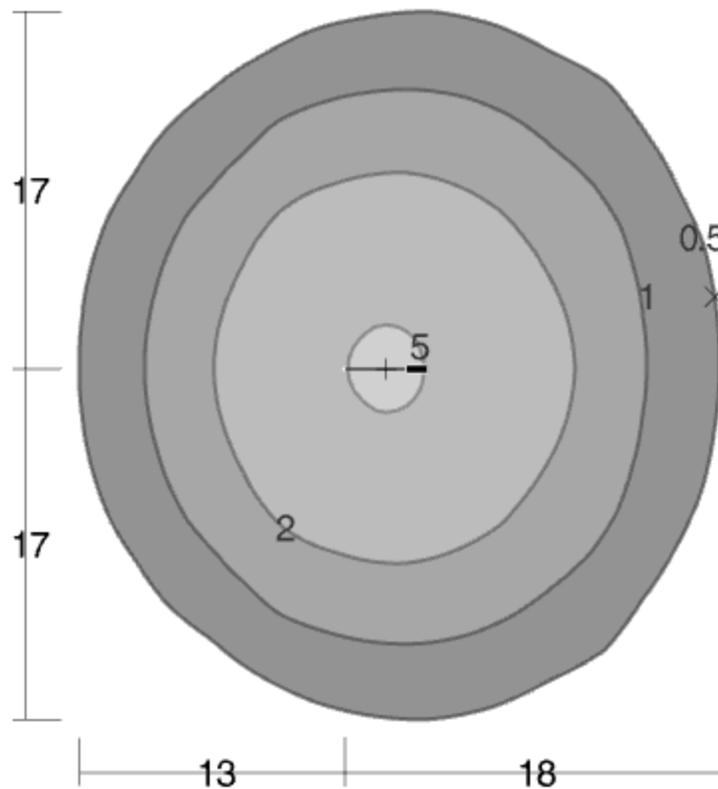
WP-ADS15U-CSBPC

MaxLite Inc.
ED200519023L
LED Adjustable wall pack CCT selectable



Luminaire Watts	15	W
Ballast/Driver Factor	1.00	
Light Loss Factor	0.900	↻
Total Proration Factor	1.00	
Luminaire Lumens	2058	lms

 12 ft



Min: 0.50 fc **x**
Max/Avg: 3.1

Avg: 1.7 fc
Avg/Min: 3.5

Max: 5.3 fc **+**
Max/Min: 11

Project Name

Location

Prepared By



SATCO S29830

6A19/OMNI/220/LED/27K

Notes

[www] 03-22-2021 04:50:55

General

Status	Active
Watts	6
Incandescent Equivalent	40
Volts	120V
Shape	A19
Base	Medium
ANSI Base	E26
Finish	Frosted White
CCT (Kelvin)	2700
Temperature	Warm White
CRI	83
Lumens	480
Beam Spread	220
Dimmable	Yes - Dimmable
Hours Rated	25000
Lamp Type	Type A
Technology	LED

Electrical

Power Factor	0.98
Operating Temperature	-25C (-13F) to a maximum of +45C (+113F)

Physical

MOL	4.31
MOD	2.38
Housing Color	White
Weight (lb.)	0.09

Additional Information

Rated For Enclosed Fixture	Yes
Warranty	5 Year Limited - 10 hr per day

Compliance

Safety Listing	cULus
Location Rating	Damp
Energy Star	Yes
ES Unique ID	ESID-2307966
California Status	Non-Compliant
California Compliant Substitute	S9703
Nevada Status	Lawful for sale in Nevada
RoHS Compliant	Yes
SDS Sheet	LED_Lamp

Project Name

Location

Prepared By



SATCO S29815

15A19/LED/2700K/1600L/120V/D

Notes

[www] 03-22-2021 04:50:55

General

Status	Active
Watts	15
Incandescent Equivalent	100
Volts	120V
Shape	A19
Base	Medium
ANSI Base	E26
Finish	Frosted White
CCT (Kelvin)	2700
Temperature	Warm White
CRI	82
Lumens	1600
Beam Spread	220
Dimmable	Yes - Dimmable
Hours Rated	25000
Lamp Type	Type A
Technology	LED

Electrical

Power Factor	0.94
Operating Temperature	-25C (-13F) to a maximum of +45C (+113F)

Physical

MOL	4.63
MOD	2.38

Additional Information

Rated For Enclosed Fixture	Yes
Warranty	5 Year Limited - 10 hr per day

Compliance

Safety Listing	cULus
Location Rating	Damp
Energy Star	Yes
ES Unique ID	ESID-2307670
California Status	Non-Compliant
California Compliant Substitute	S8652
Nevada Status	Lawful for sale in Nevada
RoHS Compliant	Yes
SDS Sheet	LED_Lamp

Project Name

Location

Prepared By



SATCO S29835

9.8A19/OMNI/220/LED/27K

Notes

[www] 03-22-2021 04:50:55

General

Status	Active
Watts	9.8
Incandescent Equivalent	60
Volts	120V
Shape	A19
Base	Medium
ANSI Base	E26
Finish	Frosted White
CCT (Kelvin)	2700
Temperature	Warm White
CRI	83
Lumens	800
Beam Spread	220
Dimmable	Yes - Dimmable
Hours Rated	25000
Lamp Type	Type A
Technology	LED

Electrical

Power Factor	0.98
Operating Temperature	-25C (-13F) to a maximum of +45C (+113F)

Physical

MOL	4.31
MOD	2.38
Weight (lb.)	0.09

Additional Information

Rated For Enclosed Fixture	Yes
Warranty	5 Year Limited - 10 hr per day

Compliance

Safety Listing	cULus
Location Rating	Damp
Energy Star	Yes
ES Unique ID	ESID-2307827
California Status	Non-Compliant
California Compliant Substitute	S9703
Nevada Status	Lawful for sale in Nevada
RoHS Compliant	Yes
SDS Sheet	LED_Lamp

GENERATION LIGHTING

82240EN3-780: One Light Outdoor Post Lantern



Dimensions:

Diameter: 11" **Wire:** 6 1/2" (color/Black/White)
Height: 23" **Mounting Proc.:** Post
Weight: 5.3 lbs. **Connection:** Mounted To Box
Lumens: 800

Bulbs:

1 - LED Medium A19 9.3w Max. 120v - included

Features:

- ENERGY STAR® Qualified
- LED Bulbs are an efficient, versatile and durable light source that deliver exceptional performance.
- Meets Title 24 energy efficiency standards
- Title 24 compliant when used with included Joint Appendix (JA8) approved lamp.

Material List:

1 Body - Aluminum - Undefined

Safety Listing:

Safety Listed for Wet Locations

Instruction Sheets:

English (HC-1182)
 French (F-013)

Collection: Cape May

One Light LED Outdoor Post Fixture Lantern in Burled Iron Finish with Etched Hammered with Light Amber Glass Shade

Featured in the decorative Cape May collection

1 A19 Medium 9.3 watt light bulb

Fixture is supplied with 1 light bulb

Etched hammered with light amber glass diffuser

ENERGY STAR® Qualified

UPC #:785652044717

Finish: Burled Iron (780)

Shade / Glass / Diffuser Details:

Part	Material	Finish	Quantity	Item Number	Length	Width	Height	Diameter	Fitter Diameter	Shade Top Length	Shade Top Width	Shade Top Diameter
Diffuser	Glass	Etched Hammered with Light Amber	1					8 5/8				

Replacement Bulb Data:

Product #	Material	Type	Base	Watts	Watts Consumed	Volts	Hours	Lumens	Temp (°K)	CRI
97502S	Frosted	A19	Medium	9.3	9.3	120v	15000	800 230°	3000	90

Shipping Information:

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Fr. Class	UPS Ship
Individual	82240EN3-780	1	785652044717	13.25	13.25	21	2.134	7.1	250	Yes
NJ Pallet		35		48	40	71.5	79.444	248.5		No
NV Pallet		35		48	40	71.5	79.444	248.5		No



Town of Bolton

222 BOLTON CENTER ROAD • BOLTON, CT 06043

Date: May 7, 2021

To: Planning & Zoning Commission

From: Patrice L. Carson, AICP, Consulting Director of Community Development

Subject: George Koutouzis' Site Plan Modification Application at 275 Boston Turnpike (Georgina's Restaurant) to Expand Existing Outdoor Patio for Dining

INFORMATION

Application No.: VP#PL-21-2

Application Date: March 23, 2021

Receipt Date: April 14, 2021

Public Hearing Date(s): Not Required

Applicant(s): George Koutouzis

Owner(s): George Koutouzis

Wetlands Permit Effective: no permit required

Wetlands Permit Expires: no permit required

This is an application for a Site Plan modification to expand an existing outdoor patio for dining. The application proposes to add on to the existing outdoor patio in the front of the restaurant by adding 29 feet into the parking lot where the handicapped parking spaces are and a smaller area toward the street, a total of 725 new square feet. The current driveway access/egress will not change. The handicapped parking spaces will be relocated just to the south. The building is served by public sewer and well.

The use and proposal is a logical expansion for the site especially as outdoor dining has become much more prevalent since the pandemic. The remainder of the site will not be renovated. A lighting plan has been submitted which appears adequate and in accordance with the Zoning Regulations. The number of parking spaces on site appear to meet the Zoning Regulations but the applicant should supply a parking analysis to show there are enough spaces during full occupancy. The applicant also needs to submit a plan for egress from the building onto the patio and into the parking lot to show Fire and Building Codes can be met. The EHHD is reviewing the plans for compliance with food service on the patio. There are no wetlands issues. A notification sign has been posted in accordance with the Zoning Regulations and State Statutes. The application is complete and the use is compatible with the area and a logical extension of the existing use and site. If the applicant addresses the staff issues, the application would comply with the Zoning Regulations. Please see below for individual staff comments.



May 6, 2021

Ms. Patrice Carson, AICP
Director of Community Development
Town Office Building
222 Bolton Center Road
Bolton, CT 06043

Re: Georgina's Outdoor Patio
275 Boston Turnpike
Site Plan Review
NLJA #0968-0046

Dear Ms. Carson:

As requested, we have reviewed the following information received for the subject project at our office through April 28, 2021:

Item 1: Drawing titled "Plan prepared for Tsambika, LLC, 275 Boston Turnpike, Bolton, CT", scale: 1" = 10', dated 02-25-21, last revised 03-08-21, prepared by Bushnell Associates, LLC.

Item 2: Bolton Planning and Zoning Commission Application for Special Permit, Site Plan Review or Modification of a Previously Approved Application, dated 03-23-21, accompanied by Parking Calculations and List of Abutters within 500 Feet.

Item 3: Drawing titled "Patio Slab Extension, 275 Boston Tpke, Bolton, CT", scales as noted, dated 04-21-21, prepared by GNCB Consulting Engineers.

The above referenced information has been submitted in response to our April 8, 2021 engineering review letter.

We have the following comments:

1. A cross-sectional detail of the proposed retaining wall should be provided. **Comment Addressed.**
2. As previously noted, we would recommend that the existing gravity sewer line be sleeved with a larger pipe for the portion of the line that passes beneath the proposed patio.

Nathan L. Jacobson & Associates, Inc.
Nathan L. Jacobson & Associates, P.C. (NY)
86 Main Street P.O. Box 337 Chester, Connecticut 06412-0337
Tel 860.526.9591 Fax 860.526.5416

Consulting Civil and Environmental Engineers Since 1972



Ms. Patrice Carson, AICP
Director of Community Development
Re: Georgina's Outdoor Patio
275 Boston Turnpike Site
Plan Review NLJ #0968-0046
May 6, 2021
Page 2 of

3. As previously noted, the existing underground grease traps located at the southwestern corner of the building should be shown on the Site Plan.

Should you have any questions, please feel free to contact me.

Very truly yours,

A handwritten signature in black ink, appearing to read 'J.M. Dillon', written in a cursive style.

NATHAN L. JACOBSON & ASSOCIATES, INC.
Joseph M. Dillon, P.E.

JMD:jmd

cc: Jim Rupert
Barbara Kelly
File

From: Kelly, Barbara
Sent: Friday, April 16, 2021 11:16 AM
To: Carson, Patrice <pcarson@boltonct.org>
Subject: 275 Boston Turnpike

An Inland Wetlands Application/Permit is not required for the work proposed under Planning Applications PL-21-2. There are no wetlands or watercourses within 100' of the proposed work.

Barbara Kelly, Agent
Inland Wetlands Commission
Town of Bolton