



CITY COUNCIL
Regular Meeting

City Councillor Joseph A. DelGrosso
City Council Chamber – 2nd Floor
Revere City Hall
Revere, MA 02151
Calendar
Monday, February 26, 2024, 6:00 PM

5:00PM Zoning Sub-Committee Meeting

Salute to the Flag

1. **Roll Call of Members**
2. Approval of the Journal of the Regular Meeting of February 12, 2024
3. **24-056** The Revere Police Traffic Division will appear before the City Council to discuss the regulations concerning small motorized bikes and scooters. The vehicles have become a serious safety hazard to drivers and pedestrians.

Public Hearings

4. **24-081** Hearing called as ordered on the application of Arfaat S. Ali, 35 Francis Street, Revere, MA 02151 requesting a special permit from the Revere City Council to enable the appellant to modify an existing non-conforming 4-family structure by increasing the number of bedrooms in each unit at 35 Francis Street, Revere, MA 02151.
5. **24-082** Hearing called as ordered on the application of Jewel Saeed, 55 Berkshire Street, Swampscott, MA 01907, requesting a special permit from the Revere City Council to reconstruct and expand an existing non-conforming structure, by razing the existing structure and constructing a 5-story boutique hotel containing approximately 104 rooms and 32 parking spaces at 185 Squire Road, Revere, MA 02151.
6. **24-061** Hearing called as ordered on An Ordinance Providing for Interpretation Services for Public Meetings and Public Documents. (language attached)
7. **24-083** Hearing called as ordered on the application Kevin Roseberg, Expose Signs & Graphics, 3 Landing Lane, Hopedale, MA 01747 requesting permission to install awning at 250 Broadway, Revere, MA 02151.
8. **24-064** Hearing called as ordered on an emergency loan order in the amount of \$3,000,000 for the Oak Island / MBTA Railroad Crossing Project CWSRF No. 18903
9. **24-084** Hearing called as ordered on petition submitted by National Grid and Verizon to install a jointly owned pole on Washburn Avenue in accordance with Plan #29154577.
10. **24-085** Hearing called as ordered on a petition submitted by National Grid to install three poles on Washburn Avenue for future MBTA station supply primary risers in accordance with Plan #29154577.

Zoning Sub-Committee Report

11. **24-028** Zoro, LLC, 1040-1048 North Shore Road, Unit B2, Revere, MA 02151 requesting a special permit from the Revere City Council for the reconstruction, alteration, and extension of the preexisting non-conforming residential use and structure for the purpose of constructing a four-story, eleven unit residential apartment building at 1473 North Shore, Revere, MA 02151.
12. **24-022** Motion presented by Councillor Silvestri, Councillor McKenna: That the City Council order to a public hearing, A Zoning Ordinance Relative to Home-Based Childcare. (see attachment for language)

Communications

13. **24-086** Communication from the City Policy Writer and Analyst relative to an ordinance amending the term of the Superintendent of Public Works of the City of Revere.
14. **24-087** Communication from the City Auditor relative to the transfer of Free Cash to RHS Stabilization Fund.
15. **24-088** Communication from the City Auditor relative to the Certification of Free Cash - June 30th 2023.

Motions

16. **24-089** Motion presented by Councillor Guarino-Sawaya: That the Mayor be requested to direct the City's Communications Liason to translate all pamphlets and public notification documents into Italian.
17. **24-090** Motion presented by Councillor Guarino-Sawaya: That the City Council award a Certificate of Commendation to Officer Peachey Chhom and Officer Kenan Resic in recognition of their quick thinking actions to track down an individual involved in a financial scam aimed at senior citizens and return thousands of dollars in stolen money to a local couple.
18. **24-091** Motion presented by Councillor Argenzio: That the City Council order to a public hearing, An Ordinance Further Amending Food Truck Regulations. (attached)
19. **24-092** Motion presented by Councillor Argenzio: That the Mayor and Chief of Infrastructure Don Ciaramella be requested to return the Water & Sewer discount program for seniors to last year's rate structure as follows: 30% discount for consumption of 30,000 gallons or less, 20% discount for consumption of 30,001 to 70,000 gallons, and 10% discount for consumption of 70,001 gallons or more.

20. **24-093** Motion presented by Councillor Zambuto: That the City Council President be requested to direct all sub-committee chairs to limit deliberations at their sub-committee meetings to only members of the sub-committee and the participating public so as not to violate the Open Meeting Law. When Councillors, who are not members of a sub-committee, are allowed by a sub-committee chair to deliberate at sub-committee meetings they are effectively creating a quorum of the City Council as opposed to a quorum of the sub-committee. The appropriate time for a Councillor to deliberate on a matter not within their sub-committee's jurisdiction is when a sub-committee report is given by a chair during a regular City Council meeting.
21. **24-094** Motion presented by Councillor Guarino-Sawaya: That the Mayor request the Traffic Division to investigate the feasibility of installing a speed bump on Oak Island Street as a matter of public safety.
22. **24-095** Motion presented by Councillor Guarino-Sawaya: That the Mayor request the Police Department to install a traffic camera at the end of Oak Island Street at Revere Beach Boulevard to deter motorists from making an illegal left turn from the boulevard onto Oak Island Street.
23. **24-096** Motion presented by Councillor Haas, Councillor McKenna: That the Mayor request the Police Department to place a portable speed radar sign (for the span of one month while switching directions after two weeks) on Winthrop Avenue along the stretch that runs from Sonny Myer's Park to Broadway to collect data to see if a digital speed limit sign is necessary.
24. **24-097** Motion presented by Council President Cogliandro: That the City Council award Certificates of Commendation to the Middle School Girls' Basketball team and their coach for winning this year's GBL Championship with an undefeated record of 12-0.

Late Communications

25. **24-098** Late Communication from Julie DeMauro requesting a letter from the City Council in support of the City of Revere's application to the American Infrastructure With Sustainability and Equity Grant Program.
26. **24-099** Late Communication from Brian Dakin, Senior Project Manager, LeftField providing an update on the Revere High School project schedule summary.



CITY COUNCIL
Regular Meeting

City Councillor
Joseph A. DelGrosso
City Council Chamber
Journal
Monday, February 12, 2024

Regular Meeting of the City Council was called to order at 6:00 PM. City Council President Anthony Cogliandro presiding.

Salute to the Flag

1 Roll Call of Members

Attendee Name	Title	Status	Arrived
Paul Argenzio	Councillor	Present	
Chris Giannino	Councillor	Present	
Angela Guarino-Sawaya	Councillor	Present	
Robert J. Haas	Councillor	Present	
Juan Pablo Jaramillo	Councillor	Late	6:02 PM
Michelle Kelley	Councillor	Present	
Joanne McKenna	Councillor	Present	
Ira Novoselsky	Councillor	Late	6:09 PM
Marc Silvestri	Councillor	Present	
Anthony T. Zambuto	Councillor	Present	
Anthony Cogliandro	City Council President	Present	

2 Approval of the Journal of the Regular Meeting of January 29, 2024

RESULT: ACCEPTED

Communications

Council President Cogliandro requested suspension of rules for the purpose of taking up Council Order 24-063 out of order.

3 24-063 Communication from the Election Commissioner requesting approval of the warrant for March 5, 2024 Presidential Primary.

Election Commissioner Paul Fahey addressed the City Council.

"SHALL THE CITY COUNCIL APPROVE THE WARRANT FOR THE MARCH 5, 2024 PRESIDENTIAL PRIMARY?"

RESULT: ORDERED - VOICE VOTE

Certificate Presentations

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- 4 24-047 Motion presented by Councillor Guarino-Sawaya: That the City Council award a Certificate of Commendation to Lisa Cutting, owner of Oceanview Kennel, for her dedication to the animals of our community. Lisa is always available when the Police Department calls for assistance in picking up stray dogs and even wildlife.

Councillor Guarino-Sawaya presented the Certificate of Commendation to Lisa Cutting.

RESULT: PLACED ON FILE

- 5 24-053 Motion presented by Councillor Jaramillo, Councillor Haas: That the City Council award a Certificate of Commendation to Carol A. Tye in recognition of her life-long dedication to the City of Revere, its students, civic life, and public education throughout her career as a school teacher, union president, Superintendent of Public Schools, and School Committeewoman. Ms. Tye has exhibited selfless and tireless devotion to the City's public education system, and has built the foundation for educational and civic progress in the City.

Councillors Haas and Jaramillo presented the Certificate of Commendation to Carol A. Tye.

RESULT: PLACED ON FILE

Communications

Councillor Novoselsky requested suspension of the rules for the purpose of taking up Council Orders 24-064 and 24-065.

- 6 24-064 Communication from the Chief Financial Officer requesting a public hearing on an emergency loan order in the amount of \$3,000,000 for the Oak Island / MBTA Railroad Crossing Project CWSRF No. 18903

Rich Viscay, Director of Finance addressed the City Council on the loan order.

**Proposed Loan Order
Oak Island / MBTA Railroad Crossing
Construction Project - CW 18903**

That \$3,000,000 is appropriated to pay costs of the Oak Island / MBTA Railroad Crossing Construction Project (CW 18903), including the removal and replacement of the existing water main and sewer line located directly below this MBTA crossing, including the payment of all costs incidental and related thereto and any other related costs or expenses thereof as defined in G.L. c.29C, Section 1; that to meet this appropriation the Treasurer, with the approval of the Mayor, is authorized to borrow said amount under and pursuant to G.L. c.44, Section 7(1) or Section 8(14) and/or G.L. c.29C, or pursuant to any other enabling authority, and to issue bonds or notes of the City therefor; that the Treasurer with the approval of the Mayor is authorized to borrow all or a portion of such amount from the Massachusetts Clean Water Trust (the Trust") established under G.L. c. 29C and in connection therewith to enter into a financing agreement

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and/or security agreement with the Trust and otherwise to contract with the Trust and the Department of Environmental Protection ("DEP") with respect to such loan and for any federal or state aid that may be available for the project or for the financing thereof; and that the Mayor is authorized to enter into any agreements with the DEP, to expend all funds available for the project, and to take any other actions necessary to carry out the project.

That the Treasurer is authorized to file an application with the appropriate officials of The Commonwealth of Massachusetts (the "Commonwealth") to qualify under G.L. c. 44A of any and all bonds of the City authorized to be borrowed pursuant to this loan order, and to provide such information and execute such documents as such officials of the Commonwealth may require in connection therewith.

RESULT:	ORDERED TO PUBLIC HEARING - CC	Next: 2/26/2024 6:00 PM
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- 7 24-065 Communication from the Chief Financial Officer requesting approval of a Resolution relative to the Lead Service Line Inventory & Replacement Program.

Nick Rystrom, City Engineer addressed the City Council on the Resolution

A RESOLUTION TO FILE AND ACCEPT GRANTS WITH AND FROM THE COMMONWEALTH OF MASSACHUSETTS, DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE MASSACHUSETTS CLEAN WATER TRUST FOR THE CITY'S LEAD SERVICE LINE INVENTORY AND REPLACEMENT PROGRAM

WHEREAS, the City of Revere (the "City") is developing its Lead Service Line Replacement Program (the Project");

WHEREAS, the Project entails developing a service line inventory for the City's approximately 12,000 service lines by gathering, reviewing, and compiling the City's existing electronic service line material information;

WHEREAS, The Massachusetts Department of Environmental Protection ("MassDEP") and the Massachusetts Clean Water Trust (the "Trust"), pursuant to M.G.L. c. 21 and c. 29C are authorized to make loans and grants to municipalities for the purpose of funding planning and construction activities relative to Water Pollution Abatement Projects and Drinking Water Projects; and

WHEREAS, the City believes it would be in the public interest to file a loan or grant application (each, an "Application");

NOW, THEREFORE, BE IT RESOLVED:

1. That the Mayor is hereby authorized on behalf of the City to file applications and execute agreements for grant and/or loan assistance as well as furnishing such information, data and documents pertaining to the City for a grant(s) and/or Loan(s) as may be required;

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and otherwise to act as the authorized representative of the City in connection with the Application;

- 2. That the purpose of said loan(s)/grant(s), if awarded, shall be to fund planning activities; and
- 3. That if said award is made the City agrees to pay those costs which constitute the required City's share of the project cost; and
- 4. That this resolution shall take effect upon passage.

RESULT: ORDERED - VOICE VOTE

Motions

Councillor Kelley requested that Council Order 24-072 be taken out of order as a constituent is in the Chambers who may wish to speak on the matter.

- 8 24-072 Motion presented by City Councillor Kelley, City Councillor Giannino: That the Mayor be requested to take by eminent domain, Lot 131 at 71 Sherman Street (Map 29, Block 433C, Parcel 6) as a matter of public safety.

Councillor Kelley requested that this matter be taken up tonight for a vote.

Councillor Zambuto offered a substitute motion to refer the matter to a joint committee of Zoning and Ways & Means for further discussion on the potential cost.

Councillor Zambuto's substitute motion is now on the floor:

Councillors Argenzio, Giannino, Haas, McKenna, Novoselsky, Zambuto, and President Cogliandro voting "YES". Councillors Guarino-Sawaya, Jaramillo, Kelley, and Silvestri voting "NO".

Councillor Zambuto's substitute motion prevails and matter is referred to a joint committee of Zoning and Ways & Means.

RESULT: REFERRED TO ZONING

Unfinished Business

- 9 24-033 Petition by National Grid and Verizon to install a jointly owned pole on Winthrop Avenue near Revere Beach Parkway in accordance with the plan on file. (Plan #30867366)

“SHALL THE CITY COUNCIL GRANT THE RELIEF REQUESTED BY NATIONAL GRID AND VERIZON?”

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RESULT: ORDERED - VOICE VOTE

Zoning Sub-Committee Report (Feb. 5, 2024)

10 23-263 Nicholas Giacobbe, 164 Harris Street, Revere, MA requesting a special permit from the Revere City Council to modify a nonconforming use by restoring an abandoned pre-existing dwelling unit in the rear of the property at 164 Harris Street, Revere, MA 02151.

"SHALL THE CITY COUNCIL ALLOW THE PETITIONER TO WITHDRAW THE SPECIAL PERMIT APPLICATION WITHOUT PREJUDICE?"

RESULT: WITHDRAWN WITHOUT PREJUDICE [UNANIMOUS]
AYES: Argenzio, Giannino, Guarino-Sawaya, Haas, Jaramillo, McKenna, Novoselsky, Zambuto, Cogliandro
ABSENT: Kelley, Silvestri

11 24-029 Parkway Homes Owner, LLC, 300 Washington Street, Suite 850, Newton, MA 02458 requesting a Planned Unit Development special permit and a special permit for the increase in Floor Area Ratio of up to 3.0 within the TED District to enable the appellant to construct a mixed-used development consisting of 250 residential apartment units and 1 commercial unit at 418 Revere Beach Parkway, and 2, 12, 16 Pratt Street, Revere, MA 02151. (application is available for public inspection in the Office of the City Clerk, 281 Broadway, Revere, MA 02151 or www.revere.org/departments/city-clerk)

"SHALL THE CITY COUNCIL GRANT THE RELIEF REQUESTED SUBJECT TO THE PROJECT REVIEW BOARD CONDITIONS AS AMENDED BY THE ZONING SUB-COMMITTEE?"

RESULT: ORDERED - ROLL CALL [10 TO 1]
AYES: Argenzio, Giannino, Guarino-Sawaya, Haas, Jaramillo, McKenna, Novoselsky, Silvestri, Zambuto, Cogliandro
NAYS: Kelley

Appointments Sub-Committee Report

12 24-008 Communication from the Mayor relative to the reappointment of various board & commission members.

It is noted that the following re-appointments have been withdrawn as the individuals have either resigned or cannot commit to the appointment at this time: Qin Li, Asmaa Abou-Fouda, Robert Brown, and Kirsten Green.

Councillor Argenzio is recorded as recused on the re-appointment of Savannah Carlson, Cultural Council.

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RESULT: ORDERED - ROLL CALL [UNANIMOUS]
AYES: Argenzio, Giannino, Guarino-Sawaya, Haas, Jaramillo, Kelley, McKenna, Novoselsky, Silvestri, Cogliandro
ABSENT: Zambuto

- 13 24-009 Communication from the Mayor relative to the appointment of Don Martelli to the Library Board of Trustees.

RESULT: ORDERED - ROLL CALL [UNANIMOUS]
AYES: Argenzio, Giannino, Guarino-Sawaya, Haas, Jaramillo, Kelley, McKenna, Novoselsky, Silvestri, Cogliandro
ABSENT: Zambuto

- 14 24-010 Communication from the Mayor relative to the appointment of Somaya Laroussi to the Human Rights Commission.

RESULT: ORDERED - ROLL CALL [UNANIMOUS]
AYES: Argenzio, Giannino, Guarino-Sawaya, Haas, Jaramillo, Kelley, McKenna, Novoselsky, Silvestri, Cogliandro
ABSENT: Zambuto

- 15 24-011 Communication from the Mayor relative to the appointment of Hector Rivera to the Planning Board.

RESULT: ORDERED - ROLL CALL [UNANIMOUS]
AYES: Argenzio, Giannino, Guarino-Sawaya, Haas, Jaramillo, Kelley, McKenna, Novoselsky, Silvestri, Cogliandro
ABSENT: Zambuto

- 16 24-012 Communication from the Mayor relative to the appointment of Hal Abrams to the Planning Board.

RESULT: ORDERED - ROLL CALL [UNANIMOUS]
AYES: Argenzio, Giannino, Guarino-Sawaya, Haas, Jaramillo, Kelley, McKenna, Novoselsky, Silvestri, Cogliandro
ABSENT: Zambuto

- 17 24-013 Communication from the Mayor relative to the appointment of Herby Jean-Baptiste to the Human Rights Commission.

RESULT: ORDERED - ROLL CALL [UNANIMOUS]
AYES: Argenzio, Giannino, Guarino-Sawaya, Haas, Jaramillo, Kelley, McKenna, Novoselsky, Silvestri, Cogliandro
ABSENT: Zambuto

18 24-014 Communication from the Mayor relative to the appointment of Wilson Correa to the Conservation Commission.

RESULT: ORDERED - ROLL CALL [UNANIMOUS]
AYES: Argenzio, Giannino, Guarino-Sawaya, Haas, Jaramillo, Kelley, McKenna, Novoselsky, Silvestri, Cogliandro
ABSENT: Zambuto

19 24-015 Communication from the Mayor relative to the appointment of Matt Wolfer to the Affordable Housing Trust Fund Board of Trustees.

RESULT: ORDERED - ROLL CALL [UNANIMOUS]
AYES: Argenzio, Giannino, Guarino-Sawaya, Haas, Jaramillo, Kelley, McKenna, Novoselsky, Silvestri, Cogliandro
ABSENT: Zambuto

20 24-026 Communication from the Mayor relative to the appointment of John Stamatopoulos to the Planning Board.

RESULT: ORDERED - ROLL CALL [UNANIMOUS]
AYES: Argenzio, Giannino, Guarino-Sawaya, Haas, Jaramillo, Kelley, McKenna, Novoselsky, Silvestri, Cogliandro
ABSENT: Zambuto

21 24-037 Communication from the Mayor relative to the appointment of Derek Martinez to the Public Art Commission.

RESULT: REFERRED TO APPOINTMENTS

22 24-042 Communication from the Mayor relative to the appointment of Fr. Wellington to the Human Rights Commission.

RESULT: ORDERED - ROLL CALL [UNANIMOUS]
AYES: Argenzio, Giannino, Guarino-Sawaya, Haas, Jaramillo, Kelley, McKenna, Novoselsky, Silvestri, Cogliandro
ABSENT: Zambuto

23 24-041 Communication from the Mayor relative to the appointment of Kathy Savage to the Board of Health.

RESULT: ORDERED - ROLL CALL [UNANIMOUS]
AYES: Argenzio, Giannino, Guarino-Sawaya, Haas, Jaramillo, Kelley, McKenna, Novoselsky, Silvestri, Cogliandro
ABSENT: Zambuto

24 24-040 Communication from the Mayor relative to the appointment of Liliana Monroy to the License Commission.

RESULT: ORDERED - ROLL CALL [UNANIMOUS]
AYES: Argenzio, Giannino, Guarino-Sawaya, Haas, Jaramillo, Kelley, McKenna, Novoselsky, Silvestri, Cogliandro
ABSENT: Zambuto

25 24-039 Communication from the Mayor relative to the appointment of Lori Manzo to the Affordable Housing Trust Fund Board of Trustees.

RESULT: ORDERED - ROLL CALL [UNANIMOUS]
AYES: Argenzio, Giannino, Guarino-Sawaya, Haas, Jaramillo, Kelley, McKenna, Novoselsky, Silvestri, Cogliandro
ABSENT: Zambuto

26 24-038 Communication from the Mayor relative to the appointment of Kathryn Schulte-Grahame to the Library Board of Trustees.

RESULT: ORDERED - ROLL CALL [UNANIMOUS]
AYES: Argenzio, Giannino, Guarino-Sawaya, Haas, Jaramillo, Kelley, McKenna, Novoselsky, Silvestri, Cogliandro
ABSENT: Zambuto

27 24-043 Communication from the Mayor relative to the appointment of Annmarie Fiore to the Commission on Disabilities.

RESULT: REFERRED TO APPOINTMENTS

28 24-062 Communication from the Mayor relative to the appointment of Peggy Pratt as the alternate member to the Zoning Board of Appeals.

RESULT: ORDERED - ROLL CALL [7 TO 2]
AYES: Argenzio, Giannino, Guarino-Sawaya, Haas, Jaramillo, Novoselsky, Silvestri
NAYS: McKenna, Cogliandro
ABSTAIN: Kelley
ABSENT: Zambuto

Communications

Minutes Acceptance: Minutes of Feb 12, 2024 6:00 PM (Salute to the Flag)

- 29 24-066 Communication from the Revere High School Student Senate requesting time to provide the City Council with the current state and needs of students at Revere High School.

Matthew Terrel, President, Student Senate addressed the City Council. Presentation attached to minutes.

RESULT: PLACED ON FILE

Motions

- 30 24-067 Motion presented by Councillor Jaramillo: That the City Council President be requested to establish a "Climate, Sustainability, and Workforce" Sub-Committee. The purpose of this sub-committee will be to focus on any motion or ordinance change proposals relative to short and long-term effects of climate change, the solutions needed to address climate change from a systemic approach, from climate resiliency to the energy transition, and the important role that workers play in the development and sustainability of our city as a whole and in the just transition toward a greener future.

RESULT: ORDERED - VOICE VOTE

- 31 24-068 Motion presented by Council President Cogliandro: That the Mayor request his Chief of Planning and Community Development to investigate the feasibility of creating a pocket park, walking path with lighting, and/or trees using city property located at the corner of East Mountain Avenue and School Street.

RESULT: ORDERED - VOICE VOTE

- 32 24-069 Motion presented by Council President Cogliandro: That the Mayor request the DPW to install bike racks at City Hall for residents and employees who commute for work or business. The availability of bike racks would decrease the number of vehicles on the road and parked in the City Hall lot.

RESULT: ORDERED - VOICE VOTE

- 33 24-070 Motion presented by City Councillor Giannino: That the Mayor request the Traffic Division and DPW to install traffic calming measures at the following locations: 1.) solar powered speed limit sign on Oakwood Avenue, 2.) bollards or guardrail at 375 Washington Avenue at the intersection of Washington Avenue and Sargent Street, and 3.) three bollards at 87 Beach Street.

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RESULT: ORDERED AS AMENDED VOICE VOTE

- 34 24-071 Motion presented by Councillor Guarino-Sawaya, City Councillor Giannino: That the Mayor request Mass DOT to examine all poles and lights for deficiencies on Squire Road from Copeland to Butler Circle. Many of the lights are not functioning causing a public safety hazard for pedestrians and vehicular traffic.

Councillor Zambuto is recorded as recused from this motion.

RESULT: ORDERED - VOICE VOTE

- 35 24-073 Motion presented by Councillor Guarino-Sawaya: That the Mayor be requested to establish a program in which residents, developers, corporations, etc. can purchase an engraved walkway paver for the purpose of raising funds to be deposited into the Revere High School Stabilization Fund. The program could offer pavers in assorted colors and materials to coincide with a tiered donation level (i.e. red \$100, white \$250, blue \$500, gold \$1,000, glass \$5,000, metal \$10,000). The pavers to be used should be included in the union's bulk purchase of the materials used to construct the high school.

RESULT: ORDERED - VOICE VOTE

- 36 24-074 Motion presented by Councillor Guarino-Sawaya: That the Mayor be requested to submit an appropriation request to the City Council for the purpose of transferring all revenue generated from the parking lot leases at Wonderland to the Revere High School Stabilization Trust Fund beginning July 1, 2023 to present and throughout the life of the leases.

RESULT: ORDERED - VOICE VOTE

- 37 24-075 Motion presented by Councillor Guarino-Sawaya: That the Mayor request DCR to erect a temporary reflective road cone barrier for the entire length of 548 Revere Beach Boulevard 24/7 until construction has been completed on the new residential development as a matter of public safety. Currently, lane changes are signified by only two street cones which is wholly insufficient for ensuring the safety of motorists as there have been reports of near head-on collisions.

RESULT: ORDERED - VOICE VOTE

- 38 24-076 Motion presented by Councillor McKenna, Council President Cogliandro: That the Mayor be requested to hire an independent environmental assessment company for the purpose of conducting a full and complete

environmental assessment and thorough geotechnical testing of the proposed high school site at Wonderland to ensure that there are no hidden site development costs associated with the existence of soil conditions, hazardous materials, wetlands, and other environmentally sensitive considerations. The results of the assessment and testing shall be provided to the City Council in a timely manner to allow for public review and a reasonable opportunity for public comment thereon prior to the anticipated public hearing for the bond authorization request.

RESULT: ORDERED - VOICE VOTE

39 24-077 Motion presented by City Councillor Kelley: That the City Council order to a public hearing, An Ordinance Requiring the Publication of Certain Records of the Police Department. (attached)

RESULT: REFERRED TO HEALTH & HUMAN SERVICES

40 24-078 Motion presented by Councillor Haas, Councillor Guarino-Sawaya: That the Mayor, in conjunction with the Youth Works Department, investigate the feasibility of establishing a Teen Shoveling Program which would pair students with seniors and disabled residents (based on location) who have trouble maintaining their property during the winter months. The program would provide students monetary compensation and/or community service hours.

RESULT: ORDERED - VOICE VOTE

41 24-079 Motion presented by Councillor Haas: That the Mayor be requested to hire a full-time custodian or station an existing DPW employee full-time at the Rossetti-Cowan Senior Center.

RESULT: ORDERED - VOICE VOTE

42 24-080 Motion presented by Councillor Jaramillo, Councillor Guarino-Sawaya: That the City Council approve the attached Resolution in honor of Patty Wallach-Knickle, a beloved caregiver who served the residents of the Jack Satter House. (refer to attached Resolution)

Anthony Parziale, 51 Arcadia Street, Revere, MA addressed the City Council on this motion.

RESOLUTION

Whereas, Patty Wallach-Knickle (Levy) of Danvers, passed away unexpectedly after caring for residents at the Jack Satter House on January 19, 2024 at the age of 59.

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Whereas, Patty was dedicated to the work of caring for older adults in our city as a caregiver and an advocate for them. She was graceful in navigating complex challenges, particularly in her advocacy for her clients.

Whereas, Patty will be sorely missed by her family, friends, and of course, the people she care for at the Jack Satter House.

Whereas, the clients Patty cared for are served by the 411 MBTA bus line which has two stops near the Jack Satter, and the MBTA had threatened to end service of this line and recognizing that this decision has been extended until next year;

Whereas, this important bus line is vital for the social, emotional, and physical well-being of the residents of the Jack Satter and all older adults in Revere;

Whereas, this bus line is the most affordable transportation option for residents of the Jack Satter House and surrounding communities; used for grocery shopping, doctor's appointments, and go to events for older adults that allows them independent living and connection to our community at-large;

Moved, in honor of Patty's advocacy for older adults and her memory, that a Plaque with her name is fixed at the 411 bus stop located on the south side of Oak Island Street, reading the words " In loving memory of Patty Wallach-Knickle for her unwavering dedication to residents' mental health and overall well-being at the Jack Satter House", and further directs the Mayor to study the cost of a fare-free program for the 411 bus line's stops in Revere and work with the state to establish such a program with city, state, and or private funds."

RESULT: ORDERED - VOICE VOTE

Regional School Committeeman Anthony Caggiano Presentation

Regional School Committeeman Anthony Caggiano provided an update on the new vocational high school construction project. Completion of the project is anticipated in 2026. Revere was able to attain additional seating for Revere students. Due to the MSBA's increase in its reimbursement rates, there will now be a cost saving of approximately \$5.1 million to the City of Revere. Revere's initial contribution was set at \$59,272,995 and has been reduced to \$54,107,858.

Ordered adjourned at 8:02 PM.

Attest:

City Clerk

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C-24-03

PUBLIC HEARING

Notice is hereby given in accordance with the provisions of Chapter 40A of the Massachusetts General Laws and Section 17.40.030 of the Revised Ordinances of the City of Revere that the Revere City Council will conduct a public hearing on Monday evening, February 26, 2024 at 6:00 P.M. in the City Councillor Joseph A. DelGrosso City Council Chamber, Revere City Hall, 281 Broadway, Revere, MA 02151 on the application of Arfaat S. Ali, 35 Francis Street, Revere, MA 02151 requesting a special permit from the Revere City Council to enable the appellant to modify an existing non-conforming 4-family structure by increasing the number of bedrooms in each unit at 35 Francis Street, Revere, MA 02151.

A copy of the aforementioned application (C-24-03) is on file and available for public inspection in the office of the City Clerk, Revere City Hall, Revere, Massachusetts, Monday through Thursday from 8:00AM to 5:00PM and on Friday 8:00AM-12:00PM. Proponent/opponent testimony will be accepted in writing on or before February 20, 2024. Testimony can be submitted via email to amelnik@revere.org.

Attest:

Ashley E. Melnik
City Clerk

Revere Journal
Check attached #130
02/07/2024
02/14/2024

Attachment: PH.C2403.35FrancisStreet (24-081 : Special Permit, C-24-03, 35 Francis Street)

FORM B

APPLICATION NO. C-24-03

DATE: 1/30/24

City of Revere, Massachusetts
Revere City Council
Application For
Special Permit

All parts of this application and the attached documents shall be completed and submitted under the pains and penalties of perjury. Incomplete filings may be rejected.

The applicant must be prepared to present data that tends to indicate that the public convenience and welfare will be substantially served by granting the exception or permission requested. That the exception or permission requested will not tend to impair the status of the neighborhood; that the exception or permission requested will be in harmony with the general purposes and intent of the Revised Ordinances of the City of Revere.

I hereby request a hearing before the Revere City Council for the following:

- A. Application for Planned Unit Development Title 17, Chapter 17.20, Section 17.20.010, 17.20.200 (Revised Ordinances of the City of Revere),
- B. Application for Special Permit (Revised Ordinances of the City of Revere), Title 17, Chapter 17.16, Section _____.
- C. Application for Special Permit for Alteration and Extension of Nonconforming Uses (Revised Ordinances of the City of Revere), Title 17, Chapter 17.40, Section 17.40.020.

1. Applicant submitting this application is:

Name: Arfaat S. Ali

Address: 35-37 Francis Street. Revere, MA 02151

Tel. #: 781-298-1577

OFFICE OF PLANNING
REVERE, MASSACHUSETTS
2024 JAN 30 AM 11:12
FILED

2. Applicant is: _____ Tenant _____ Licensee _____ Prospective Purchaser

Owner _____ Other (Describe)

3. The following person is hereby designated to represent the applicant in matters arising hereunder:

Name: Arfaat S. Ali

Title: Owner

Address: 35 Francis Street, Revere, MA, 02151

Tel. #: 781-298-1577

4. The land for which this application is submitted is owned by: Same as Above

Name: _____

Address: _____

Tel. #: _____

5. The land described in this application is recorded in Suffolk County Registry of 694 Book 89,
Page _____, Certificate # (if registered) _____,

Book _____, Page _____.

6. Plans describing and defining the Exception to Use Regulations In Certain Districts, the Special Permit or special Permit For Alteration and Extension of Nonconforming Uses are included herewith and made a part hereof and are titled and dated:

Lot # 7-124-13 Sq. Ft. 5188

7. A map describing the land uses of adjacent and nearby properties is included and made a part of this application.

8. A locus map (8½" x 11") copy of City of Revere or USGS topographic sheet with site marked for which permit is requested is included and made a part of this application.

9A. Is the site of this application subject to the Wetland Protection Act (M.G.L., Chapter 131, Sec. 40A or Chapter 130, Sec. 105)?

yes

no

do not know

9B. Is the location of the site of this application within 100 feet of:

_____ a coastal beach; _____ salt marsh; _____ land under the ocean;

_____ do not know; no.

Attachment: PH.C2403.35FrancisStreet (24-081 : Special Permit, C-24-03, 35 Francis Street)

10. Describe the property for which this application is being submitted (including dimensions of land, existing buildings, if any, availability of utilities, sewer, water, etc.):

The property is parcel 7-124-13, which consists of a lot that measures 5,188 sq. ft. with a wood-framed building. The structure has a finished living area of 4,008 sq. ft.

11. What is the nature of the exception or special permit requested in this application? Minor exterior alteration

Attachment: PH.C2403.35FrancisStreet (24-081 : Special Permit, C-24-03, 35 Francis Street)

Date of denial by Building Inspector and/or Planning Board

I hereby certify under the pains and penalties of perjury that the foregoing information contained in this application is true and complete.

DocuSigned by:
Arfaat Ali 1/16/2024
BD96163683C14A0...

Signature of Applicant Arfaat Ali Date 1/16/2024
BD96163683C14A0...

Signature of Owner _____ Date _____

Signature of Designated Representative _____ Date _____

Received from above applicant, the sum of \$ _____ to apply against administrative and mailing costs.

General Disclosure of Constituent Information
Relative to Applications Submitted to the Revere City Council
For Authorizations, Permits, Special Permits, Licenses, Variances, Orders of Conditions, Approvals,
Modifications and Amendments Which are Subject of Proceedings Before the Revere City Council

1. Name and residential address of party submitting application:

Name: Arfaat S. Ali

Address: 35-37 Francis Street. Revere, MA 02151

2. Name and residential address of each landowner on whose property subject matter will be exercised:
(Attach additional pages, if necessary.) Same as Above

Name: _____

Address: _____

3. If the party is a partnership, state the name and residential address of all partners within sixty (60) days of this application: NA

Partner's Name: _____ Address: _____

Attachment: PH.C2403.35FrancisStreet (24-081 : Special Permit, C-24-03, 35 Francis Street)

4. Name and residential address of each party to whom subject authorization will be issued: None

Name: _____

Address: _____

5. If the party is a trust, provide the name and residential address of each trustee and beneficiary within sixty (60) days of this application: NA

Trustee's Name: _____

Address: _____

The trust documents are on file at _____ and will be delivered upon request.

5. If the party is a joint venture, state the name and residential address of each person, form of company that is party to the joint venture within sixty (60) days of the filing of this application. NA

Joint Venture Name: _____

Address: _____

A copy of the Joint Venture agreement is on file at _____ and will be delivered upon request.

General Disclosure Form

7. If the party is a corporation, provide the name and residential address of each officer, director and shareholder owning more than 50% of the interest in the Corporation within sixty (60) days of the date of this application: NA

Officer's Name: _____

Address: _____

Director's Name: _____

Address: _____

Shareholder's Name: _____ (50% or more)

Address: _____

8. If the party is a General Partnership, provide the name and residential address of each partner in the partnership within sixty (60) days of the date of this application. NA

General Partner's Name: _____ NA

Address: _____

Attachment: PH.C2403.35FrancisStreet (24-081 : Special Permit, C-24-03, 35 Francis Street)

9. If the party is a Limited Partnership, provide the name and residential address of each General Partner of the Limited Partnership within sixty (60) days from the date of this application. NA

General Partner's Name of Limited Partnership: NA

Address: _____

10. If the business is conducted under any title other than the real name of the owner, state the time, when and place where the certificate required by Mass. General Law, Chapter 110, Section 5, is on file: NA

The foregoing information is provided under the Pains and Penalty of Perjury.
Signature of each party and landowner:

Request for Finding of Fact Special Permit

Now comes the applicant Arfaat S. Ali who has applied to this Honorable City Council for a special permit for property located at 35-37 Francis Street, Revere, MA 02151 and asks that said Council make the following findings of fact:

1. That the proposed use would be in harmony with the general purpose and intent of the Zoning Ordinance for the following reasons:

(a) The alteration is a remodeling of the same existing space without change of use.

(b)

(c)

2. That the specific site is an appropriate location for such use for the following reasons:

(a) Existing use remains.

(b) The alteration is a remodeling of the same existing space without change of use.

(c)

Attachment: PH.C2403.35FrancisStreet (24-081 : Special Permit, C-24-03, 35 Francis Street)

3. That the specific site has adequate public sewerage and water facilities and water systems for the following reasons:

(a) Utilities remain as existing.

(b)

(c)

4. That the use as developed will not adversely affect the neighborhood for the following reasons:

(a) Existing use remains.

(b) The alteration is remodeling the existing four residential units.

(c)

Finding of Fact Form

5. That there will not be a nuisance or serious hazard to vehicles or pedestrians using _____ for the following reasons: (streets)

(a) Existing use remains.

(b)

(c)

6. That adequate and appropriate facilities will be provided for the proper use for the following reasons:

(a) Existing use remains.

(b)

(c)

Date: _____

Respectfully submitted by: _____

To: George Anzuoni, Director of Finance
From: Ashley E. Melnik, City Clerk

Attachment: PH.C2403.35FrancisStreet (24-081 : Special Permit, C-24-03, 35 Francis Street)

Subj: Review of Taxes, Assessments, Betterments and Other Municipal charges Relative to an Application for a City of Revere License and/or Permit.

Date: _____

Requested Return

Date: _____

Hearing

Date: _____

In accordance with the provisions of Section 57(a), of Chapter 40 of the Massachusetts General Laws, and Title 3, Chapter 3.04, Section 3.04.020 of the Revised Ordinances of the City of Revere, I herewith request information relative to the payment of the City of Revere real estate taxes, assessments, betterments and other municipal charges concerning the following persons, corporations or business enterprises who have made application for a City of Revere license or permit or renewal thereof:

Name of Applicant: Arfaat S. Ali
(person, corporation or business enterprise applying for license or permit)

Address of Applicant: 35-37 Francis Street, Revere, MA 02151 (business address of above person, corporation or business enterprise)

Location Address: 35-37 Francis Street, Revere, MA 02151 (location of property for which license or permit is required.

Certification

Pursuant to M.G.L. Chapter 62C, Sec. 49A, I certify under the penalties of perjury that I, to my best knowledge and belief, have filed all state tax returns and paid all state taxes required by law.

Arfaat Ali

BD98163683C14A0...

Signature of Individual or Corporate Name

by: _____
Corporate Officer (if applicable)

Attachment: PH.C2403.35FrancisStreet (24-081 : Special Permit, C-24-03, 35 Francis Street)

Certification

Pursuant to M.G.L. Chapter 40, Section 57(a), and Title 3, Chapter 3.04, Section 3.04.020 of the Revised Ordinances of the City of Revere, Massachusetts, I hereby certify, under penalties of perjury, that I have paid all City of Revere real estate taxes, water and sewer assessments and any other municipal charges required under law.

Signed by:

Arfaat Ili

BD96163683C14A0

Signature of Individual or Corporate Name

by: _____
Corporate Officer (if applicable)

Attachment: PH.C2403.35FrancisStreet (24-081 : Special Permit, C-24-03, 35 Francis Street)

MDJ

INCORPORATED

35-37 Francis St Revere MA

1/15/2024

Use: R-2

Step by step performance compliance evaluation per section 1401.6

1401.6.1 Building Height

Height value, feet = $((AH-EBH)/125)*CF$ (Equation 14-1)Height value, stories = $(AS-EBS)*CF$ (Equation 14-2)

AH = Allowable height in feet from Table 504.3 of IBC	R-2	40
---	-----	----

EBH= Existing building height in feet.		24.00
--	--	-------

AS = Allowable height in stories from Table 504.4 of the IBC	R-2	2
--	-----	---

EBS = Existing building height in stories.		2
--	--	---

CF = 1 if $(AH) - (EBH)$ is positive.		1
---------------------------------------	--	---

CF = Construction-type factor shown in Table 1401.6.6(2) if $(AH) - (EBH)$ is negative.

Note: Where mixed occupancies are separated and individually evaluated as indicated in Section 1401.6, the values AH, AS, EBH, and EBS shall be based on the height of the occupancy being evaluated.

Therefore the Height value, feet = $((AH-EBH)/125)*CF$ is	R-2	0.13
---	-----	------

1401.6.2.1 Allowable area formula. The following formula shall be used in computing allowable area:

$$Aa = At + (NS \times If) \text{ (Equation 14-3)}$$

where:

Aa = Allowable area.

At = Tabular area per story per Table 506.2 (s. f.) of the IBC

At0s-2	S-2	13500
--------	-----	-------

At1r-2	R-2	7000
--------	-----	------

At2r-2	R-2	7000
--------	-----	------

NS = Tabular Allowable area factor (Section 506.2 of the IBC)

NSs-2	S-2	13500
-------	-----	-------

NSr-2 R-2 7000
 R-2 7000

If = Area increase due to frontage (Section 506.3 of the IBC)

[B] 1401.6.2.2 Area formula. The following formula shall be used in computing the area value. Determine the area value for each occupancy floor area on a floor-by-floor basis. For each occupancy, choose the minimum area value of the set of values obtained for the particular occupancy.

Area value $i = [Aa_i / 1200 \text{ sq. ft.}] * [1 - (Ae_i / Aa_i + \dots + Ae_n / Aa_n)]$
 (Equation 14-4) where:

i = Value for an individual separated occupancy on a floor
 n = Number of separated occupancies on a floor.

$I f = [F/P - 0.25] * W/30$ (Equation 5-5)
 where:

If = Area increase due to frontage.
 F = Building perimeter that fronts on a public way or open space having 20 feet open minimum width (feet). 130
 P = Perimeter of entire building (feet). 180
 W = Width of public way or open space (feet) in accordance with Section 506.2.1. 30

$I f = [F/P - 0.25] * W/30$ 0.472

$Aa = At + (NS \times If)$ (Equation 14-3) Aa = Allowable area/story R-2 10305.556
 Aa = Allowable area. $Aa = At + (NS \times If)$ (Equation 14-3)
 Aa0 s-2 19875
 Aa1 r-2 10305.556
 Aa2 r-2 10305.556
 Therefore Floor Area Value $[Aa_i / 1200 \text{sq.ft.}] * [1 - (Aaci_i / Aa_i + \dots + Aacn / Aa_n)]$

	Aaci	Aaci/Aa1	Aai/1200=	1-(Aaci/Aai)	Avi
Aa0=(1+If)* Basement S-2	2000	0.1006289	16.5625	0.8993711	14.895833
Aa1=(1+If)* 1st fl B	2000	0.1940701	8.587962963	0.8059299	6.9212963
Aa2=(1+If)* 2nd fl R-2	2000	0.1940701	8.587962963	0.8059299	6.9212963

Minimum Floor Area Value $[Aa_i / 1200 \text{sq.ft.}] * [1 - (Aaci_i / Aa_i + \dots + Aacn / Aa_n)]$ 6.921

I choose the minimum area value 6.921 6.921

IEBC 1401.6.3 Compartmentation.

Evaluate the compartments created by fire barriers or horizontal assemblies which comply with Sections 1401.6.3.1 and 1401.6.3.2 and which are exclusive of the wall elements considered under Sections 1401.6.4 and 1401.6.5.

Using Table 1401.6.3, determine the appropriate compartmentation value (CV) and enter that value into Table 1401.7 under Safety Parameter 1401.6.3, Compartmentation, for fire safety, means of egress, and general safety.

For S-2 Use on the first floor CV= 20

I choose the minimum CV= 20 and enter it into Table 1401.7 20

1401.6.4 Tenant and dwelling unit separations. Evaluate the fire-resistance rating of floors and walls separating tenants, including dwelling units, and not evaluated under Sections 1401.6.3 and 1401.6.5.

I choose as value 0 for category c 0

1401.6.5 Corridor walls. Evaluate the fire-resistance rating and degree of completeness of walls which create corridors serving the floor and that are constructed in accordance with Section 1018 of the IBC. This evaluation shall not include the wall elements considered under Sections 1401.6.3 and 1401.6.4.

I choose as value 0 for category c since it has been considered above 1401.6.3 Compartmentation. 0

1401.6.6 Vertical openings. Evaluate the fire-resistance rating of exit enclosures, hoistways, escalator openings, and other shaft enclosures within the building, and openings between two or more floors. Table 1401.6.6(1) contains the appropriate protection values. Multiply that value by the construction type factor found in Table 1401.6.6(2). Enter the vertical opening value and its sign (positive or negative) in Table 1401.7 under Safety Parameter 1401.6.6, Vertical Openings, for fire safety, means of egress, and general safety.

In this category I take into account the front stair

I choose PV= 1 from Table 1401.6.6(1)

I choose CF= 7 from Table 1401.6.6(2)

I calculate the Vertical opening value VO multiplying

VO = PV x CF= 1 7 7

Attachment: PH.C2403.35FrancisStreet (24-081 : Special Permit, C-24-03, 35 Francis Street)

For one-story building use max avlue enter it into Table 1401.7 7

1401.6.7 HVAC systems. Evaluate the ability of the HVAC system to resist the movement of smoke and fire beyond the point of origin. Under the categories in Section 1401.6.7.1, determine the appropriate value and enter that value into Table 1401.7 under Safety Parameter 1401.6.7, HVAC Systems, for fire safety, means of egress, and general safety.

Category e applies. Then I choose 5 5
For Systems serving 1 story

1401.6.8 Automatic fire detection. Evaluate the smoke detection capability based on the location and operation of automatic fire detectors in accordance with Section 907 of the International Building Code and the International Mechanical Code. Under the categories and occupancies in Table 1401.6.8, determine the appropriate value and enter that value into Table 1401.7 under Safety Parameter 1401.6.8, Automatic Fire Detection, for fire safety, means of egress, and general safety.

Category e Applies —Smoke detectors installed throughout the floor area. I choose the value from category d within table 1401.8 as 6 For R 2

1401.6.9 Fire alarm systems. Evaluate the capability of the fire alarm system in accordance with Section 907 of the International Building Code. Under the categories and occupancies in Table 1401.6.9, determine the appropriate value and enter that value into Table 1401.7 under Safety Parameter 1401.6.9, Fire Alarm System, for fire safety, means of egress, and general safety.

Category a: there is none.
Therefore I choose from Table 1401.6.9 the value based on Category a -10

1401.6.10 Smoke control. Evaluate the ability of a natural or mechanical venting, exhaust, or pressurization system to control themovement of smoke from a fire. Under the categories and occupancies in Table 1401.6.10, determine the appropriate value and enter that value into Table 1401.7 under Safety Parameter 1401.6.10, Smoke Control, for means of egress and general safety. I choose category that assign a value. Category a—None.

0 0

Attachment: PH.C2403.35FrancisStreet (24-081 : Special Permit, C-24-03, 35 Francis Street)

1401.6.11 Means-of-egress capacity and number. Evaluate the means-of-egress capacity and the number of exits available to the building occupants. Sum of Doors widths in inches are:

Capacity = 360 72 Occupancy= 4000 72 200 20

There are two means of egress.

Category b, applies. Then I choose 0 0

1401.6.12 Dead ends. In spaces required to be served by more than one means of egress, evaluate the length of the exit access travel path in which the building occupants are confined to a single path of travel. Under the categories and occupancies in Table 1401.6.12, determine the appropriate value and enter that value into Table 1401.7 under Safety Parameter 1401.6.12, Dead Ends, for means of egress and general safety.

IBC 1018.4: Dead ends. Where more than one exit or exit access doorway is required, the exit access shall be arranged such that there are no dead ends in corridors more than 20 feet (6096 mm) in length.

Category c—No dead ends;

Category c—No dead ends; or ratio of length to width (l/w) is less than 2.5:1.

Based on category c I choose value: 2 2
from Table 1406.12 and enter that value into Table 1401.7

1401.6.13 Maximum exit access travel distance to an exit.

Evaluate the length of exit access travel to an approved exit. Determine the appropriate points in accordance with the following equation and enter that value into Table 1401.7 under Safety Parameter 1401.6.13, Maximum Exit Access Travel Distance for means of egress and general safety. The maximum allowable exit access travel distance shall be determined in accordance with Section 1016.1 of the International Building Code.

Since There is not Sprinkler System:

Da = Maximum allowable travel distance = 200

De = Actual (Existing) travel distance = 50

Points = 20 x (Da-De)/Da (Equation 14-6) 15

1401.6.14 Elevator control. Evaluate the passenger elevator equipment and controls that are available to the fire department to reach all occupied floors. Elevator recall controls shall be provided in accordance with the International Fire Code. Under the categories an occupancies in Table 1401.6.14, determine the

Attachment: PH.C2403.35FrancisStreet (24-081 : Special Permit, C-24-03, 35 Francis Street)

appropriate value and enter that value into Table 1401.7 under Safety Parameter 1401.6.14, Elevator Control, for fire safety, means of egress, and general safety. The values shall be zero for a single story building.

values shall be zero for a single-story building.

0

1401.6.15 Means-of-egress emergency lighting. Evaluate the presence of and reliability of means-of-egress emergency lighting. Under the categories and occupancies in Table 1401.6.15, determine the appropriate value and enter that value into Table 1401.7 under Safety Parameter 1401.6.15, Means-of-Egress Emergency Lighting, for means of egress and general safety.

Based on the Number of Exits Required By Section 1015 of the IBC [F] 2702.2.3 Exit signs. Emergency power shall be provided for exit signs in accordance with Section 1011.5.3. [F] 2702.2.4 Means of egress illumination. Emergency power shall be provided for means of egress illumination in accordance with Section 1006.3.

Category c applies. Then I choose 4 from Table 1601.6.15

4

1401.6.16 Mixed occupancies. Under the categories and occupancies in Table 1401.6.16, determine the appropriate value and enter that value into Table 1401.7 under Safety Parameter 1401.6.16, Mixed Occupancies, for fire safety and general safety assemblies, or both. **For buildings without mixed occupancies, the value shall be zero. Category b—Separations between occupancies in accordance with Section 508.4 of the International Building Code.**

0

1401.6.17 Automatic sprinklers. Evaluate the ability to suppress a fire based on the installation of an automatic sprinkler system in accordance with Section 903.3.1.1 of the International Building Code. "Required sprinklers" shall be based on the requirements of this code. Under the categories and occupancies in Table 1401.6.17, determine the appropriate value and enter that value into Table 1401.7 under Safety Parameter 1401.6.17, Automatic Sprinklers, for fire safety, means of egress divided by 2, and

general safety. Sprinkler system requirements as set forth in Section 903.2.11.6 of the International Fire Code

3. Category c—Sprinklers are not required; none are provided.

Category C applies. Then I choose 0
from Table 1401.6.17 and enter that value into Table 1401.7

0

[B] 1401.6.18 Standpipes. Evaluate the ability to initiate attack on a fire by making a supply of water available readily through the installation of standpipes in accordance with Section 905 of the International Building Code. "Required Standpipes" shall be based on the requirements of the IBC

Category b—Standpipes are not required; none are provided. Enter that value into Table 1401.7 under Safety Parameter 1401.6.18, Standpipes, for fire safety, means of egress, and general safety.

Category b applies. Then I choose 0

0

1401.6.19 Incidental accessory occupancy. Evaluate the protection of incidental accessory occupancies in accordance with Section 508.2.5 of the International Building Code. Do not include those where this code requires suppression throughout the building including covered mall buildings, high-rise buildings, public garages and unlimited area buildings. Assign the lowest score from Table 1401.6.19 for the building or floor area being evaluated and enter that value into Table 1401.7 under Safety Parameter 1401.6.19, Incidental Accessory Occupancy, for fire safety, means of egress and general safety. If there are no specific occupancy areas in the building or floor area being evaluated, the value shall be zero.

0

1401.6.20 Smoke compartmentation. Evaluate the smoke compartments for compliance with Section 407.5 of the International Building Code. Under the categories and occupancies in Table 1401.6.20, determine the appropriate smoke compartmentation value (SCV) and enter that value into Table 1401.7 under Safety Parameter 1401.6.20, Smoke compartmentation, for fire safety, means of egress and general safety. Facilities in Group I-2 occupancies meeting Category b or c shall be considered to fail the evaluation.

0

N/A

1401.6.21 Patient ability, concentration, smoke compartment location and ratio to attendant. In I-2 occupancies, the ability of

patients, their concentration and ratio to attendants shall be evaluated and applied in accordance with this section. Evaluate each smoke compartment using the categories in Sections 1401.6.21.1, 1401.6.21.2 and 1401.6.21.3 and enter the value in Table 1401.8. To determine the safety factor, multiply the three values together, if the sum is 9 or greater, compliance has failed.

N/A 0

1401.6.21.1 Patient ability for self-preservation. Evaluate the ability of the patient for self-preservation in each smoke compartment in an emergency. Under the categories and occupancies in Table 1401.6.21.1 determine the appropriate value and enter that value in Table 1401.7 under Safety Parameter 1401.6.21.1, Patient Ability for Self-preservation, for means of egress and general safety.

N/A 0

1401.6.21.2 Patient concentration. Evaluate concentration of patients in each smoke compartment under Section 1401.6.21.2. Under the categories and occupancies in Table 1401.6.21.2 determine the appropriate value and enter that value in Table 1401.7 under Safety Parameter 1401.6.21.2, Patient Concentration, for means of egress and general safety.

N/A 0

1401.6.21.3 Attendant-to-patient ratio. Evaluate the attendant-to-patient ratio for each compartment under Section 1401.6.21.3. Under the categories and occupancies in Table 1401.6.21.3 determine the appropriate value and enter that value in Table 1401.7 under Safety Parameter 1401.6.21.3, Attendant-to-patient Ratio, for means of egress and general safety.

N/A 0

Attachment: PH.C2403.35FrancisStreet (24-081 : Special Permit, C-24-03, 35 Francis Street)

MDJ

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PERFORMANCE COMPLIANCE METHODS
TABLE 1401.8 MANDATORY SAFETY SCORES
35-37 Francis St Revere MA

OCCUPANCY	FIRE SAFETY (MFS)	MEANS OF EGRESS (MME)	GENERAL SAFETY (MGS)
A-1	20	31	31
A-2	21	32	32
A-3	22	33	33
A-4	29	40	40
E	29	40	40
B	30	40	40
F	24	34	34
M	23	40	40
R	21	38	38
S-1	19	29	29
S-2	29	39	39

PERFORMANCE COMPLIANCE METHODS
TABLE 1401.9 EVALUATION FORMULAS
35-37 Francis St Revere MA

OCCUPANCY	FORMULA	T1401.7	T1401.8 E	SCORE	PASS	FAIL
R-2	FS - MFS > 0	31.05	21	10.05	Ok	
R-2	ME - MME > 0	50.05	38	12.05	Ok	
R-2	GS - MGS > 0	50.05	38	12.05	Ok	

a. FS = Fire Safety ME = Means of Egress GS = General Safety

b. MFS = Mandatory Fire Safety MME = Mandatory Means of Egress MGS = Mandatory General Safety

Attachment: PH.C2403.35FrancisStreet (24-081 : Special Permit, C-24-03, 35 Francis Street)

Performance Compliance Methods
Table 1407.7 Summary Sheet - Building Code
35-37 Francis St Revere MA

Existing occupancy: R-2		Proposed occupancy: R-2	
Year building was constructed: 1975		Number of stories: 2	Height in feet: 24.0
Type of construction III-A		Area per floor: 2,000 sq. ft.	
Percentage of open perimeter increase: 0 %		Corridor wall rating: 1-Hr.	
Completely suppressed: Yes No X		Type: Drywall, fire-rated sheetrock	
Compartmentation: Yes X No		Required door closers: Yes X No	
Fire-resistance rating of vertical opening enclosures:		NA	
Type of HVAC system: Central		serving number of floors: 1	
Automatic fire detection: Yes X No		Type and location:	
Fire alarm system: Yes X No		Type:	
Smoke control: Yes X No		Type: i3 Photoelectric	
Adequate exit routes: Yes X No		Dead ends: Yes No X	
Maximum exit access travel distance: 50 feet		Elevator controls: Yes No X	
Means of egress emergency lighting: Yes X No		Mixed occupancies: Yes No X	
Standpipes: Yes No X		Patient ability for self-preservation: NA	
Incidental use:		Patient concentration: NA	
Smoke compartmentation less than 22,500 sq. feet. Yes X No		Attendant-to-patient ratio: NA	
SAFETY PARAMETERS	FIRE SAFETY (FS)	MEANS OF EGRESS (ME)	GENERAL SAFETY (GS)
1401.6.1 Building Height	0.13	0.13	0.13
1401.6.2 Building Area	6.92	6.92	6.92
1401.6.3 Compartmentation	20	20	20
1401.6.4 Tenant and Dwelling Unit Separations	0	0	0
1401.6.5 Corridor Walls	0	0	0
1401.6.6 Vertical Openings	7.0	7.0	7.0
1401.6.7 HVAC Systems	5	5	5
1401.6.8 Automatic Fire Detection	2	2	2
1401.6.9 Fire Alarm System	-10	-10	-10
1401.6.10 Smoke control	****	0	0
1401.6.11 Means-of-Egress	****	0	0
1401.6.12 Dead ends	****	0	0
1401.6.13 Maximum Exit Access Travel Distance	****	15.00	15.00
1401.6.14 Elevator Control	0	0	0
1401.6.15 Means of Egress Emergency Lighting	****	4	4
1401.6.16 Mixed Occupancies	0	****	****
1401.6.17 Automatic Sprinklers	0	0	0
1401.6.18 Standpipes	0	0	0
1401.6.19 Incidental Use	0	0	0
1401.6.20 Smoke compartmentation	0	0	0
1401.6.21.1 Patient ability for self-preservation	****	0	0
1401.6.21.2 Patient concentration	****	0	0
1401.6.21.3 Attendant-to-patient Ratio	****	0	0
Building score — total value	31.05	50.05	50.05

***No applicable value to be inserted.

Attachment: PH.C2403.35FrancisStreet (24-081 : Special Permit, C-24-03, 35 Francis Street)



1/15/2024

To: City of Revere Building Inspector
 City Hall,
 Revere, MA

RE: Four-family Building Alteration
 35-37 Francis St

Existing Buildings Chapter 34 Investigative Review

The building under evaluation due to alteration consists of a two-story wood-framed building that is to continue its R-2 use per the provisions of the 2015 IEBC Code Sections 1401.4 through 1401.9

Repairs and remodeling will alter the building without changing its occupancy classification. The main items considered to provide the structure with performance compliance as per the IEBC code are already existing, including the following:

1. Two-story Type VB construction
2. It has a fire detection system. It does not have a Fire alarm or automatic fire sprinkler system.
3. Two Means of egress with a capacity of 360 evacuees with a building occupation of 15.

The undersigned chose one of the three methods suggested in Sections 101.5.1 through 101.5.3, considering that they do not apply in combination. Section 101.5.3 of the 2015 IEBC Performance compliance method states that the building will comply if the existing building conditions and proposed upgrade are per the 2015 IEBC Chapter 14 provisions. Section 1401.1.1 of 2015 IEBC says that the permit applicant shall submit proposed changes that comply with the provisions of Chapter 14 or with one of the compliance methods provided in Section 101.5 of 2015 IEBC.

2015 IEBC Chapter 14 applies to the *alteration, repair, addition, and change of occupancy of existing structures*. It intends to maintain or increase the current degree of public safety, health, and general welfare in existing buildings. The provisions specifically require compliance with the 2015 IEBC chapter 14, *repair, alteration, addition, and change of occupancy* without requiring full compliance with Chapters 4 through 12.

The undersigned evaluated the compliance with Fire safety means of egress and General Safety scores for each category indicated in Section 1401.6.16. He further determined the score for each section of the evaluation process, chose it, and recorded it on Table 1401.7 -summary sheet.

The undersigned used the following sections to calculate and obtain the safety parameters for the scores.

1401.6.1 Building Height,
 1401.6.2 Building Area,

1401.6.3 Compartmentation,
 1401.6.4 Tenant and Dwelling Unit Separations,
 1401.6.5 Corridor Walls,
 1401.6.6 Vertical Openings,
 1401.6.7 HVAC Systems,
 1401.6.8 Automatic Fire Detection,
 1401.6.9 Fire Alarm Systems,
 1401.6.10 Smoke Control,
 1401.6.11 Means of Egress Capacity,
 1401.6.12 Dead Ends,
 1401.6.13 Maximum Exit Access Travel Distance,
 1401.6.14 Elevator Control,
 1401.6.15 Means of Egress Emergency Lighting,
 1401.6.16 Mixed Occupancies,
 1401.6.17 Automatic Sprinklers,
 1401.6.18 Standpipes,
 1401.6.19 Incidental accessory occupancy.

The step-by-step performance compliance evaluation includes calculating and tabulating safety scores per section 1401.6 to determine the total building scores entered in Table 1401.7. The undersigned compared them with mandatory compliance scores for fire safety, means of egress, and general safety in Table 1401.8 by solving the evaluation formulas in Table 1401.9.

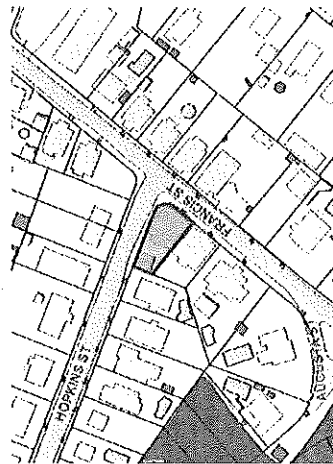
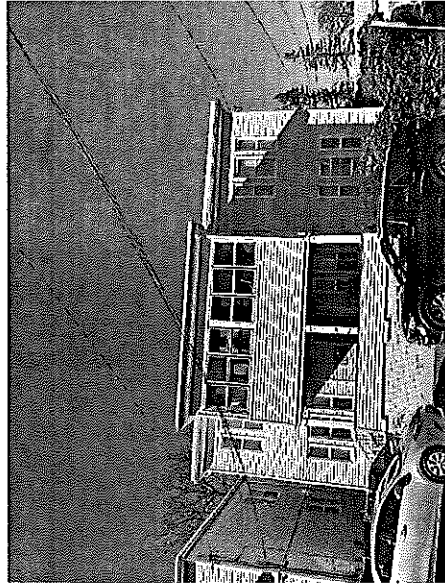
Based on the existing and proposed assemblies, means of egress, and fire detection, the safety scores for each category are better than the mandatory safety scores without Fire alarms and automatic fire sprinkler systems.

Therefore, the undersigned certifies that this code compliance evaluation demonstrates that the existing use, and proposed improvement works comply with the Commonwealth of Massachusetts 9th Edition Base Building Code.

Marcos Devers, R.P.E.
 16 Woodland St. Lawrence, MA 01841-2315
 mdjincorporated@comcast.net

PROPOSED APARTMENT

37 FRANCIS ST., REVERE, MA



MDJ INC.
 Engineers, Architects & Associates
 MARCOS A DEVERS, P.E.
 16 WOODLAND ST. LAWRENCE, MA 01841
 978 685 5691 / 978 804 7588
 mdjincorporated@comcast.net

APPLICANT / OWNER
 AU ARPAAT S

PROJECT
 PROPOSED APARTMENT

ADDRESS
 37 FRANCIS ST., REVERE, MA

VERIFIED
 N/A

APPROVED
 N/A

SIGNED
 MARCOS DEVERS

SCALED
 AS ANNOTATE

ISSUED FOR
 N/A

DATE
 1/22/2024

NOTE

1.

2.

3.

DWG No.

NAME

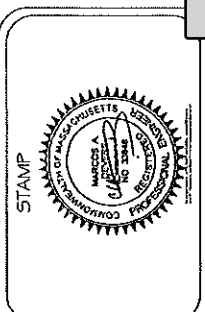
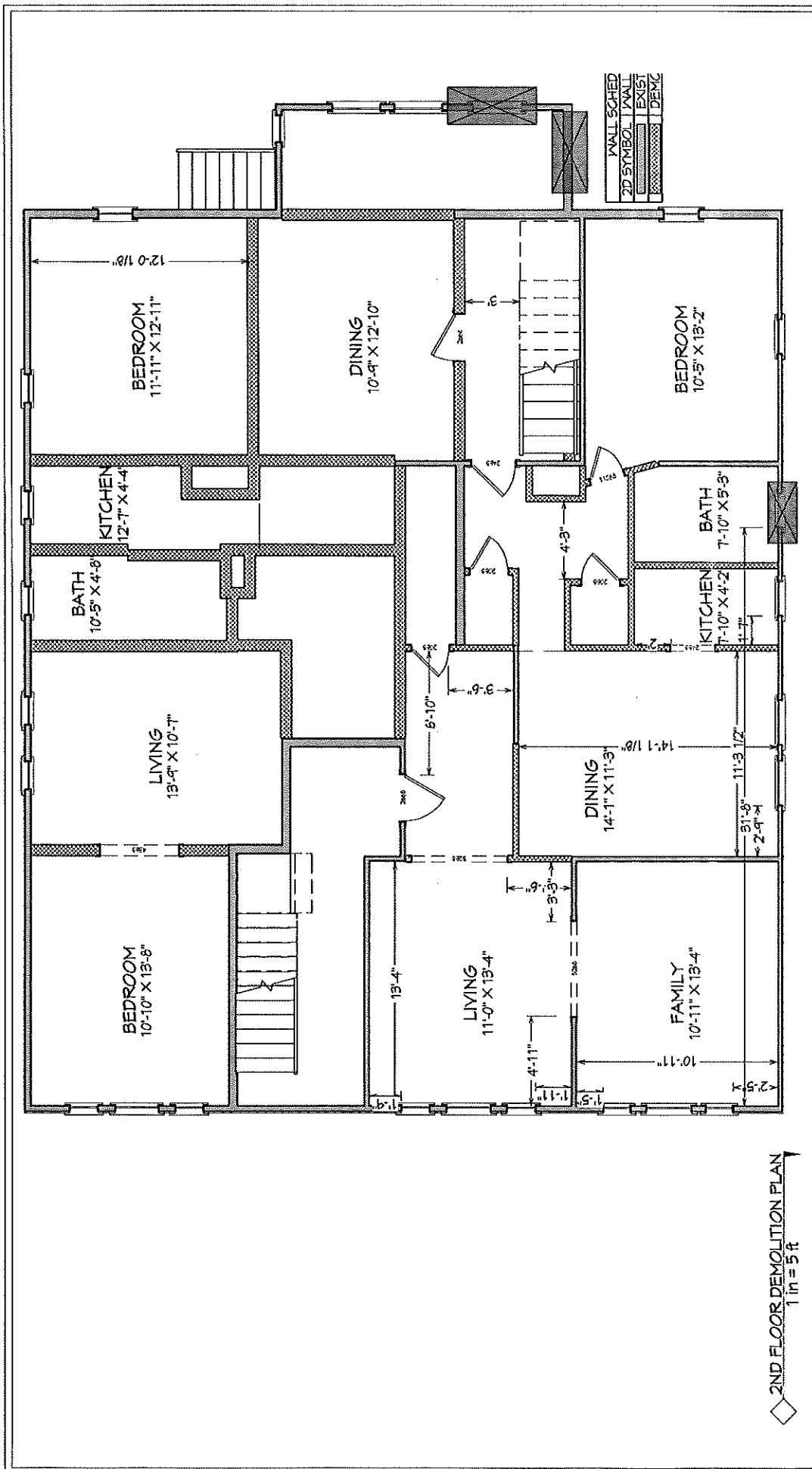
JOB No.

NAME

Dtd By: MDJ INC., JENNIFER PAREDES

REVISION No.	DATE
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REVISION No.	DATE
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DWG No. _____
 NAME _____
 JOB No. _____
 Dtd By: MDJ INC. - LENIN PAREDES

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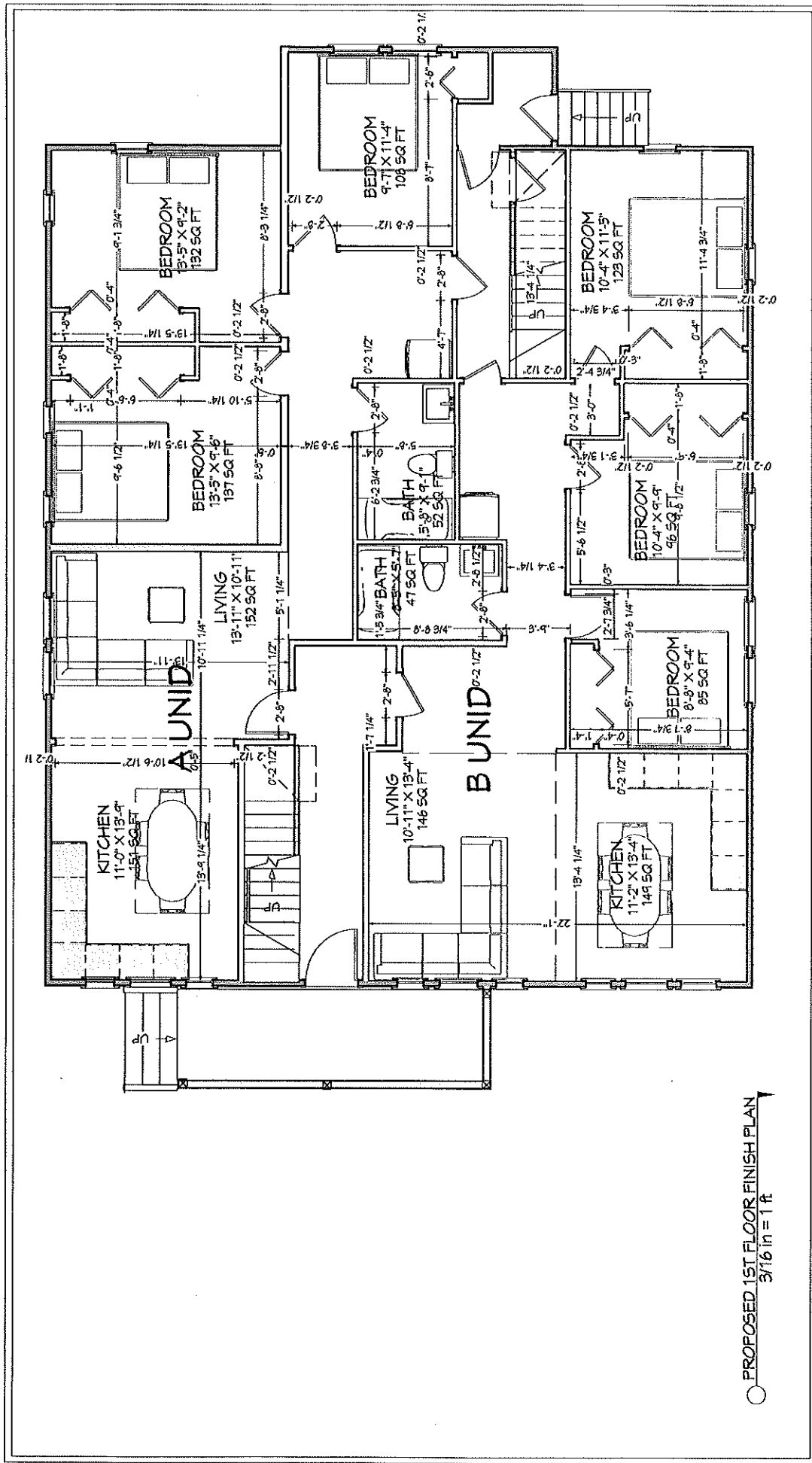
APPLICANT / OWNER: AU ARFAAT'S
 PROJECT: PROPOSED APARTMENT
 ADDRESS: 37 FRANCIS ST, REVERE, MA

SCALED: AS ANNOTATE
 ISSUED FOR: N/A
 DATE: 1/22/2024

VERIFIED: N/A
 APPROVED: N/A
 SIGNED: MARCOS DEVERS

MDJ INC.
 Engineers, Architects & Associates
 MARCOS A. DEVERS, P.E.
 16 WOODLAND ST LAWRENCE, MA 01841
 978 685 5639 / 978 804 7586
 mdjincorporated@comcast.net

Attachment: PH.C2403.35FrancisStreet (24-081 : Special Permit, C-24-03, 35 Francis Street)



REVISION No.	DATE
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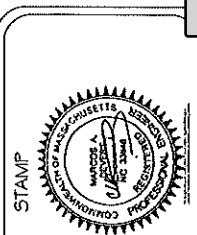
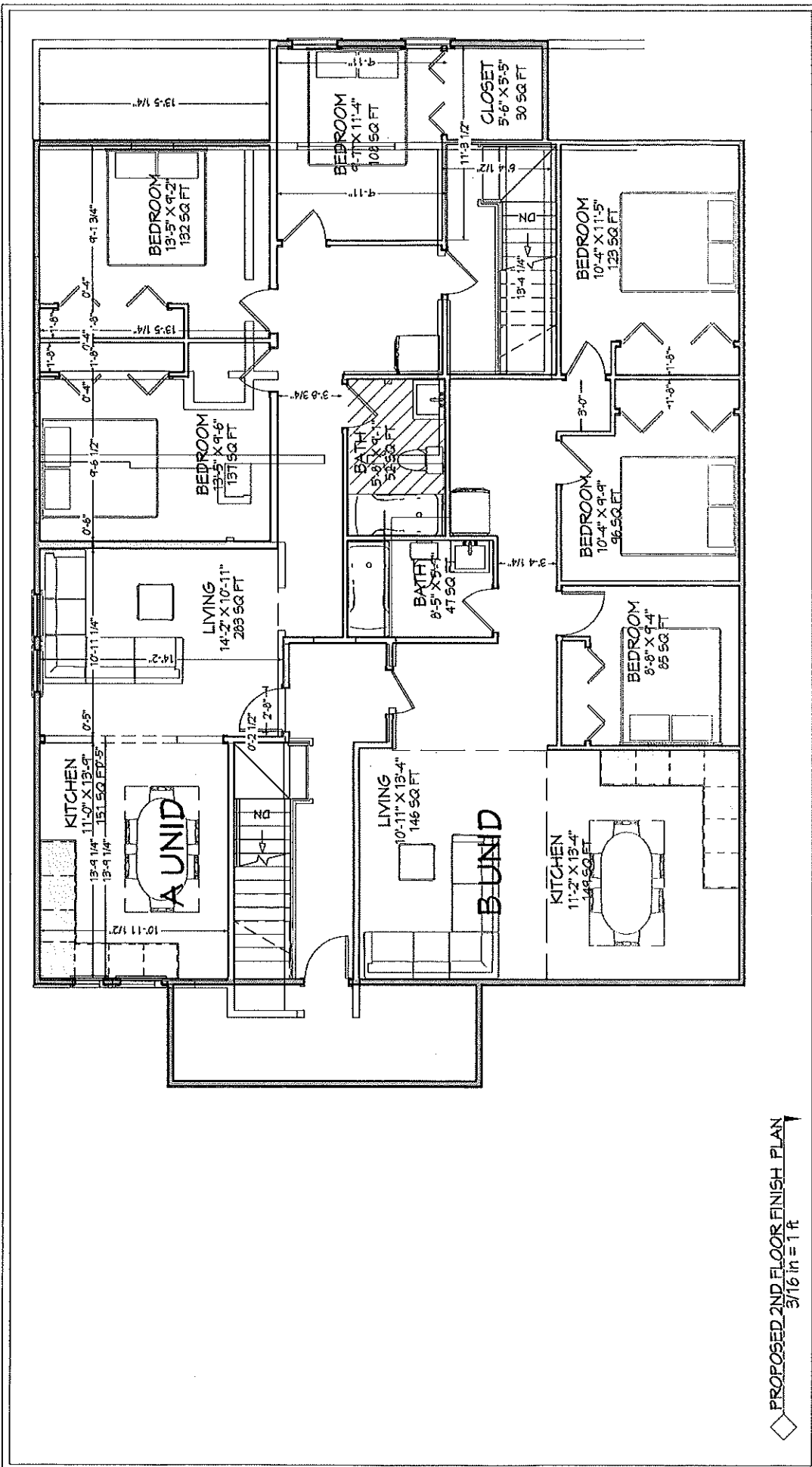
DWG No.	NAME
	JOB No.
	MDJ INC. J. LENIN PAREDES

NOTE
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APPLICANT / OWNER	VERIFIED	SCALED	ISSUED FOR
ALU APART 5	N/A	AS NOTATE	N/A
PROJECT PROPOSED APARTMENT	N/A		DATE
ADDRESS 37 FRANCOIS ST. REVERE, MA	SIGNED MARCOS DEVERS		1/22/2024

MDJ INC.
 Engineers, Architects & Associates
 MARCOS A DEVERS, P.E.
 16 WOODLAND ST. LAWRENCE, MA 01841
 978 685 5691 / 978 804 7588
 mdjincorporated@comcast.net

Attachment: PH.C2403.35FrancisStreet (24-081 : Special Permit, C-24-03, 35 Francis Street)



REVISION NO.	DATE
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DWG No. _____
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 JOB No. _____
 Dtd By: MDJ INC. - LENIN PAREDES

NOTE
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SCALED AS ANNOTATE
 ISSUED FOR N/A
 DATE 1/22/2024

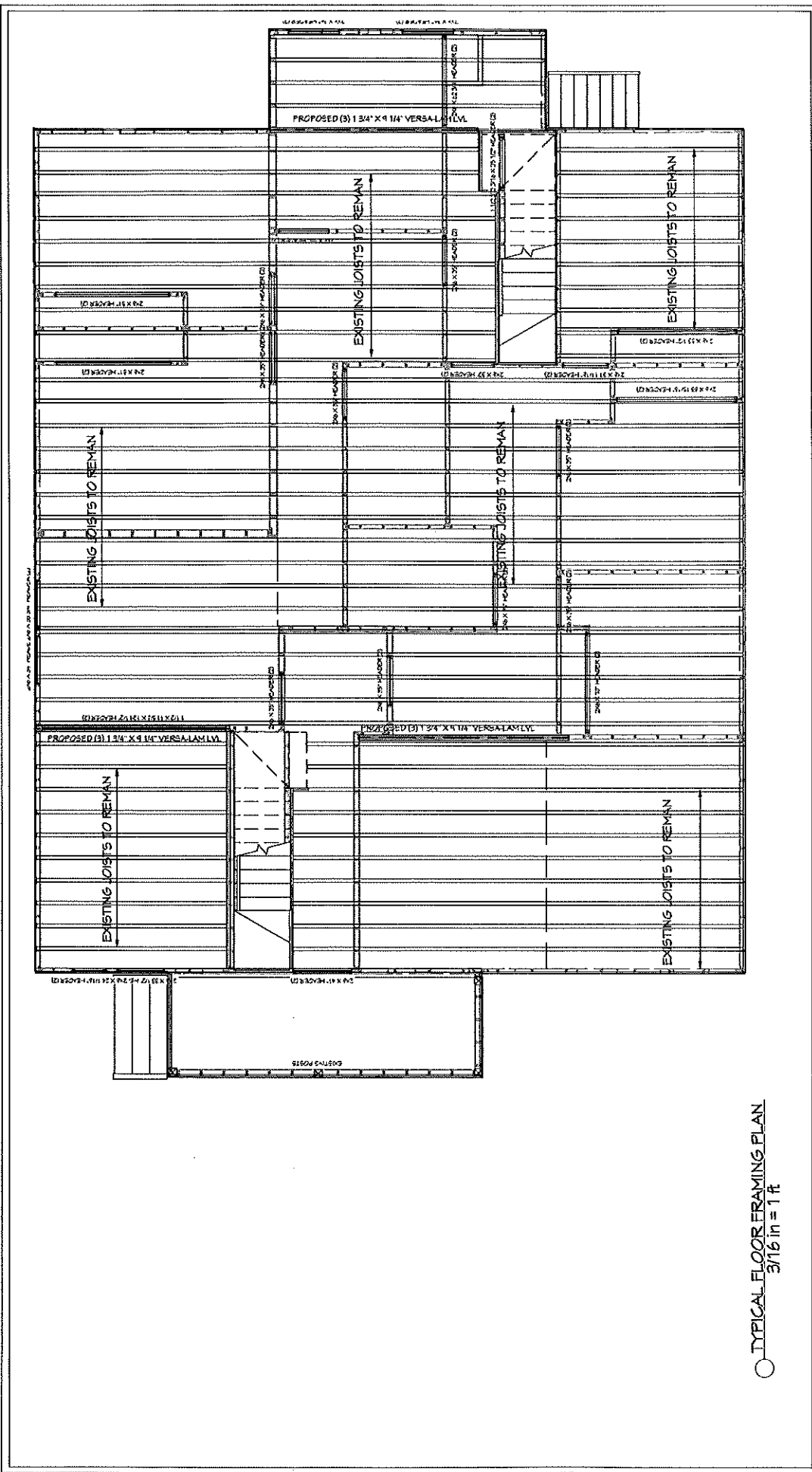
APPLICANT / OWNER: ALI ARFAT'S
 VERIFIED: N/A
 APPROVED: N/A
 SIGNED: MARCOS DEVERS

PROJECT: PROPOSED APARTMENT
 ADDRESS: 37 FRANCIS ST. REVERE, MA

MDJ INC.
 Engineers, Architects & Associates
 MARCOS A DEVERS, P.E.
 16 WOODLAND ST. LAWRENCE, MA 01841
 978.685.5691 / 978.804.7560
 mdjincorporated@comcast.net

PROPOSED 2ND FLOOR FINISH PLAN
 3/16 in = 1 ft

Attachment: PH.C2403.35FrancisStreet (24-081 : Special Permit, C-24-03, 35 Francis Street)



TYPICAL FLOOR FRAMING PLAN
3/16 in = 1 ft



REVISION No.	DATE
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DWG No. _____
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 JOB No. _____
 NAME _____
 Dtd By: MDJ INC. - LENIN PAREDES

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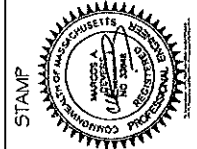
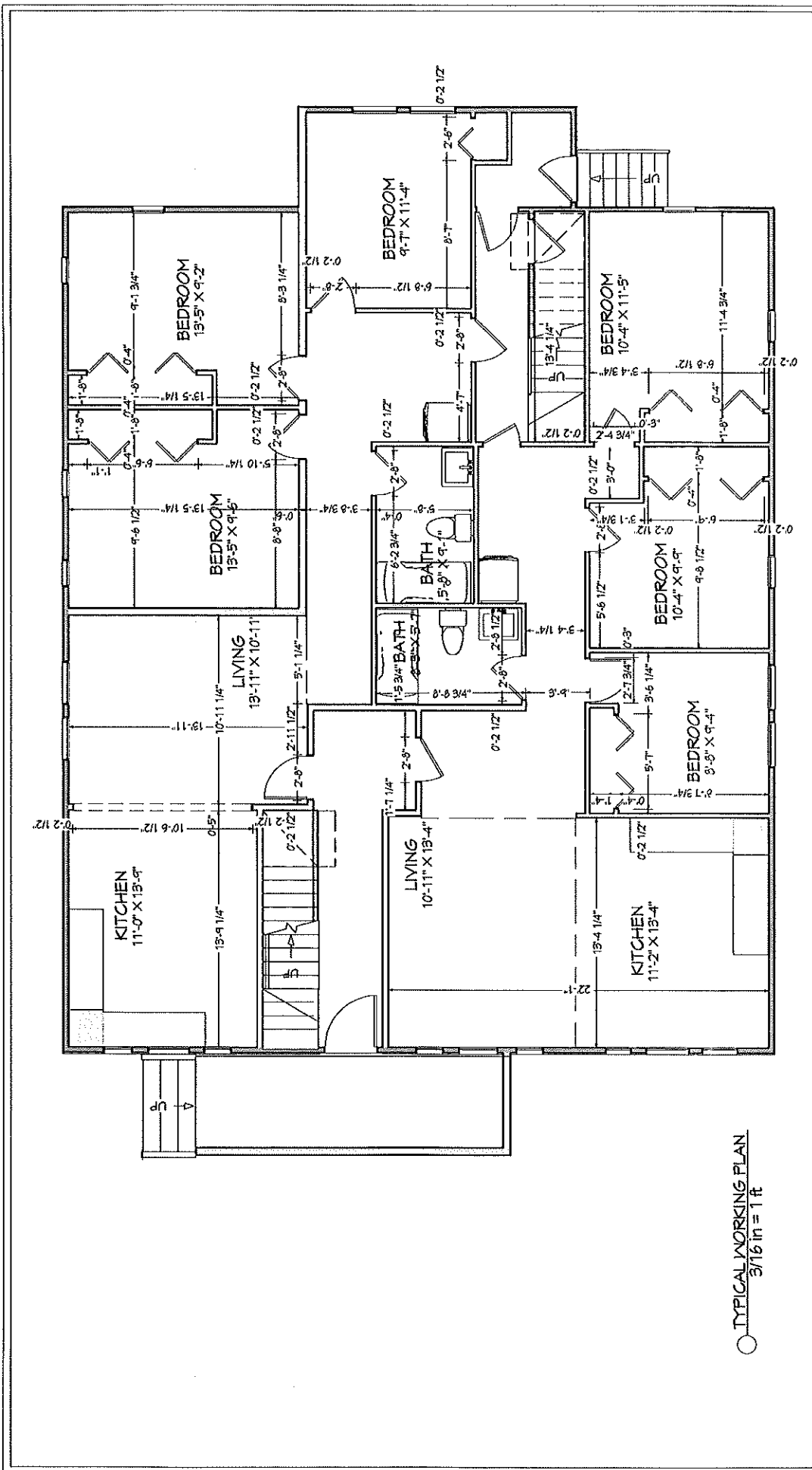
SCALED AS ANNOTATE ISSUED FOR N/A DATE 1/22/2024

APPLICANT / OWNER: AU ARPAAT 5
 VERIFIED: N/A
 APPROVED: N/A
 SIGNED: MARCOS DEVERS

PROJECT: PROPOSED APARTMENT
 ADDRESS: 37 FRANCIS ST., REVERE, MA

MDJ INC.
 Engineers, Architects & Associates
 MARCOS A DEVERS, P.E.
 16 WOODLAND ST. LAWRENCE, MA 01841
 978 689 5691 / 978 804 7566
 mdjincorporate@aol.com

Attachment: PH.C2403.35FrancisStreet (24-081 : Special Permit, C-24-03, 35 Francis Street)



REVISION No.	DATE
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DWG No.	NAME
	JOB No.
	NAME
	Dr'd By: MDJ INC., LEVIN PAREDES

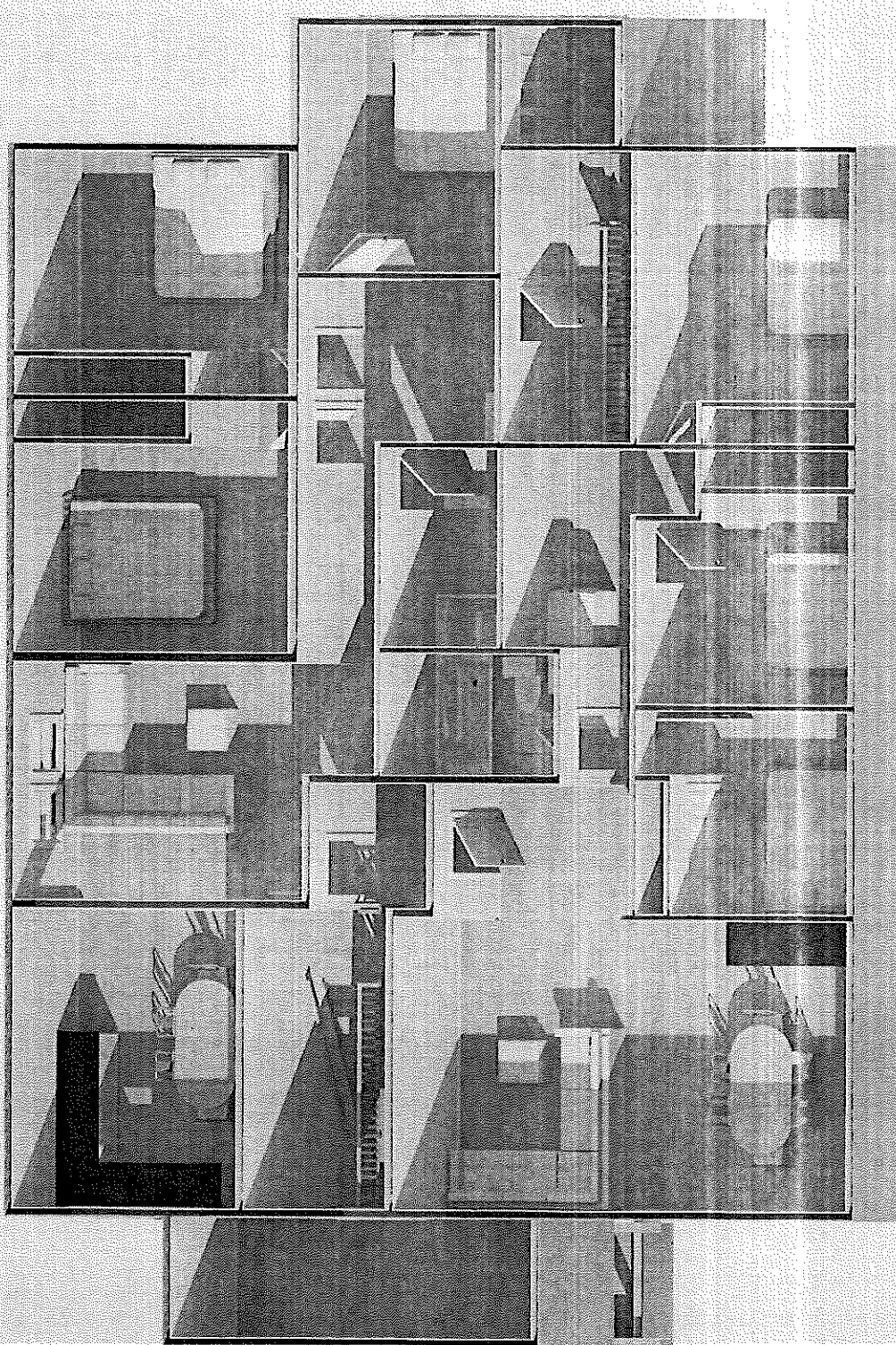
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APPLICANT / OWNER	VERIFIED	SCALED
ALI ARFAAT S	N/A	AS ANNOTATE
PROJECT	APPROVED	ISSUED FOR
PROPOSED APARTMENT	N/A	N/A
ADDRESS	SIGNED	DATE
37 FRANCIS ST. REVERE, MA	MARCOS DEVERS	1/22/2024

APPLICANT / OWNER	VERIFIED	SCALED
ALI ARFAAT S	N/A	AS ANNOTATE
PROJECT	APPROVED	ISSUED FOR
PROPOSED APARTMENT	N/A	N/A
ADDRESS	SIGNED	DATE
37 FRANCIS ST. REVERE, MA	MARCOS DEVERS	1/22/2024

MDJ INC.
 Engineers, Architects & Associates
 MARCOS A DEVERS, P.E.
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 978 685 5691 / 978 604 7568
 mdjincorporated@comcast.net

Attachment: PH.C2403.35FrancisStreet (24-081 : Special Permit, C-24-03, 35 Francis Street)



MDJ INC.

Engineers, Architects & Associates
 MARCOS A DEVERS, P.E.
 16 WOODLAND ST, LAWRENCE, MA 01841
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 mdjincorporated@comcast.net

APPLICANT / OWNER
 AU APFAAT 5

PROJECT
 PROPOSED APARTMENT

ADDRESS
 37 FRANCIS ST, REVERE, MA

VERIFIED
 N/A

APPROVED
 N/A

SIGNED
 MARCOS DEVERS

SCALED
 AS ANNOTATE

ISSUED FOR
 N/A

DATE
 1/22/2024

NOTE

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DWG No. _____ NAME _____

JOB No. _____ NAME _____

Dtd By: MDJ, INC. - LENIN PAREDES

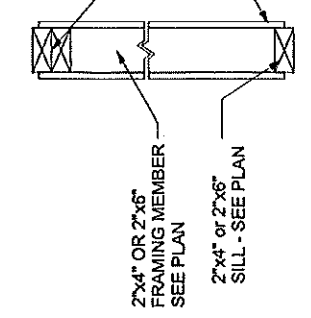
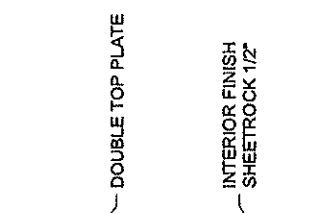
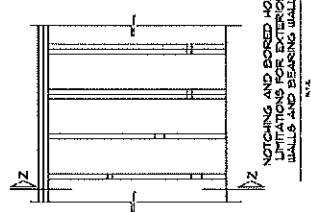
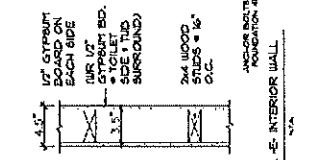
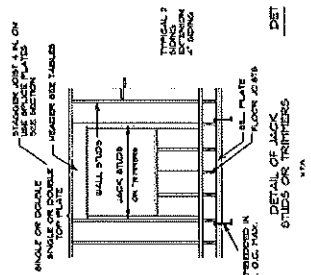
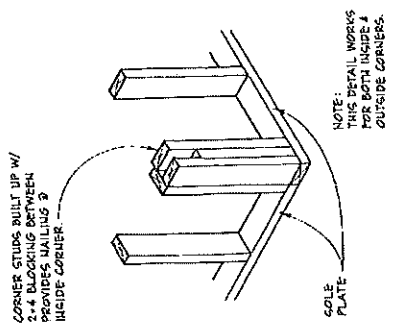
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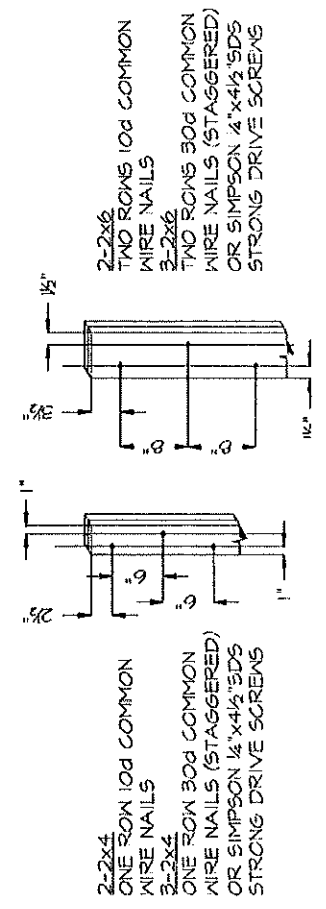
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TYPICAL BUILT-UP HEADER INTERIOR WALL



MDJ INC.
 Engineers, Architects & Associates
 MARCOS A DEVERS, P.E.
 16 WOODLAND ST LAWRENCE, MA 01841
 978 685 5691 / 978 804 7588
 mdjincorporated@comcast.net

APPLICANT / OWNER: ALL APART 5
 PROJECT: PROPOSED APARTMENT
 ADDRESS: 37 FRANCIS ST. REVERE, MA

SCALED: AS NOTATE
 ISSUED FOR: N/A
 DATE: 1/22/2024

VERIFIED: N/A
 APPROVED: N/A
 SIGNED: MARCOS DEVERS

DWG No. _____ NAME _____
 JOB No. _____ NAME _____
 Dwg By: MDJ INC. - LENIN PAREDES

REVISION No.	DATE
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GENERAL NOTES:

1. THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.

2. WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DISIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

3. 1- CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS 9TH EDITION OF THE MBSC, 780 CMR AND THE CITY.

4. 2- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND PROCEDURES.

5. 3- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS DURING BUILDING CONSTRUCTION AND SHALL PROVIDE ADEQUATE SHORING AND BRACING TO ENSURE SAFETY.

6. 4- ALL DIMENSIONS AND SITE CONDITIONS SHALL BE FIELD VERIFIED AND SHALL BE RESPONSIBILITY OF THE CONTRACTOR NOTIFY THE OWNER OR DESIGNER OF ANY DISCREPANCY BEFORE STARTING WORK.

7. 5- IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES AND TO PROTECT THEM FROM DAMAGE.

8. 6- ALL DETAILS, SECTIONS, NOTES, OR REFERENCE TO OTHER DRAWINGS ARE INTENDED TO BE TYPICAL.

9. 7- DURING CONSTRUCTION AND BEFORE ANY CHANGES, REVISIONS, MODIFICATIONS OR DEVIATION FROM THE CONSTRUCTION DOCUMENT, CONTRACTOR SHALL BRING TO THE ATTENTION OF THE OWNER OR DESIGNER AND OBTAIN APPROVAL FROM THE BUILDING INSPECTOR BEFORE PROCEEDING WITH THE WORK.

10. 8- SPECIFIC NOTES AND DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE THE DRAWINGS DO NOT SHOW DETAILS, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.

MAILING NOTES: REFER TO TABLE B602.3(1)

1. JOIST TO SILL OR GIRDER BRIDGING TO JOIST SOLE PLATE TO JOIST OR BLKG TOP PLATE TO STUD DOUBLE STUDS DOUBLE TOP PLATES CONTINUOUS HEADER, TWO PIECES BUILT-UP HEADER, TWO PIECES W/ 1/2" SPACER

2. TOP PLATES, LAP'S AND INTERSECTIONS CEILING JOISTS TO PLATE CONTINUOUS HEADER TO STUD CEILING JOISTS TO PARALLEL PARTERS

3. Rafter to Plate 1" BRACE TO EACH STUD AND PLATE BUILT-UP CORNER STUDS 2" FLANKS 1/2" PLYWOOD ROOF AND WALL SHEATHING

4. 3/4" PLYWOOD SUBFLOOR 2x MULTIPLE JOISTS - STAGGER @ 15" OC W/2" @ EA. END OR SPICE (3) OR FEMER (4) OR MORE

TOE NAIL (3)-8d TOE NAIL EA. END (2)-8d FACE NAIL 1 1/2" @ 16" OC TOE NAIL (4)-8d, END NAIL (2) 1 1/2" FACE NAIL 1 1/2" @ 24" OC FACE NAIL 1 1/2" @ 16" OC

FACE NAIL (3)-10d TOE NAIL (3)-8d TOE NAIL (4)-8d FACE NAIL (3)-10d TOE NAIL (2)-1 1/2" FACE NAIL (2)-8d 10d @ 24" OC (2)-1 1/2" @ EA. BRG. EDGES 8d @ 6" OC INTERMEDIATE 8d @ 12" OC

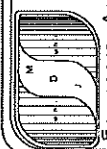
EDGES 8d @ 6" OC INTERMEDIATE 8d @ 12" OC 1 1/2" DIA M.B. W/ STANDARD NUT AND WASHERS

LUMBER SPECIES:
1. POSTS, BEAMS, HEADERS, JOISTS, AND PARTERS TO BE DF-42.
2. EXPOSED ARCH BEAMS TO BE DF-41 OR BETTER.
3. SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-42.
4. ALL STUDS TO BE DF#2 OR BETTER.
5. FLOOR SHEATHING SHALL BE AS FOLLOWS:
6. ROOF SHEATHING SHALL BE 5/8" PLYWOOD OR 9/32 OSB.
7. WALL SHEATHING SHALL BE 1/2" INT-APA RATED 32/16 OR 7/16 OSB.
8. FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED OSB.

VENTILATION NOTES:
ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR. FURNACE FIREBOX AND TANKLESS WATER HEATER SHALL HAVE OUTSIDE COMBUSTION AIR SUPPLY PURSUANT TO REGIONAL AND LOCAL CODES.

R311.7.5.2.1 Winder Treads. Winder treads shall have a minimum tread depth equal to the tread depth of the stairs' straight run portion measured above at a point 12 inches from the side where the treads are narrower. Winder treads shall have a minimum tread depth of three inches at any point. Within any flight of stairs, the greatest winder tread depth at the 12-inch walk line shall not exceed the smallest by more than 3/8 inch.

To the best of my knowledge these plans are drawn to comply with owners and / or builders' specifications and any change made on them after prints are made will be done at the owner's and or / builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. MDJ INCORPORATED is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.



MDJ INC.
Engineers, Architects & Associates
MARCOS A DEVERS, P.E.
16 WOODLAND ST LAWRENCE, MA 01841
978 685 5631 / 978 804 7588
mdjincorporated@comcast.net

APPLICANT / OWNER
AL ARFAAT S
PROJECT
PROPOSED APARTMENT
ADDRESS
37 FRANCIS ST. REVERE, MA

VERIFIED
N/A
APPROVED
N/A
SIGNED
MARCOS DEVERS
1/22/2024

SCALED
AS ANNOTATE
ISSUED FOR
N/A
DATE
1/22/2024

NOTE
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3.

DWG No.
NAME
JOB No.
NAME
Dtd By: MDJ INC - LENIN PAREDES

REVISION No.
1.
2.
3.
DATE



Ashley Melnik

From: fstringi@revere.org
Sent: Friday, January 26, 2024 5:30 PM
To: mdjincorporated@comcast.net; Ashley Melnik; Louis Cavagnaro
Subject: Application Review Comments

CITY OF REVERE APPLICATION REVIEW

City of Revere Site Plan Review Review Comments

From: Frank Stringi
Date: January 26, 2024
Application #: SPR24-000005
Address: 35 FRANCIS ST
Description: Renocation to 4 unit multifamily home updating inside units
Review Status: Denied

Thank you for your recent permit application for Renocation to 4 unit multifamily home updating inside units. I have completed my initial review and my comments are listed below, you can view marked up plans on our [CLICK HERE TO VIEW YOUR APPLICATION](#). Please note that you may receive additional comments from other city departments as your application is reviewed. You can follow the progress of your application by clicking on the link to the online portal above and signing into your account.

Reviewer: Frank Stringi, Community Development, Denied

1. This plan has been denied for the following reasons: In accordance with Section 17.40.030, the extension of a nonconforming use (adding more bedrooms) may only be allowed by special permit of the City Council.

NOTE: If your application is marked "Resubmittal Required", you do not need to submit a new application. Log back into your account and edit either your Registration or Permit as requested in the comments.

Please do not reply to this automated email. All resubmittals should be done using our online portal at www.citizenserve.com/revere re-review. Furnishing the above requested information will help expedite the approval of your application.



Patriot
Properties Inc.

USER DEFINED
 Prior Id #1: RB
 Prior Id #2:
 Prior Id #3:
 Prior Id #1:
 Prior Id #2:
 Prior Id #3:
 ASR Map: 7

PRINT
 Date: 01/29/24
 Time: 17:13:36
LAST REV
 Date: 08/07/23
 Time: 10:09:29
 cgravall
 2031

SALES INFORMATION
 Grantor: JUDY SILVERMAN ROSA
 Date: 12/1/2009
 Type: FAMILY
 Sale Price: 1,100,000
 V: No
 Tst: No
 Verif: No

PREVIOUS ASSESSMENT
 Tax Yr: 2024
 Use: FV
 Cat: 7800
 Bkg Value: 903,400
 Yrd Items: 7800
 Land Size: 0.119
 Total Value: 1,183,600
 Asses'd Value: 1,183,600
 Year End Roll: 12/26/2023

PREVIOUS ASSESSMENT
 Tax Yr: 2023
 Use: FV
 Cat: 7800
 Bkg Value: 779,800
 Yrd Items: 7800
 Land Size: 0.119
 Total Value: 1,183,600
 Asses'd Value: 1,183,600
 Year End Roll: 11/9/2023

PREVIOUS ASSESSMENT
 Tax Yr: 2022
 Use: FV
 Cat: 7800
 Bkg Value: 621,400
 Yrd Items: 7800
 Land Size: 0.119
 Total Value: 1,183,600
 Asses'd Value: 1,183,600
 Year End Roll: 10/21/2022

PREVIOUS ASSESSMENT
 Tax Yr: 2021
 Use: FV
 Cat: 7800
 Bkg Value: 571,900
 Yrd Items: 7800
 Land Size: 0.119
 Total Value: 1,183,600
 Asses'd Value: 1,183,600
 Year End Roll: 11/9/2021

PREVIOUS ASSESSMENT
 Tax Yr: 2021
 Use: FV
 Cat: 7800
 Bkg Value: 522,500
 Yrd Items: 7800
 Land Size: 0.119
 Total Value: 1,183,600
 Asses'd Value: 1,183,600
 Year End Roll: 12/15/2020

PREVIOUS ASSESSMENT
 Tax Yr: 2021
 Use: FV
 Cat: 7800
 Bkg Value: 522,500
 Yrd Items: 7800
 Land Size: 0.119
 Total Value: 1,183,600
 Asses'd Value: 1,183,600
 Year End Roll: 8/19/2020

SALES INFORMATION
 Grantor: JUDY SILVERMAN ROSA
 Date: 12/1/2009
 Type: FAMILY
 Sale Price: 1,100,000
 V: No
 Tst: No
 Verif: No

ACTIVITY INFORMATION
 Date: 1/25/2016
 Result: MEASURED
 By: ROBBIE MC
 Comment: 418/2007 MEAS & INSP

ACTIVITY INFORMATION
 Date: 1/25/2016
 Result: MEASURED
 By: ROBBIE MC
 Comment: 418/2007 MEAS & INSP

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 Date: 1/25/2016
 Result: MEASURED
 By: ROBBIE MC
 Comment: 418/2007 MEAS & INSP

PROPERTY FACTORS
 Item Code: Z
 Description: water
 Depth: water
 Item Code: O
 Description: Sewer
 Depth: Sewer
 Item Code: N
 Description: Electr
 Depth: Electr
 Item Code: I
 Description: Exmpt
 Depth: Exmpt
 Item Code: D
 Description: Topo
 Depth: Topo
 Item Code: S
 Description: Street
 Depth: Street
 Item Code: T
 Description: Gas
 Depth: Gas

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 Depth: water
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 Depth: Topo
 Item Code: S
 Description: Street
 Depth: Street
 Item Code: T
 Description: Gas
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LAND SECTION (First 7 lines only)
 Use Code: 111
 LUC: 4-8
 No of Units: 5187
 Depth: SITE
 Price/Unit: 272,400
 Sq Feet: 272,400

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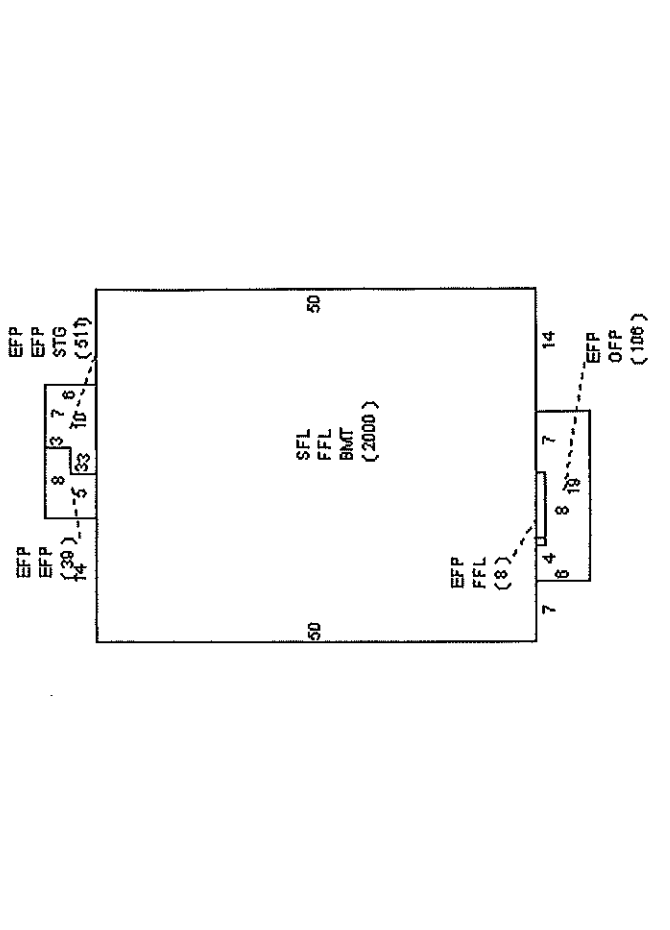
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 No of Units: 5187
 Depth: SITE
 Price/Unit: 272,400
 Sq Feet: 272,400

SKETCH



COMMENTS

RESIDENTIAL GRID
 1st Res Grid Desc Line 1 # Units 4
 Level: FY LR DR D K FR RR BR FB HB L O
 Other: _____
 Upper: _____
 Lvl 2: _____
 Lvl 1: _____
 Lower: _____
 Totals: Rms: 16 BRS: 4 Baths: 4 HB

REMODELING

Exterior:	No Unit:	RMS:	BRS:	FL:
Interior:	4	4	1	M
Additions:				
Kitchen:				
Baths:				
Plumbing:				
Electric:				
Heating:				
General:				
Totals:	4	16	4	

BATH FEATURES

Full Bath: 4	Rating: AVERAGE
A Bath:	Rating:
3/4 Bath:	Rating:
A 3QBth	Rating:
1/2 Bath:	Rating:
A HBth:	Rating:
Other Fix:	Rating:

OTHER FEATURES

Kits: 4	Rating: AVERAGE
A Kits:	Rating:
Fprt:	Rating:
WSFlue:	Rating:

CONDO INFORMATION

Location:	
Total Units:	
Floor:	
% Own:	
Name:	

EXTERIOR INFORMATION

Type: 96 - APT 4-8
Sty Ht: 2 - 2 STORIES
(Liv) Units: 4 - Total: 4
Foundation: 2 - CONC BLOCK
Frame: 1 - WOOD
Prime Wall: 4 - VINYL
Sec Wall:
Roof Struct: 4 - FLAT
Roof Cover: 4 - TAR+GRAVEL
Color: CREAM
View / Desir:

GENERAL INFORMATION

Grade: C - AVERAGE
Year Bilt: 1920
Alt LUC:
Jurisdic:
Const Mod:
Lump Sum Adj:

INTERIOR INFORMATION

Avg HtFL: STD
Prim Int Wall: 2 - PLASTER
Sec Int Wall: 8 - PLYWD PA 50%
Partition: T - TYPICAL
Prim Floors: 3 - HARDWOOD
Sec Floors:

DEPRECIATION

Phys Cond: AG - Avg-Good	25%
Functional:	%
Economic:	%
Special:	%
Overide:	%
Totals:	25.6%

CALC SUMMARY

Basic \$ / SQ:	325.00
Size Adj:	0.79940116
Const Adj:	0.92227602
Adj \$ / SQ:	239.612
Other Features:	123500
Grade Factor:	1.00
NBHD Int:	1.00000000
LUC Mod:	
LUC Factor:	1.00
Adj Total:	1214299
Depreciation:	310861
Depreciated Total:	903439

SUB AREA DETAIL

Code	Description	Area - SQ	Rate - AV	Undepr. Value	Sub Area	% Usbl	Descrp	Type	Cu	# Ten
FFL	FIRST FLOOR	2,008	239,610	481,141	119,806					
BMT	BASEMENT	2,000	59,900	119,806						
SFL	SECOND FLOOR	2,000	239,610	479,225						
EFF	ENCL PRCH	294	26,500	7,790						
OFF	OPEN FRM PRC	106	21,990	2,331						
STG	STORAGE	51	9,920	506						
Totals				1,090,799						
Net Sketched Area:				6,459						
Gross Area:				6,459						
Fin Area:				4,008						

COMPARABLE SALES

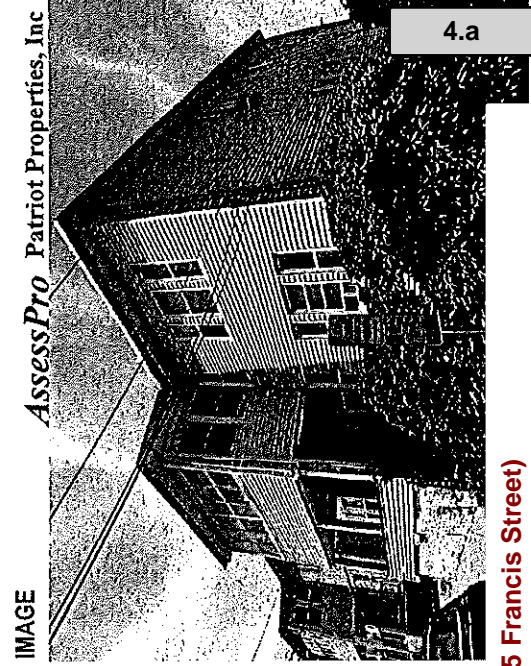
Rate	Parcel ID	Type	Date	Sale Price

MOBILE HOME

Model:		Year:	
Color:			

SPEC FEATURES/YARD ITEMS

Code	Description	A	YS	Qty	Size/Dim	Qual	Con	Year	Unit Price	D/S	Dep	LUC	Fact	NB Fa	Appr Value	Jurisd	Value
3	GARAGE	D	Y	1	12X26	A	AV	1920	19,371	T	30	111			7,800		7,800



PARCEL ID 7-124-13

Code	Description	A	YS	Qty	Size/Dim	Qual	Con	Year	Unit Price	D/S	Dep	LUC	Fact	NB Fa	Appr Value	Jurisd	Value
3	GARAGE	D	Y	1	12X26	A	AV	1920	19,371	T	30	111			7,800		7,800

45 FRANCIS ST 7-124-11
LUC: 104

HENRIQUEZ MARCO E
PORTILLO ELSA NOELIA N
45 FRANCIS ST
REVERE, MA 02151

41 FRANCIS ST 7-124-12
LUC: 111

41 FRANCIS STREET, LLC
P O BOX 2483
WOBURN, MA 01888

35 FRANCIS ST 7-124-13
LUC: 111

ALI ARFAAT S
37 FRANCIS ST
REVERE, MA 02151

75 HOPKINS ST 7-124-14
LUC: 104

CANELAS RUDY P
75-77 HOPKINS ST
REVERE, MA 02151

69 HOPKINS ST 7-124-15
LUC: 104

FRITZ STEVEN D
71 HOPKINS ST
REVERE, MA 02151

63 FRANKLIN AVE 7-125-13
LUC: 101

BALBIN OSCAR GUZMAN
2 NEPTUNE RD
SUITE 214
EAST BOSTON, MA 02128

67 FRANKLIN AVE 7-125-14
LUC: 104

TOUSSAINT JOSEPH B
2795 NICOLE AVE
KISSIMMEE, FL 34744

71 FRANKLIN AVE 7-125-15
LUC: 104

URSINO NICOLA
URSINO MIRELLA
71 FRANKLIN AVE
REVERE, MA 02151

73 FRANKLIN AVE 7-125-16
LUC: 104

VAQUERANO TRANCITO
73 FRANKLIN AVE
Revere, MA 02151

13 FRANCIS ST 7-125-19
LUC: 104

MEJIA YENNY M
MENDEZ JULIO C
13-15 FRANCIS ST
Revere, MA 02151

21 FRANCIS ST 7-125-20
LUC: 104

21 FRANCIS REALTY TRUST
XHENGO ALKETA TRUSTEE
75 CENTRAL AVE
Revere, MA 02151

80 HOPKINS ST 7-125-21
LUC: 104

BERTMAN GEORGE LIFE ESTATE
BERTMAN MURIEL LIFE ESTATE
80 HOPKINS ST
REVERE, MA 02151

HOPKINS ST 7-125-22
LUC: 132

BERTMAN GEORGE LIFE ESTATE
BERTMAN MURIEL LIFE ESTATE
80 HOPKINS ST
REVERE, MA 02151

74 HOPKINS ST 7-125-23
LUC: 104

AGUIRRE EDIS
DELUCCHI GISELLA E
25 MORRISON AVE
WAKEFIELD, MA 01880

66 HOPKINS ST 7-125-24
LUC: 104

CARDONA-MONZON VICTOR
GONCALVES YURI D
68 HOPKINS ST
REVERE, MA 02151

223 WALNUT AVE 7-126-18
LUC: 959

BAY COVE HUMAN SERVICES, INC
66 CANAL SST
BOSTON, MA 02114

215 WALNUT AVE 7-126-19
LUC: 111

215 WALNUT AVENUE IRREVOCABLE TRUST
TUMMINO GIUSEPPE TRUSTEE
215 WALNUT AVE
APT 1
REVERE, MA 02151

16 FRANCIS ST 7-126-2
LUC: 104

VIOLA IRREVOCABLE FAMILY TRUST
VIOLA MICHAEL TRUSTEE
16 FRANCIS ST
REVERE, MA 02151

207 WALNUT AVE 7-126-20
LUC: 104

DUSHINSKI SUSAN E
207 WALNUT AVE
REVERE, MA 02151

22 FRANCIS ST 7-126-3
LUC: 104

HAMMOUOUALI NAJIA
22 FRANCIS ST
Revere, MA 02151

26 FRANCIS ST 7-126-4
LUC: 104

ALFARO FLORA UMANZOR
PORTILLO GERSON VILLEDA
26 FRANCIS ST
REVERE, MA 02151

32 FRANCIS ST 7-126-5
LUC: 111

BASTIDAS NAHIR
32 FRANCIS ST
REVERE, MA 02151

38 FRANCIS ST 7-126-6A
LUC: 105

TERESA GRASSO LIVING TRUST 1/2 INT (TERESA
TRUSTEE)
GRASSO LORENZO LIFE ESTATE
38 FRANCIS ST
REVERE, MA 02151

48 FRANCIS ST 7-126-9
LUC: 101

HOSSAIN MD AKMAL
AKTER DAIZY
48 FRANCIS ST
REVERE, MA 02151

THIS IS A TRUE & ATTESTED
COPY OF THE RECORDS OF THE
ASSESSOR'S OFFICE OF THE
CITY OF REVERE

Susan Chaffer
DATE: 1-29-24

Attachment: PH.C2403.35FrancisStreet (24-081 : Special Permit, C-24-03, 35 Francis Street)

C-24-04

PUBLIC HEARING

Notice is hereby given in accordance with the provisions of Chapter 40A of the Massachusetts General Laws and Section 17.40.030 of the Revised Ordinances of the City of Revere that the Revere City Council will conduct a public hearing on Monday evening, February 26, 2024 at 6:00 P.M. in the City Councillor Joseph A. DelGrosso City Council Chamber, Revere City Hall, 281 Broadway, Revere, MA 02151 on the application of Jewel Saeed, 55 Berkshire Street, Swampscott, MA 01907, requesting a special permit from the Revere City Council to reconstruct and expand an existing non-conforming structure, by razing the existing structure and constructing a 5-story boutique hotel containing approximately 104 rooms and 32 parking spaces at 185 Squire Road, Revere, MA 02151.

A copy of the aforementioned application (C-24-04) is on file and available for public inspection in the office of the City Clerk, Revere City Hall, Revere, Massachusetts, Monday through Thursday from 8:00AM to 5:00PM and on Friday 8:00AM-12:00PM. Proponent/opponent testimony will be accepted in writing on or before February 20, 2024. Testimony can be submitted via email to amelnik@revere.org.

Attest:

Ashley E. Melnik
City Clerk

Revere Journal
Check attached #1250
02/07/2024
02/14/2024

Attachment: PH.C2404.185SquireRoad (24-082 : Special Permit, C-24-04, 185 Squire Road)

FORM B

APPLICATION NO. C-24-04
DATE: 1/31/24

**City of Revere, Massachusetts
Revere City Council
Application For
Special Permit**

All parts of this application and the attached documents shall be completed and submitted under the pains and penalties of perjury. Incomplete filings may be rejected.

The applicant must be prepared to present data that tends to indicate that the public convenience and welfare will be substantially served by granting the exception or permission requested. That the exception or permission requested will not tend to impair the status of the neighborhood; that the exception or permission requested will be in harmony with the general purposes and intent of the Revised Ordinances of the City of Revere.

I hereby request a hearing before the Revere City Council for the following:

- A. Application for Planned Unit Development Title 17, Chapter 17.20, Section 17.20.010, 17.20.200 (Revised Ordinances of the City of Revere),
- B. Application for Special Permit (Revised Ordinances of the City of Revere), Title 17, Chapter 17.16, Section 17.40.030.
- C. Application for Special Permit for Alteration and Extension of Nonconforming Uses (Revised Ordinances of the City of Revere), Title 17, Chapter 17.40, Section 17.40.020.

1. Applicant submitting this application is:

Name: Jewel Saeed

Address: 55 Berkshire Street, Swampscott, MA 01907

Tel. #: (617) 888-1997

Email: jewelsaeed@icloud.com

2. Applicant is: Tenant Licensee Prospective Purchaser
 Owner Other (Describe)

RECEIVED
CITY OF REVERE
PLANNING DEPARTMENT
FEB 1 10 31 AM '24

Attachment: PH.C2404.185SquireRoad (24-082 : Special Permit, C-24-04, 185 Squire Road)

3. The following person is hereby designated to represent the applicant in matters arising hereunder:

Name: Lou Markakis, Lynnway Associates

Title: President

Address: 152 Lynnway, Suite 3A, Lynn, MA 01902

Tel. #: (781) 558-8518

Email: markakislou@gmail.com

4. The land for which this application is submitted is owned by:

Name: 324 Princeton, LLC, Reginaldo Piccinato (manager)

Address: 153 Court Road, Winthrop, MA 02152

Tel. #: (617) 895-9410

5. The land described in this application is recorded in Suffolk County Registry of Deeds,

Book 66496, Page 212. Certificate # (if registered) _____,

Book _____, Page _____.

6. Plans describing and defining the Exception to Use Regulations In Certain Districts, the Special Permit or Special Permit For Alteration and Extension of Nonconforming Uses are included herewith and made a part hereof and are titled and dated:

"Proposed Hotel 185 Squire Road, Revere, MA" prepared by David Barsky, Architect and dated January 26, 2024

Lot # Map 27 Block 439V Lot 2 Sq. Ft. 15,705+/- s.f.

7. A map describing the land uses of adjacent and nearby properties is included and made a part of this application.

8. A locus map (8½" x 11") copy of City of Revere or USGS topographic sheet with site marked for which permit is requested is included and made a part of this application.

9A. Is the site of this application subject to the Wetland Protection Act (M.G.L., Chapter 131, Sec. 40A or Chapter 130, Sec. 105)?

yes

no

X

do not know

9B. Is the location of the site of this application within 100 feet of:

_____ a coastal beach; _____ salt marsh; _____ land under the ocean;

Attachment: PH.C2404.185SquireRoad (24-082 : Special Permit, C-24-04, 185 Squire Road)

_____ do not know; X no.

10. Describe the property for which this application is being submitted (including dimensions of land, existing buildings, if any, availability of utilities, sewer, water, etc.):

The subject property is located at 185 Squire Road and is shown on the Revere Tax Maps as Map 27 Block 439V Lot 2 and is comprised of approximately 15,705 s.f. The property is located in the HB Zoning District. The property is occupied by an existing two story commercial building and accessory paved parking lot containing 28 parking spaces. The existing building is pre-existing, non-conforming due to non-conforming rear and side yard setbacks.

The subject property is currently served by municipal water and sewer located in Squire Road. In the current condition there are no stormwater controls located on-site as a result storm water runoff generated by the subject property flows un-mitigated into the municipal drainage system.

11. What is the nature of the exception or special permit requested in this application?

The proposed project includes the demolition of the existing structure(s) and the construction of a proposed 5-story boutique hotel containing approximately 104 rooms and 32 parking spaces. The construction will be a podium style construction with four (4) stories of hotel rooms over a podium of parking and hotel amenity/service space. The proposed development will result in the following non-conformities:

- Front Yard Setback (0-ft where 20-ft is required)
- Side Yard Setback (0-ft where 20-ft is required)
- Rear Yard Setback (3-ft where 30-ft is required)
- FAR to allow 3.5 where 1.0 is allowed
- To allow 32 parking spaces where 78 (0.75 per room) are required

Date of denial by Building Inspector and/or Planning Board


January 16, 2024.

I hereby certify under the pains and penalties of perjury that the foregoing information contained in this application is true and complete.



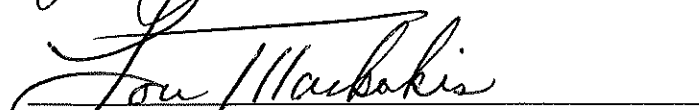
Signature of Applicant

01-31-24
Date



Signature of Owner


01-31-24
Date



Signature of Designated Representative

1/31/24
Date

Received from above applicant, the sum of \$ _____ to apply against administrative and mailing costs.



Attachment: PH.C2404.185SquireRoad (24-082 : Special Permit, C-24-04, 185 Squire Road)

**General Disclosure of Constituent Information
Relative to Applications Submitted to the Revere City Council
For Authorizations, Permits, Special Permits, Licenses, Variances, Orders of Conditions, Approvals,
Modifications and Amendments Which are Subject of Proceedings Before the Revere City Council**

1. Name and residential address of party submitting application:

Name: Jewel Saeed
Address: 55 Berkshire Street, Swampscott, MA 01907

2. Name and residential address of each landowner on whose property subject matter will be exercised:
(Attach additional pages, if necessary.)

Name: Reginaldo Piccinato (Mgr) 324 Princeton LLC
Address: 153 Court Road, Winthrop, MA 02152

3. If the party is a partnership, state the name and residential address of all partners within sixty (60) days of this application:

Partner's Name: N/A
Address: _____

4. Name and residential address of each party to whom subject authorization will be issued:

Name: Jewel Saeed - 324 Princeton LLC (Manager)
Address: 55 Berkshire St, Swampscott MA 01907

5. If the party is a trust, provide the name and residential address of each trustee and beneficiary within sixty (60) days of this application:

Trustee's Name: N/A
Address: _____

The trust documents are on file at _____ and will be delivered upon request.

6. If the party is a joint venture, state the name and residential address of each person, form of company that is party to the joint venture within sixty (60) days of the filing of this application.

Joint Venture Name: N/A
Address: _____

A copy of the Joint Venture agreement is on file at _____ and will be delivered upon request.

Attachment: PH.C2404.185SquireRoad (24-082 : Special Permit, C-24-04, 185 Squire Road)

General Disclosure Form

7. If the party is a corporation, provide the name and residential address of each officer, director and shareholder owning more than 50% of the interest in the Corporation within sixty (60) days of the date of this application:

Officer's Name: N/A

Address: _____

Director's Name: _____

Address: _____

Shareholder's Name: _____
(50% or more)

Address: _____

8. If the party is a General Partnership, provide the name and residential address of each partner in the partnership within sixty (60) days of the date of this application.

General Partner's Name: N/A

Address: _____

9. If the party is a Limited Partnership, provide the name and residential address of each General Partner of the Limited Partnership within sixty (60) days from the date of this application.

General Partner's Name of Limited Partnership: N/A

Address: _____

10. If the business is conducted under any title other than the real name of the owner, state the time when, and place where, the certificate require by Mass. General Law, Chapter 110, Section 5, is on file:

The foregoing information is provided under the Pains and Penalty of Perjury.

Signature of each party and landowner:

[Signature]

[Signature]

Attachment: PH.C2404.185SquireRoad (24-082 : Special Permit, C-24-04, 185 Squire Road)

Request for Finding of Fact – Special Permit

Now comes the applicant Jewel Saeed
 who has applied to this Honorable City Council for a special permit for property located at 185
Squire Road and asks that said Council make the following findings of fact:

1. That the proposed use would be in harmony with the general purpose and intent of the Zoning Ordinance for the following reasons:
 - (a) The hotel use is allowed as of right in the HB Zoning District
 - (b) A hotel use would be consistent with the character of the area and beneficial to the community as a whole.
 - (c) There are other hotel uses on the Squire Road corridor and given its proximity to Logan Airport the use is an appropriate use for the zoning district and surrounding area.
2. That the specific site is an appropriate location for such use for the following reasons:
 - (a) The site is located in close proximity to Logan Airport.
 - (b) The site is located in a zoning district which allows the hotel use.
 - (c) The site is surrounded by retail and restaurant uses which would benefit from the proposed development. The use is also in harmony with the surrounding uses.
3. That the specific site has adequate public sewerage and water facilities and water systems for the following reasons:
 - (a) The site is serviced by a municipal water main and a municipal sewer main both of which are located along the property's frontage on Squire Road.
 - (b) There is adequate water and sewer capacity to support the proposed use.
 - (c) The project will perform any necessary repairs to the water and sewer infrastructure located along the subject property's frontage.
4. That the use as developed will not adversely affect the neighborhood, for the following reasons:
 - (a) The use is allowed as a matter of right in the HB Zoning District
 - (b) The use will enhance the surrounding restaurant and retail uses.
 - (c) The use contains on-site drop off area and parking for patrons of the proposed establishment and will not impact the neighborhood.

Page 2
Finding of Fact Form

5. That there will not be a nuisance or serious hazard to vehicles or pedestrians using Squire Road & Lechmere Street _____ for the following reasons:
(streets)
- (a) All vehicular access to and from the site will be via Lechmere Street.
 - (b) The cement concrete sidewalks and pedestrian ramps on Squire Road and Lechmere Street along the subject property's frontage will be re-constructed as part of this project. In addition a "vehicle exiting" beacon will be provided to alert pedestrians that vehicles are exiting.
 - (c) The hotel will include a drop-off area where a valet service will place vehicles in the parking lot.
6. That adequate and appropriate facilities will be provided for the proper use, for the following reasons:
- (a) The site will include a storm water management system to renovate the quality and mitigate the quantity of storm water runoff generated by the site.
 - (b) The facility will include a trash room that will be maintained by a private contractor.
 - (c) The facility will use low impact design measures to mitigate water and power consumption.

Date: 1/31/24

Respectfully submitted by: *Jon Markakis*

To: Richard Viscay, Director of Finance
From: Ashley E. Melnik, City Clerk
Subj: Review of Taxes, Assessments, Betterments and Other Municipal charges Relative to an Application for a City of Revere License and/or Permit.

Date: 1/31/24

Requested Return
Date: _____

Hearing
Date: 2/26/24

In accordance with the provisions of Section 57(a), of Chapter 40 of the Massachusetts General Laws, and Title 3, Chapter 3.04, Section 3.04.020 of the Revised Ordinances of the City of Revere, I herewith request information relative to the payment of the City of Revere real estate taxes, assessments, betterments and other municipal charges concerning the following persons, corporations or business enterprises who have made application for a City of Revere license or permit or renewal thereof:

Name of Applicant: Jewel Saeed
(person, corporation or business enterprise applying for license or permit)

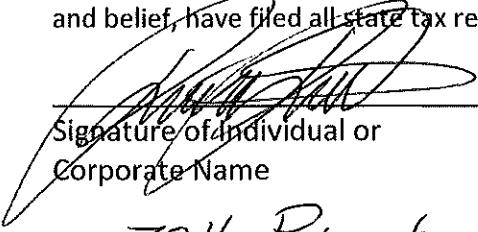
Address of Applicant: 55 Berkshire Street Swampscott MA 019
(business address of above person, corporation or business enterprise)

Location Address: 185 Squire Road Revere
(location of property for which license or permit is required.)

Attachment: PH.C2404.185SquireRoad (24-082 : Special Permit, C-24-04, 185 Squire Road)

Certification

Pursuant to M.G.L. Chapter 62C, Sec. 49A, I certify under the penalties of perjury that I, to my best knowledge and belief, have filed all state tax returns and paid all state taxes required by law.

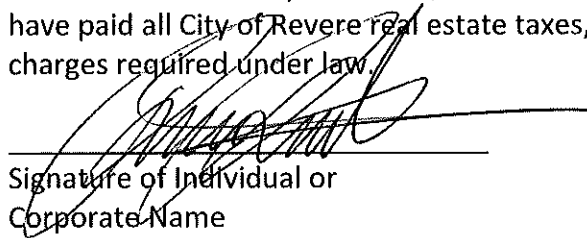


Signature of Individual or
Corporate Name

by: 324 Princeton LLC (Mgr)
Corporate Officer (if applicable)

Certification

Pursuant to M.G.L. Chapter 40, Section 57(a), and Title 3, Chapter 3.04, Section 3.04.020 of the Revised Ordinances of the City of Revere, Massachusetts, I hereby certify, under penalties of perjury, that I have paid all City of Revere real estate taxes, water and sewer assessments and any other municipal charges required under law.



Signature of Individual or
Corporate Name

by: 324 Princeton LLC (Mgr)
Corporate Officer (if applicable)

Attachment: PH.C2404.185SquireRoad (24-082 : Special Permit, C-24-04, 185 Squire Road)

From: fstringi@revere.org
Sent: 01/16/2024 - 01:22 PM
To: rsalvo@eaicivil.com,amelnik@revere.org,lcavagnaro@revere.org
CC:
Subject: Application Review Comments

CITY OF REVERE APPLICATION REVIEW

City of Revere Site Plan Review Review Comments

From: Frank Stringi
Date: January 16, 2024
Application #: SPR24-000003
Address: 185 SQUIRE RD
Description: Proposed 104 Room Hotel
Review Status: Denied

Thank you for your recent permit application for Proposed 104 Room Hotel. I have completed my initial review and my comments are listed below, you can view marked up plans on our [CLICK HERE TO VIEW YOUR APPLICATION](#). Please note that you may receive additional comments from other city departments as your application is reviewed. You can follow the progress of your application by clicking on the link to the online portal above and signing into your account.

Reviewer: Frank Stringi, Community Development, Denied

1. This plan has been denied for the following reasons: In accordance with Section 17.40.030, the reconstruction and expansion of a nonconforming structure for a substantially different purpose may only be allowed by special permit of the City Council.

NOTE: If your application is marked "Resubmittal Required", you do not need to submit a new application. Log back into your account and edit either your Registration or Permit as requested in the comments.

Please do not reply to this automated email. All resubmittals should be done using our online portal at www.citizenserve.com/revere re-review. Furnishing the above requested information will help expedite the approval of your application.



Attachment: PH.C2404.185SquireRoad (24-082 : Special Permit, C-24-04, 185 Squire Road)



Attachment: PH.C2404.185SquireRoad (24-082 : Special Permit, C-24-04, 185 Squire Road)

PREPARED BY:



Engineering Alliance, Inc.
 Civil Engineering & Land Planning Consultants
 194 Central Street
 Saugus, MA 01906
 Tel: (781) 231-1349
 Fax: (781) 417-0020

1950 Lafayette Road
 Portsmouth, NH 03801
 Tel: (603) 610-7100
 Fax: (603) 610-7101

PROJECT:

Proposed Hotel

185 Squire Road
 (Tax Map 27 Block 439V Lot 2)
 Revere, Massachusetts

PROJECT: 24-91301

DATE: January 26, 2024

SCALE: 1:25,000

DWG FILE NAME: Figures.dwg

DESIGNED BY: Calvin Reach

CHECKED BY: Richard A. Salvo, P.E.

DRAWING TITLE:

FIGURE 1 - USGS LOCUS MAP

Page #:

1 of 5



Attachment: PH.C2404.185SquireRoad (24-082 : Special Permit, C-24-04, 185 Squire Road)

PREPARED BY:



Engineering Alliance, Inc.
 Civil Engineering & Land Planning Consultants
 194 Central Street Saugus, MA 01906
 Tel: (781) 231-1349 Fax: (781) 417-0020
 1950 Lafayette Road Portsmouth, NH 03801
 Tel: (603) 610-7100 Fax: (603) 610-7101

PROJECT:

Proposed Hotel

185 Squire Road
 (Tax Map 27 Block 439V Lot 2)
 Revere, Massachusetts

PROJECT: 24-91301

DATE: January 26, 2024

SCALE: 1"=400'

DWG FILE NAME: Figures.dwg

DESIGNED BY: Calvin Reach

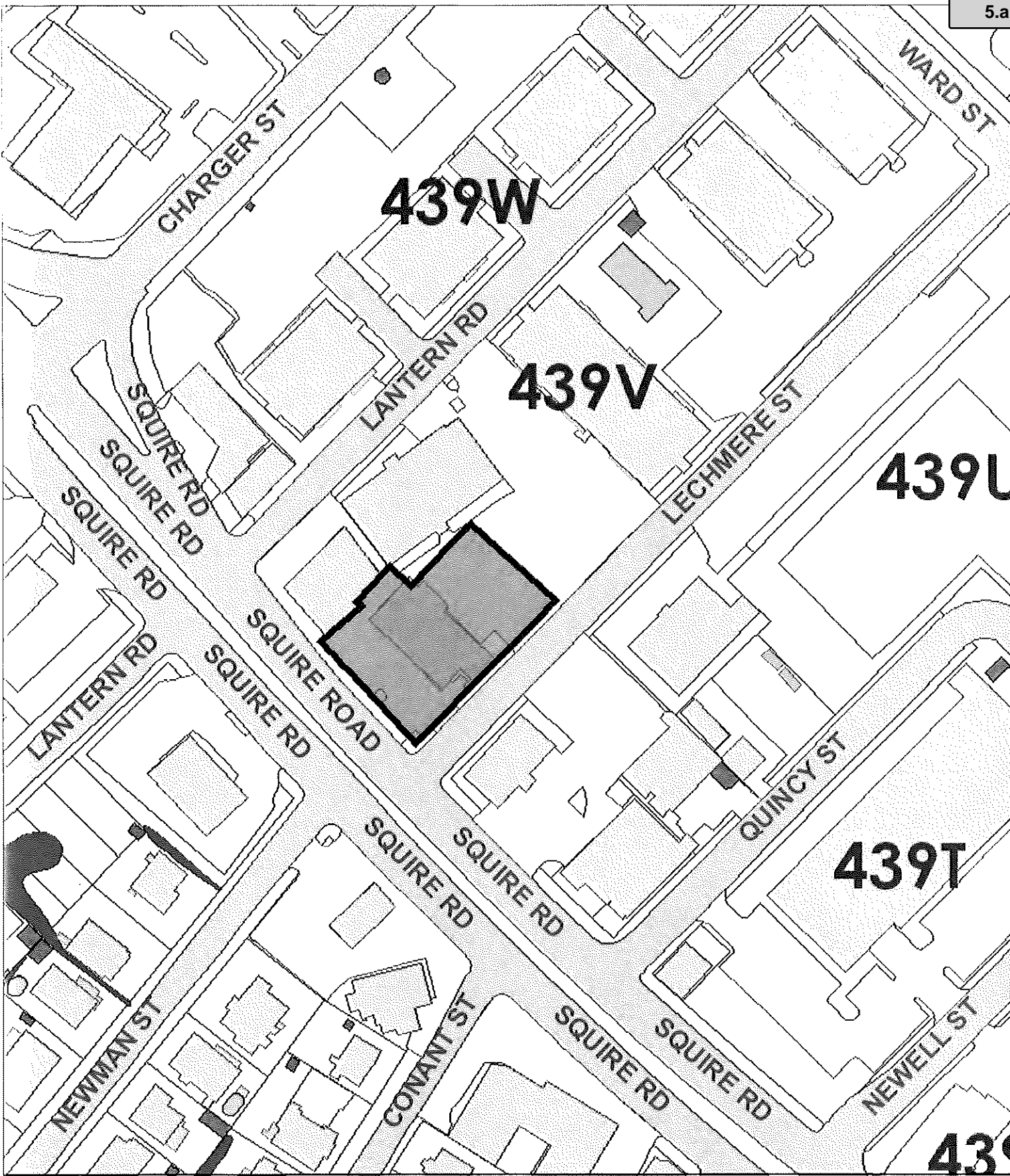
CHECKED BY: Richard A. Salvo, P.E.

DRAWING TITLE:

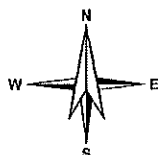
FIGURE 2 - ORTHO PHOTO

Page #:

2 of 5



Attachment: PH.C2404.185SquireRoad (24-082 : Special Permit, C-24-04, 185 Squire Road)



0 35 70 140 Feet

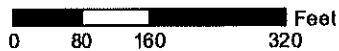
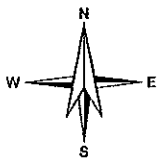
Assessors Figure

Information presented is provided "as is." The City of Revere, MA disclaims all representations or warranties regarding GIS information. GIS data is representative data only. In no event will the City of Revere be responsible for damages of any nature whatsoever resulting from use of or reliance upon GIS information.





Attachment: PH.C2404.185SquireRoad (24-082 : Special Permit, C-24-04, 185 Squire Road)



Zoning Map

Information presented is provided 'as is'. The City of Revere, MA disclaims all representations or warranties regarding GIS information. GIS data is representative data only. In no event will the City of Revere be responsible for damages of any nature whatsoever resulting from use of or reliance upon GIS information.





MAP SCALE 1" = 500'



LEGEND

- SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD**
The 1% annual chance flood (100 year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AR, AO, A99, V, and VE. The Base Flood Elevation is the water surface elevation of the 1% annual chance flood.
- ZONE A** No Base Flood Elevation determined.
- ZONE AE** Base Flood Elevations determined.
- ZONE AH** Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.
- ZONE AO** Flood depths of 1 to 3 feet (usually street flow on sloping terrain); average depths determined. For areas of atypical fan flooding, velocities also determined.
- ZONE AR** Special Flood Hazard Areas formerly protected from the 1% annual chance flood by a flood control system that was subsequently identified. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.
- ZONE A99** Area to be protected from 1% annual chance flood by a Federal forest protection system under construction; no Base Flood Elevations determined.
- ZONE V** Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.
- ZONE VE** Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.
- FLOODWAY AREAS IN ZONE AE**
The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.
- OTHER FLOOD AREAS**
- ZONE X** Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile, and areas protected by levees from 1% annual chance flood.
- OTHER AREAS**
- ZONE X** Areas determined to be outside the 0.2% annual chance floodplain.
- ZONE D** Areas in which flood hazards are undetermined, but possible.
- COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS**
- OTHERWISE PROTECTED AREAS (OPAs)**
CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.
- 1% Annual Chance Floodplain Boundary
- 0.2% Annual Chance Floodplain Boundary
- Floodway boundary

NATIONAL FLOOD INSURANCE PROGRAM
SUFFOLK COUNTY

MAP NO: 25025C0036J
REVISED: 3/16/16

PREPARED BY:



Engineering Alliance, Inc.
Civil Engineering & Land Planning Consultants
194 Central Street
Saugus, MA 01906
Tel: (781) 231-1349
Fax: (781) 417-0020

1950 Lafayette Road
Portsmouth, NH 03801
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Fax: (603) 610-7101

PROJECT:

Proposed Hotel
185 Squire Road
(Tax Map 27 Block 439V Lot 2)
Revere, Massachusetts

PROJECT: 24-91301

DATE: January 26, 2024

SCALE: 1"=500'

DWG FILE NAME: Figures.dwg

DESIGNED BY: Calvin Reach

CHECKED BY: Richard A. Salvo, P.E.

DRAWING TITLE:
FIGURE 5 - FEMA FLOOD MAP

Page #:
5 of 5

Attachment: PH.C2404.185SquireRoad (24-082 : Special Permit, C-24-04, 185 Squire Road)

City of Revere, Massachusetts
 Schedule of Fees
 for Public Hearing
 for Licenses, Permits, Zoning Amendment, Board of Appeals

Applicant is required to secure a certified list of abutters and abutters to the abutter as required by Chapter 40A, Section 11 of the Massachusetts General Laws from the City of Revere Board of Assessors and the Board of Assessors of neighboring cities and towns if required, and submit said certified list(s) to the City Clerk's Office with the completed application and separate checks listed below.

(The Board of Assessors shall provide a hard copy of the certified list(s) and two (2) sets of mailing labels to facilitate the mailing of first notices and decision notices.)

1.) City of Revere **\$260.00**

For mailing of notices to abutters
 and mailing of decision notices. (\$80.00)

For administrative expenses
 of the City Clerk's Office. (\$180.00)

2.) Revere Journal **\$140.00**

Legal advertising expenses
 relative to variance public hearing (\$70.00/week)

3/18/91
 3/27/92
 2/2/94
 9/7/94
 12/5/96
 7/21/05
 5/24/11
 2/01/17

Attachment: PH.C2404.185SquireRoad (24-082 : Special Permit, C-24-04, 185 Squire Road)



Real Estate Consulting, Brokerage & Government Relations

Seaport Landing
152 Lynnway, Suite 3A,
Lynn, MA 01902
Office: (781) 410-2959

1248

LYNNWAY ASSOCIATES
LOUIS MARKAKIS
P.O. BOX 407
SWAMPSCOTT, MA 01907

DATE Jan 25, 2024 10-4/220

PAY TO THE ORDER OF City of Revere \$ 260.00

Two Hundred Sixty exactly DOLLARS

FOR M&T Bank
SP Permit App 185 Squire Rd Joe Markakis MP

⑈00 1248⑈ ⑆0 22000046⑆ 6500324186⑈

1250

LYNNWAY ASSOCIATES
LOUIS MARKAKIS
P.O. BOX 407
SWAMPSCOTT, MA 01907

DATE Jan 25, 2024 10-4/220

PAY TO THE ORDER OF Revere Journal \$ 140.00

ONE HUNDRED FORTY EXACTLY DOLLARS

FOR M&T Bank
Ad (legal) Joe Markakis MP

⑈00 1250⑈ ⑆0 22000046⑆ 6500324186⑈

Attachment: PH.C2404.185SquireRoad (24-082 : Special Permit, C-24-04, 185 Squire Road)



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Attachment: PH.C2404.185SquireRoad (24-082 : Special Permit, C-24-04, 185 Squire Road)

CITY OF REVERE APPLICATION REVIEW

City of Revere Site Plan Review Review Comments

From: Frank Stringi
Date: January 16, 2024
Application #: SPR24-000003
Address: 185 SQUIRE RD
Description: Proposed 104 Room Hotel
Review Status: Denied

Thank you for your recent permit application for Proposed 104 Room Hotel. I have completed my initial review and my comments are listed below, you can view marked up plans on our [CLICK HERE TO VIEW YOUR APPLICATION](#). Please note that you may receive additional comments from other city departments as your application is reviewed. You can follow the progress of your application by clicking on the link to the online portal above and signing into your account.

Reviewer: Frank Stringi, Community Development, Denied

1. This plan has been denied for the following reasons: In accordance with Section 17.40.030, the reconstruction and expansion of a nonconforming structure for a substantially different purpose may only be allowed by special permit of the City Council.



Brian M. Arrigo
Mayor

The City of REVERE, MASSACHUSETTS

BOARD OF ASSESSORS
Dana E. Brangiforte
John J. Verrengla
Matthew M. McGrath

Paid

Request for Abutters List

Date: 1/25/24

Property Location: 185 Squire Road, Revere

Map: _____ Block: _____ Parcel: _____

Property Owner: 324 Princeton LLC by Reginaldo Piccinato

Is request for special permit or variance? YES NO

If yes than 300ft is required distance. If no, than please indicate requested distance below.

Requested Distance:

300 FT

Fee: \$80.00

Please make checks payable to City of Revere

Requester Information:

Name: Law Markakis % Lynnamy Associates Group

Address: % 152 Lynnamy Suite 3A

Lynn, MA 01902

Telephone: (781) 558-8518

Attachment: PH.C2404.185SquireRoad (24-082 : Special Permit, C-24-04, 185 Squire Road)



Patriot Properties Inc.

USER DEFINED

Prior Id #1	126731
Prior Id #2	
Prior Id #3	
Prior Id #1	
Prior Id #2	
Prior Id #3	
Prior Id #1	
Prior Id #2	
Prior Id #3	
ASR Map:	27
Fact Dist:	
Year:	
Land Reason:	
Bld Reason:	
Civ District:	
Ratio:	

USE VALUE: 1,736,900/
ASSESSED: 1,736,900/
1,736,900

Parcel 1,736,736
1,736,736
1,736,736

Legal Description	LOTS 188 TO 190 INCL LECHMERE ST & PT LOT 191 SQUIRE RD NE COR LECHMERE ST LOT 195 INCL SQUIRE RD
Entered Lot Size	
Total Land	15705
Land Unit Type	SF
GIS Ref	
Insp Date	03/11/15

Parcel ID 27-439V-2

Parcel ID	Use Code	Land Size	Building Value	Yard Items	Land Value	Total Value	Asses'd Value	Notes
340	0.361	1,003,500	11,600	721,800	721,800	1,736,900	1,736,900	
Total Parcel	0.361	1,003,500	11,600	721,800	721,800	1,736,900	1,736,900	
Source:	Market Adj Cost	Total Value per SQ unit (Card):	238.72	Parcel:	238.72			

PREVIOUS ASSESSMENT

Tax Yr	Use	Cat	Bldg Value	Yrd Items	Land Size	Land Value	Total Value	Asses'd Value	Notes
2024	340	FV	1,003,500	11600	361	721,800	1,736,900	1,736,900	Year End Roll
2023	340	FV	943,900	11600	361	625,600	1,581,100	1,581,100	Year End Roll
2022	340	NC	943,900	11600	361	625,600	1,581,100	1,581,100	Year End Roll
2021	340	NC	748,300	10000	361	553,400	1,311,700	1,311,700	Year End Roll
2021	340	FV	606,200	10000	361	505,300	1,121,500	1,121,500	Year End Roll
2021	340	PTCH	394,300	10000	361	505,300	909,600	909,600	patch

NARRATIVE DESCRIPTION

This parcel contains .361 Acres of land mainly classified as OFFICE with an OFFICE Building built about 1965, having primarily CONC BLOCK Exterior and 7276 Square Feet with 10 Units, 0 Bath, 0 3/4 Bath, 10 HalfBaths, 0 Rooms, and 0 Bdrm.

IN PROCESS APPRAISAL SUMMARY

Use Code	Land Size	Building Value	Yard Items	Land Value	Total Value
340	0.361	1,003,500	11,600	721,800	1,736,900
Total Parcel	0.361	1,003,500	11,600	721,800	1,736,900
Source:	Market Adj Cost	Total Value per SQ unit (Card):	238.72	Parcel:	238.72

SALES INFORMATION

Grantor	Legal Ref	Type	Date	Sale Code	Sale Price	V	Tst	Verif
PUNJAB LLC	86496-212		10/12/2021		1,740,000	No	No	
CAROLINE REALTY	61732-54		9/6/2019		1,420,000	No	No	
CAROLINE REALTY	61732-50		9/6/2019	CONVENIENCE		No	No	
UNKNOWN	8333/226		1/11/1900			No	No	

TAX DISTRICT

Parcel ID	Tax Yr	Use	Cat	Bldg Value	Yrd Items	Land Size	Land Value	Total Value	Asses'd Value	Notes
340	2024	FV		1,003,500	11600	361	721,800	1,736,900	1,736,900	Year End Roll
340	2023	FV		943,900	11600	361	625,600	1,581,100	1,581,100	Year End Roll
340	2022	NC		943,900	11600	361	625,600	1,581,100	1,581,100	Year End Roll
340	2022	NC		748,300	10000	361	553,400	1,311,700	1,311,700	Year End Roll
340	2021	FV		606,200	10000	361	505,300	1,121,500	1,121,500	Year End Roll
340	2021	PTCH		394,300	10000	361	505,300	909,600	909,600	patch

PAT ACCT

Date	Result	By	Name
3/11/2015	SIMENS & INSP	372	Patrick W
1/18/2007	MENS & INSP	336	MATT MCGRATH
11/29/2004	No change	102	JIM
12/17/2001	No change	RR	

BUILDING PERMITS

Date	Number	Descrp	Amount	C/O	Last Vst	Fed Code	F. Descrp	Comment
9/10/2003	1195	Commercial	2,000	C				Commercial 6X8 LEX
1/30/2002	8403	Commercial	10,000	C	6/25/2002			Commercial 2X4 INT
10/15/1998	5425			C				COMM 2X6 SIGN
2/20/1997	4259			C				COMM BUILD WALLS P

ACTIVITY INFORMATION

Date	Result	By	Name
3/11/2015	SIMENS & INSP	372	Patrick W
1/18/2007	MENS & INSP	336	MATT MCGRATH
11/29/2004	No change	102	JIM
12/17/2001	No change	RR	

SIGN VERIFICATION OF VISIT NOT DATA

1 / 1

PROPERTY FACTORS

Item Code	Description	%	Item Code	Description
Z	water			
0	Sewer			
n	Electri			
Census:	Exmpt			
Flood Haz:	Topo			
D	Street			
s	Street			
t	Gas			

LAND SECTION (First 7 lines only)

Use Code	Description	LLC	No of Units	Depth Prcelins	Unit Type	Land Type	LT	Base Value	Unit Price	Adj Neign	Neigh Infl	Neigh Mod	Infl 1 %	Infl 2 %	Infl 3 %	Appraised Value	Alt Class	Spec Land Code	Facd Use Value	Notes
340	OFFICE		15705		SITE		1.0	0	30.	1.53	CG					721,844	0		721,800	

Total ACH/AL	0.36054	Total SF/S/M	15705	Parcel EUC/340	OFFICE	Prime NB Desc	COMM GOOD	Total	721,844	Spl Credit	Total	721,800
--------------	---------	--------------	-------	----------------	--------	---------------	-----------	-------	---------	------------	-------	---------

167 NEWMAN ST 27-439L-15
LUC: 104
SQUIRE ROAD STATION, INC
174 SQUIRE RD
REVERE, MA 02151

SQUIRE RD 27-439U-3
LUC: 337
169 SQUIRE ROAD LLC
P O BOX 324
BOXFORD, MA 01921

207 SQUIRE RD 27-439W-1
LUC: 340
LUXE FREEDOM PLAZA CORPORATION
10 ABORN ST
SALEM, MA 01970

174 SQUIRE RD 27-439L-16
LUC: 334
174 SQUIRE ROAD REALTY TRUST
ELKADI DINA TRUSTEE
174 SQUIRE RD
REVERE, MA 02151

QUINCY ST 27-439U-4
LUC: 332
169 SQUIRE ROAD LLC
P O BOX 324
BOXFORD, MA 01921

203 SQUIRE RD 27-439W-2
LUC: 340
NDP ASSOCIATES LTD PARTNERSHIP
203A SQUIRE RD
REVERE, MA 02151

258 CONANT ST 27-439L-17
LUC: 101
VEER REALTY TRUST
PATEL SHALIN TRUSTEE
258 CONANT ST
REVERE, MA 02151

QUINCY ST 27-439U-5
LUC: 337
FIRST QUINCY STREET LLC
40 APACHE WAY
WILMINGTON, MA 01887

216 LANTERN RD 27-439W-3
LUC: 112
NORTHGATE APARTMENTS LLC
150 PRESIDENTIAL WAY
SUITE 220
WOBURN, MA 01801

251 CONANT ST 27-439M-16
LUC: 104
HERNANDEZ FACUNDO
251 CONANT ST
Revere, MA 02151

WARD ST 27-439U-6C
LUC: 900
UNITED STATES POSTAL SERVICE
P O BOX 27497
GREENSBORO, NC 27498-1103

230 LANTERN RD 27-439W-4
LUC: 112
NORTHGATE APARTMENTS LLC
160 PRESIDENTIAL WAY
SUITE 220
WOBURN, MA 01801

160 SQUIRE RD 27-439M-17
LUC: 325
VEER REALTY TRUST
PATEL SHALIN TRUSTEE
96 SNOW RD
HAVERHILL, MA 01832

WARD ST 27-439U-6D
LUC: 130
NORTHGATE APARTMENTS LLC
160 PRESIDENTIAL WAY
SUITE 220
WOBURN, MA 01801

172 LANTERN RD 28-439J1-20
LUC: 104
MAZAC JONATHAN G
172 LANTERN RD
Revere, MA 02151

156 SQUIRE RD 27-439M-18
LUC: 325
L.P. REALTY TRUST ATTN: BRUCE
PARZIALE PAULA A TRUSTEE
56 RAINBOW AVE
DRACUT, MA 01826

20 LECHMERE ST 27-439U-6E
LUC: 316
LECHMERE ST LIMITED PARTNERSHI
A MASS LTD PARTNERSHIP
203A SQUIRE RD
REVERE, MA 02151

220 SQUIRE RD 28-439J1-21A
LUC: 332
220 SQUIRE ROAD, LLC
220 SQUIRE RD
REVERE, MA 02151

147 SQUIRE RD 27-439T-1B
LUC: 322
AVANTI VENTURE, LLC
203A SQUIRE RD
REVERE, MA 02151

211 LANTERN RD 27-439V-1A
LUC: 112
NORTHGATE APARTMENTS LLC
150 PRESIDENTIAL WAY
SUITE 220
WOBURN, MA 01801

230 SQUIRE RD 28-439J1-24
LUC: 340
VENDITTO MICHAEL
393 BEAN ROAD
PLAINFIELD, NH 03781

149 SQUIRE RD 27-439T-3A
LUC: 325
DRUCAS MICHAEL
205 HIGHLAND AVE
#3303
SALEM, MA 01970

185 SQUIRE RD 27-439V-2
LUC: 340
324 PRINCETON LLC
163 COURT RD
WINTHROP, MA 02152

LANTERN RD 28-439K-21
LUC: 132
CAVICCHIO FRANK R
160 NEWMAN ST
REVERE, MA 02151

169 SQUIRE RD 27-439U-1
LUC: 326
169 SQUIRE ROAD LLC
P O BOX 324
BOXFORD, MA 01921

195 SQUIRE RD 27-439V-3
LUC: 325
195 SQUIRE ROAD LLC
195 SQUIRE RD
REVERE, MA 02151

194 SQUIRE RD 28-439K-22
LUC: 332
NOUR REALTY TRUST
EL KADI DINA TRUSTEE
194 SQUIRE RD
REVERE, MA 02151

163 SQUIRE RD 27-439U-2
LUC: 326
169 SQUIRE ROAD LLC
P O BOX 324
BOXFORD, MA 01921

237 LANTERN RD 27-439V-5B
LUC: 112
NORTHGATE APARTMENTS LLC
160 PRESIDENTIAL WAY
SUITE 220
WOBURN, MA 01801

160 NEWMAN ST 28-439K-23
LUC: 101
CAVICCHIO MARJORIE R
160 NEWMAN ST
REVERE, MA 02151

THIS IS A TRUE & ATTESTED
COPY OF THE RECORDS OF THE
ASSESSOR'S OFFICE OF THE
CITY OF REVERE

Sular Shaller

DATE: 1-25-24

Attachment: PH.C2404.185SquireRoad (24-082 : Special Permit, C-24-04, 185 Squire Road)

157 NEWMAN ST 27-439L-15
LUC: 104
SQUIRE ROAD STATION, INC
174 SQUIRE RD
REVERE, MA 02151

174 SQUIRE RD 27-439L-16
LUC: 334
174 SQUIRE ROAD REALTY TRUST
ELKADI DINA TRUSTEE
174 SQUIRE RD
REVERE, MA 02151

258 CONANT ST 27-439L-17
LUC: 101
VEER REALTY TRUST
PATEL SHALIN TRUSTEE
258 CONANT ST
REVERE, MA 02151

251 CONANT ST 27-439M-16
LUC: 104
HERNANDEZ FACUNDO
251 CONANT ST
Revere, MA 02151

160 SQUIRE RD 27-439M-17
LUC: 325
VEER REALTY TRUST
PATEL SHALIN TRUSTEE
96 SNOW RD
HAVERHILL, MA 01832

156 SQUIRE RD 27-439M-18
LUC: 325
L.P. REALTY TRUST ATTN: BRUCE
PARZIALE PAULA A TRUSTEE
56 RAINBOW AVE
DRACUT, MA 01826

147 SQUIRE RD 27-439T-1B
LUC: 322
AVANTI VENTURE, LLC
203A SQUIRE RD
REVERE, MA 02151

149 SQUIRE RD 27-439T-3A
LUC: 325
DRUCAS MICHAEL
205 HIGHLAND AVE
#3303
SALEM, MA 01970

169 SQUIRE RD 27-439U-1
LUC: 328
169 SQUIRE ROAD LLC
P O BOX 324
BOXFORD, MA 01921

163 SQUIRE RD 27-439U-2
LUC: 326
169 SQUIRE ROAD LLC
P O BOX 324
BOXFORD, MA 01921

SQUIRE RD 27-439U-3
LUC: 337
169 SQUIRE ROAD LLC
P O BOX 324
BOXFORD, MA 01921

QUINCY ST 27-439U-4
LUC: 332
169 SQUIRE ROAD LLC
P O BOX 324
BOXFORD, MA 01921

QUINCY ST 27-439U-5
LUC: 337
FIRST QUINCY STREET LLC
40 APACHE WAY
WILMINGTON, MA 01887

WARD ST 27-439U-6C
LUC: 900
UNITED STATES POSTAL SERVICE
P O BOX 27497
GREENSBORO, NC 27498-1103

WARD ST 27-439U-6D
LUC: 130
NORTHGATE APARTMENTS LLC
150 PRESIDENTIAL WAY
SUITE 220
WOBURN, MA 01801

20 LECHMERE ST 27-439U-6E
LUC: 316
LECHMERE ST LIMITED PARTNERSHI
A MASS LTD PARTNERSHIP
203A SQUIRE RD
REVERE, MA 02151

211 LANTERN RD 27-439V-1A
LUC: 112
NORTHGATE APARTMENTS LLC
150 PRESIDENTIAL WAY
SUITE 220
WOBURN, MA 01801

185 SQUIRE RD 27-439V-2
LUC: 340
324 PRINCETON LLC
153 COURT RD
WINTHROP, MA 02152

195 SQUIRE RD 27-439V-3
LUC: 325
195 SQUIRE ROAD LLC
195 SQUIRE RD
REVERE, MA 02151

237 LANTERN RD 27-439V-5B
LUC: 112
NORTHGATE APARTMENTS LLC
150 PRESIDENTIAL WAY
SUITE 220
WOBURN, MA 01801

207 SQUIRE RD 27-439W-1
LUC: 340
LUXE FREEDOM PLAZA CORPORATION
10 ABORN ST
SALEM, MA 01970

203 SQUIRE RD 27-439W-2
LUC: 340
NDP ASSOCIATES LTD PARTNERSHIP
203A SQUIRE RD
REVERE, MA 02151

216 LANTERN RD 27-439W-3
LUC: 112
NORTHGATE APARTMENTS LLC
150 PRESIDENTIAL WAY
SUITE 220
WOBURN, MA 01801

230 LANTERN RD 27-439W-4
LUC: 112
NORTHGATE APARTMENTS LLC
150 PRESIDENTIAL WAY
SUITE 220
WOBURN, MA 01801

172 LANTERN RD 28-439J1-20
LUC: 104
MAZAC JONATHAN G
172 LANTERN RD
Revere, MA 02151

220 SQUIRE RD 28-439J1-21A
LUC: 332
220 SQUIRE ROAD, LLC
220 SQUIRE RD
REVERE, MA 02151

230 SQUIRE RD 28-439J1-24
LUC: 340
VENDITTO MICHAEL
393 BEAN ROAD
PLAINFIELD, NH 03781

LANTERN RD 28-439K-21
LUC: 132
CAVICCHIO FRANK R
160 NEWMAN ST
REVERE, MA 02151

194 SQUIRE RD 28-439K-22
LUC: 332
NOUR REALTY TRUST
EL KADI DINA TRUSTEE
194 SQUIRE RD
REVERE, MA 02151

160 NEWMAN ST 28-439K-23
LUC: 101
CAVICCHIO MARJORIE R

THIS IS A TRUE & ATTESTED
COPY OF THE RECORDS OF THE
ASSESSOR'S OFFICE OF THE
CITY OF REVERE

DATE: 1-25-24

That the City Council order to a public hearing the following proposed amendment to the Revised Ordinances of the City of Revere:

AN ORDINANCE PROVIDING FOR INTERPRETATION SERVICES FOR PUBLIC MEETINGS AND PUBLIC DOCUMENTS

Be it ordained by the City of Revere as follows:

Section 1. Section 2.03.050 of the Revised Ordinances of the City of Revere is hereby amended by inserting the following new sub-section:

F. Interpretation Services for Public Meetings

- i. The purpose of this section is to ensure inclusivity and accessibility by providing language interpretation services for meetings of public bodies. Said interpretation must meet the following requirements:
 - a. Public meetings shall be interpreted from English to at least one language other than English.
 - b. The language other than English shall be determined by the data from the latest Federal Census and serve the next most spoken language other than English in the city first.
 - c. The interpretation shall be triggered if at least 10% of the city's population speaks the said language.
- ii. All city departments shall provide interpreted documents such as a public notifications or pamphlets in at least one language other than English.
 - a. All public notifications shall be interpreted from English to at least one language other than English.
 - b. The language other than English shall be determined by the data from the latest Federal Census and serve the next most spoken language other than English in the city first.
 - c. The interpretation shall be triggered if at least 10% of the city's population speaks the said language.
- iii. The City shall arrange for professional interpretation services to be available at all public meetings. Translation services shall include, not limited to, simultaneous interpretation during the meeting.
- iv. The City shall develop and implement a plan outlining procedures for interpretation services. The plan shall be made publicly available on the City's official website.
- v. The City shall engage qualified and certified interpreters for said language interpretation services. Interpreters should possess linguistic and cultural proficiency and familiarity with local government terminology.
- vi. The City shall provide notice to the public about the availability of interpretation services at public meetings through various channels, including the official website, public announcements, and printed materials. Notice shall include information on how to request specific language assistance.

- vii. Funding for interpretation services shall be allocated in the City's annual budget, and necessary resources shall be provided to ensure the effective implementation of this ordinance.
- viii. This ordinance shall take effect on July 1, 2024.

**Public Hearing Notice
City of Revere, MA**

Notice is hereby given that in accordance with the provisions of Title 12, Chapter 12.04, Section 12.04.050 of Revised Ordinances of the City of Revere, that the Revere City Council will conduct a public hearing on Monday evening, February 26, 2024 at 6:00PM in the City Councillor Joseph A. DelGrosso City Council Chamber, Revere City Hall, 281 Broadway, Revere, MA 02151 on the application of Kevin Roseberg, Expose Signs & Graphics, 3 Landing Lane, Hopedale, MA 01747 requesting permission to install awning at 250 Broadway, Revere, MA 02151.

A copy of the aforementioned application is on file and available for public inspection in the Office of the City Clerk, Revere City Hall, Revere, Massachusetts 02151, Monday through Thursday 8:00AM-5:00PM and Friday 8:00AM-12:00PM.

Attest:

Ashley E. Melnik
City Clerk

Attachment: Awning250Broadway (24-083 : Awning Permit - 250 Broadway)

EXPOSE
SIGNS & GRAPHICS, INC.
EXPOSÉ SIGNS & GRAPHICS, INC.
3 Landing Lane • Hopedale, MA 01747
Ph 508.381.0941 Ext. 105
www.exposesigns.net

**City of Revere
Office of the City Clerk
281 Broadway
Revere, MA 02151**

RE: Application for Awning 250 Broadway

Good Morning

Attached please find an application, along with the artwork, and a check for the fees associated with our request for review by the Revere City Council of our request to fabricate and install an overhead blade style canopy above the front entrance door of 250 Broadway.

Should you have any questions, or require additional information, please do not hesitate to reach out at your earliest convenience.

Respectfully

Kevin Rosenberg
Office Manager
Expose Signs & Graphics Inc.
accounting@exposesigns.net

FILED
2024 JAN 23 AM 8:20
OFFICE OF THE CLERK
CITY OF REVERE

Attachment: Awning250Broadway (24-083 : Awning Permit - 250 Broadway)



Commonwealth of Massachusetts
City of Revere
Office of the City Clerk
Application for Overhanging Sign or Awning Permit

For Office Use Only	
No:	_____
Amount Paid:	<u>\$25.00</u>
Date:	_____

BUSINESS NAME: BROADWAY 250

ADDRESS OF SIGN LOCATION: 250 BROADWAY STREET REVERE

OWNER'S NAME: BROADWAY TOWER LP

OWNER'S ADDRESS: 250 BROADWAY REVERE MA 02151

CONTRACTOR: EXPOSE SIGNS + GRAPHICS INC PHONE NO.: 508-381-0941

SIGN SPECIFICATIONS

- Describe Material: 48" H X 126" W X 16.5" D W/ 1" X 1" ALUMINUM FRAME
BLADE STYLE SUNBREZZA FABRIC AWNING
- Length of Projection: 16.5" FROM WALL
- Height Above Sidewalk: 10.33' ABOVE SIDEWALK

INSURANCE BOND ON FILE: YES NO WISDOM SURTM BOND # 66913570

PLAN ON FILE: YES NO APP # B23-00187A

FOR OFFICE USE ONLY

Signature of City Council President: _____ Date of Approval: _____

Signature of City Clerk: _____ Permit Issued: _____

(SEAL)

Attachment: Awning 250 Broadway (24-083 : Awning Permit - 250 Broadway)

12.04.250 - Overhanging structures—Permit.

No person shall place or maintain any awning, marquee, shade or frame for the same, or any sign or signboard so as to project into or overhang any street or sidewalk without written permission from the city council, which may be revoked at any time, nor unless the same is so located and constructed as not to interfere with travelers, and so that the lowest part of such fixed awning, marquee, shade or frame shall in no case be less than nine feet above the sidewalk, and the lowest part of any fixed sign or signboard not less than nine feet above the sidewalk.

(Prior revision § 17-11(a))

12.04.260 - Overhanging structures—Bond.*

No permit, required by Section 12.04.250, shall be granted or issued unless and until the applicant has filed a bond or public liability insurance policy in the sum of not less than ten thousand dollars, conditioned to hold the city harmless from all damages occasioned by the existence of any such signs, awnings, marquees or signboards.

(Ord. 81-293(b) § 10; prior revision § 17-12)

* For the law of the Commonwealth relative to permits for overhanging signs and permits, see G.L. Ch. 85, §§ 8 and 9.

12.04.270 - Awning specifications.

Movable awnings of combustible materials supported throughout on metal frames, may extend over the sidewalk portion of a public street to within one foot of curbs or sidewalks that are ten feet and under in width. In sidewalks over ten feet in width, the awning may project eighty percent of the width of the sidewalk; provided, that every such awning shall be not less than seven feet six inches above the sidewalk, immediately below. Any fringe attached to such awning shall not be less than seven feet from the sidewalk level immediately below.

(Prior revision § 17-11(b))

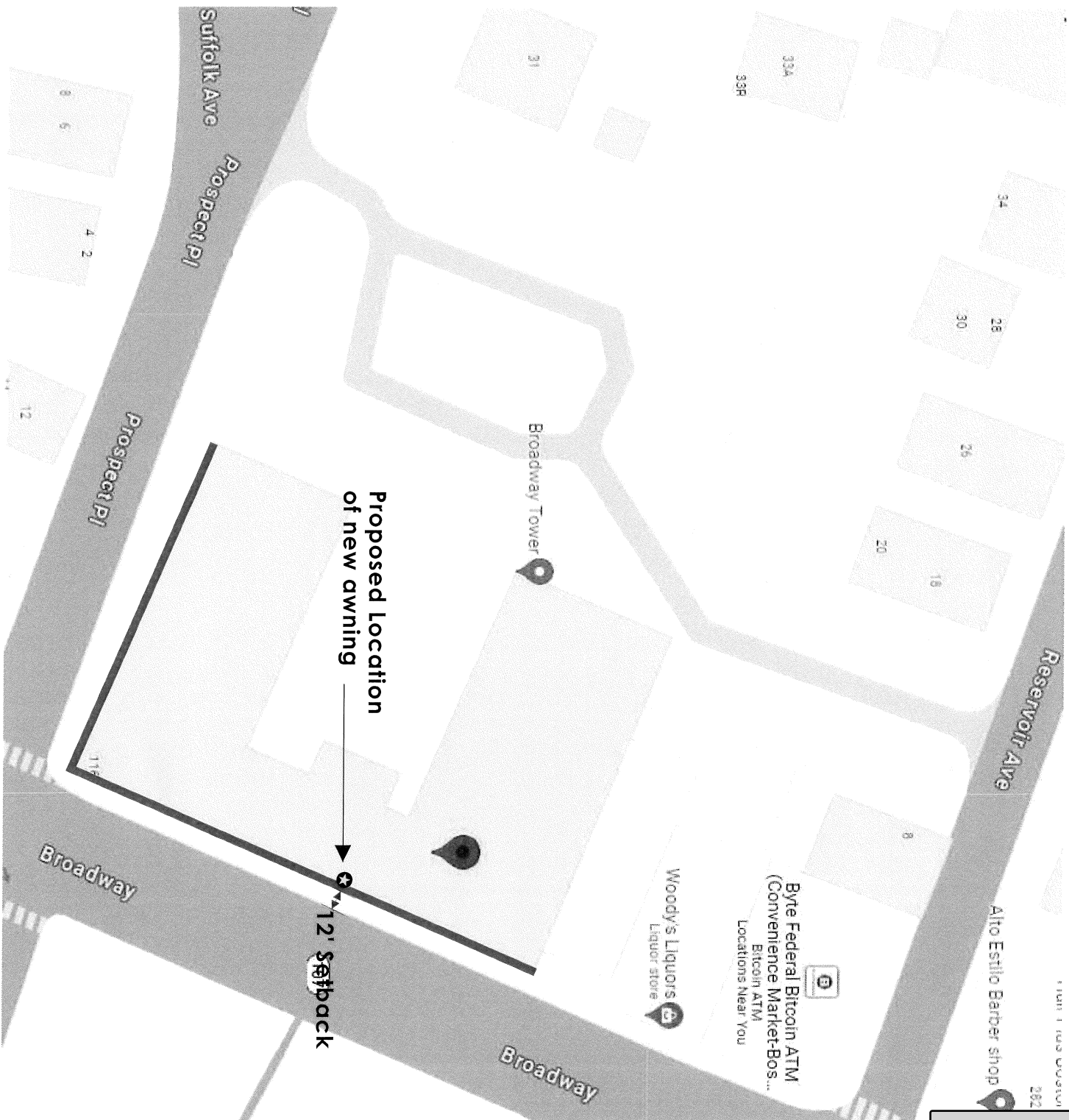
Broadway 250 PO# 20714

Key:

- └ Frontage = 339' Total
- └ 194' Broadway
- └ 144' Prospect

SETBACK: 12' (96")

Building Elevation/Height: 6 stories; 60'



Attachment: Awning250Broadway (24-083 : Awning Permit - 250 Broadway)

PROJECT NO: 17

DATE: 11/10/17

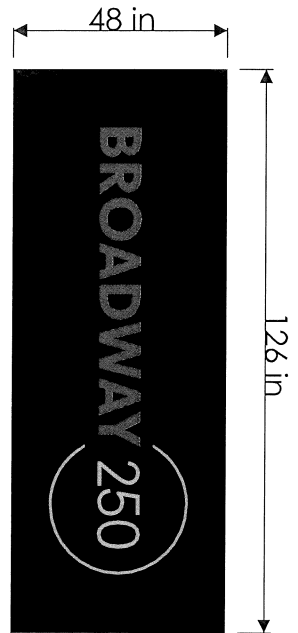
PROJECT: 250 Broadway

PERMIT DATE: 01/10/18

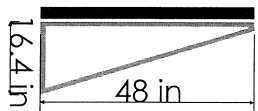
PERMIT NO: 17

Attachment: Awning Permit - 250 Broadway

We will not be held responsible for errors in sizing, color, logos, spelling or any missing information or instructions pertaining to your order once approved. Signs will be made as shown. *** PLEASE review these layouts carefully before signing. ***

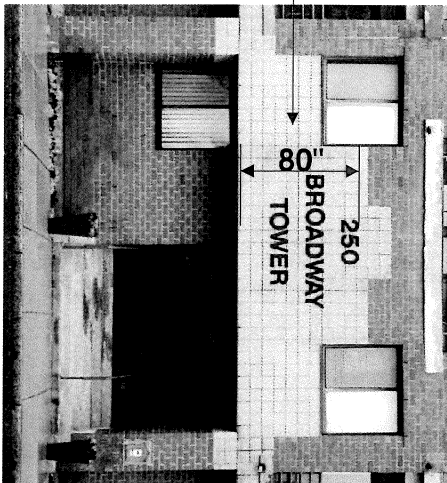


QTY (1)

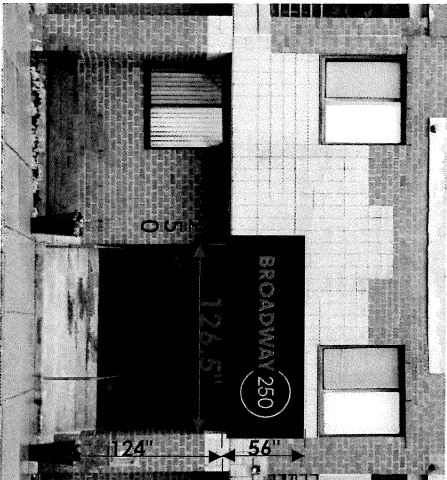


BLADE STYLE AWNING
SIDE VIEW

Existing (Not to scale):



Proposed (Not to scale):



Setback: 12'
Bldg. to Street
(Outside sidewalk)

To fill holes
after removing
existing lettering:
Colored Silicone
Caulking with
concrete dust

LAYOUT BY: *Clarity*

PERMIT ILLUMINATED
(ELECTRICAL DONE BY OTHERS)

EXPOSE
SIGNS & GRAPHICS, INC
3 Landing Lane • Hopedale, MA 01747
phone: 508.381.0941 fax: 508.381.3784
www.exposesigns.net

Winn Residential - Broadway 250
Attn: Michelle Tomassetti
mtomassetti@winnco.com

Install: 250 Broadway Street
Revere, MA 02151

DESCRIPTION: (1) 48"H x 126"W x 16.5"D
with 1" x 1" aluminum frame blade style
awning, black Sunbrella fabric with logo
color graphics; mounting hardware

Install Note: Remove existing and
replace with new. Mounted above front
entrance stairs

Specified Colors:
 Black Sunbrella Fabric
 PMS 5483C PMS 5445C

PLEASE RETURN APPROVAL(S)
FOR THIS ORDER TO:
"LAYOUT@EXPOSESIGNS.NET"

APPROVAL
SIGNATURE & DATE REQUIRED FOR PRODUCTION

SIGNATURE _____
DATE _____

JDDT 2014

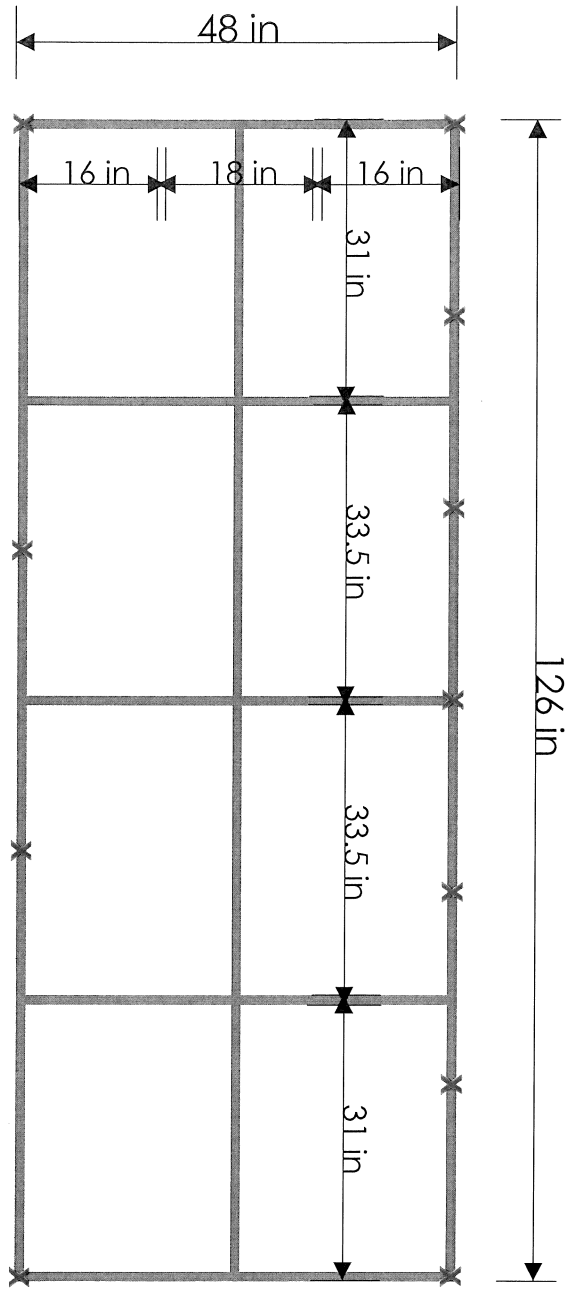
LIST

FRAMING

PROJ DATE: 01/11/24

DUE DATE:

Attachment: Awning Permit - 250 Broadway



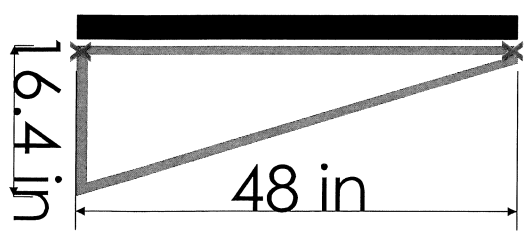
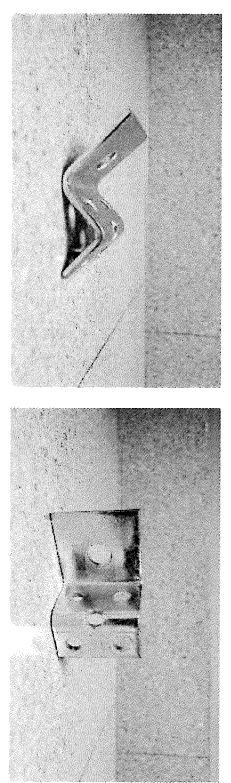
BACK SKELETON - 1" TUBE

X = Mounting points

1 ea. corner plus every 18" top & 2 centered on bottom

'Z' Bracket Clips (Mounting)

1/4" x 2" Hilti Masonry Hardware



BLADE STYLE AWNING
SIDE VIEW

LAYOUT BY: *Christy*

PERMIT ILLUMINATED
(ELECTRICAL DONE BY OTHERS)

EXPOSE!
SIGNS & GRAPHICS, INC
 3 Landing Lane • Hopedale, MA 01747
 phone: 508.381.0941 fax: 508.381.3784
 www.exposesigns.net



Effective Date: January 10th, 2024

Western Surety Company

LICENSE AND PERMIT BOND

KNOW ALL PERSONS BY THESE PRESENTS:

Bond No. 66913570

That we, Expose' Signs & Graphics, Inc

of Hopedale, State of Massachusetts, as Principal, and WESTERN SURETY COMPANY, a corporation duly licensed to do surety business in the State of Massachusetts, as Surety, are held and firmly bound unto the

City of Revere, State of Massachusetts, as Obligee, in the penal

sum of Ten Thousand and 00/100 DOLLARS (\$10,000.00), lawful money of the United States, to be paid to the Obligee, for which payment well and truly to be made, we bind ourselves and our legal representatives, firmly by these presents.

THE CONDITION OF THE ABOVE OBLIGATION IS SUCH, That whereas, the Principal has been licensed Sign Installer

by the Obligee.

NOW THEREFORE, if the Principal shall faithfully perform the duties and in all things comply with the laws and ordinances, including all amendments thereto, pertaining to the license or permit applied for, then this obligation to be void, otherwise to remain in full force and effect until January 10th, 2025, unless renewed by Continuation Certificate.

This bond may be terminated at any time by the Surety upon sending notice in writing, by First Class U.S. Mail, to the Obligee and to the Principal at the address last known to the Surety, and at the expiration of thirty-five (35) days from the mailing of said notice, this bond shall ipso facto terminate and the Surety shall thereupon be relieved from any liability for any acts or omissions of the Principal subsequent to said date. Regardless of the number of years this bond shall continue in force, the number of claims made against this bond, and the number of premiums which shall be payable or paid, the Surety's total limit of liability shall not be cumulative from year to year or period to period, and in no event shall the Surety's total liability for all claims exceed the amount set forth above. Any revision of the bond amount shall not be cumulative.

Dated this 10th day of January, 2024.

Expose' Signs & Graphics, Inc

Principal

Principal

WESTERN SURETY COMPANY

By

Larry Kasten, Vice President

Attachment: Awning250Broadway (24-083 : Awning Permit - 250 Broadway)

ACKNOWLEDGMENT OF SURETY
(Corporate Officer)

STATE OF SOUTH DAKOTA }
COUNTY OF MINNEHAHA } ss

On this 10th day of January, 2024, before me, the undersigned officer, personally appeared Larry Kasten, who acknowledged himself to be the aforesaid officer of WESTERN SURETY COMPANY, a corporation, and that he as such officer, being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the corporation by himself as such officer.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.



S. Green
Notary Public — South Dakota

My Commission Expires: February 12, 2027

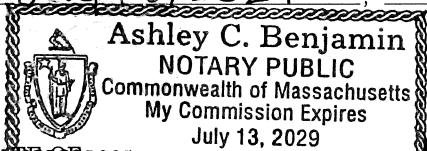
ACKNOWLEDGMENT OF PRINCIPAL
(Individual or Partners)

STATE OF Massachusetts }
COUNTY OF Norchester } ss

On this 12 day of January, 2024, before me personally appeared Andrew Clark, known to me to be the individual described in and who executed the foregoing instrument and acknowledged to me that he executed the same.

My commission expires

July 13, 2029



Ashley C Benjamin
Notary Public

ACKNOWLEDGMENT OF PRINCIPAL
(Corporate Officer)

STATE OF _____ }
COUNTY OF _____ } ss

On this _____ day of _____, _____, before me personally appeared _____, who acknowledged himself/herself to be the _____ of _____, a corporation, and that he/she as such officer being authorized so to do, executed the foregoing instrument for the purposes therein contained by signing the name of the corporation by himself/herself as such officer.

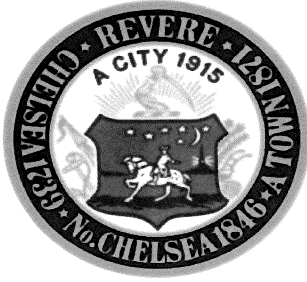
My commission expires _____

Notary Public



License or Permit No. _____
L I C E N S E A N D P E R M I T
B O N D
As _____
of _____
State of _____
Name of Applicant _____
Address _____
Filed _____,
Approved this _____
day of _____,

Attachment: Awning250Broadway (24-083 : Awning Permit - 250 Broadway)



City of Revere
Chief Financial Officer/City Auditor
 281 Broadway
 Revere, MA 02151
 Tel: (781) 286-8131

Richard Viscay
Chief Financial Officer/City Auditor

February 7, 2024

The Honorable Revere City Council
 c/o Clerk's Office
 Revere City Hall
 Revere, Massachusetts 02151

Re: *Oak Island / MBTA Railroad Crossing Construction Project*
CWSRF No. 18903

Dear Council Members:

I am writing to request a public hearing for an emergency Loan Order for borrowing under the Massachusetts Department of Environmental Protection's (MassDEP's) Clean Water State Revolving Fund ("CWSRF"). The CWSRF was established to provide a low-cost funding mechanism to assist municipalities in complying with federal and state water quality requirements. The City is seeking to borrow funding for the following project:

CWSRF Construction Project No. 18903 - \$3,000,000 for the Oak Island / MBTA Railroad Crossing Construction Project

In order to take advantage of this emergency funding, the City must complete two steps: first – approve a Resolution expressly authorizing the Mayor to file all applications and execute documents necessary for the loans; and second – approve Loan Orders for the balance of each project. I have attached copies of the required Resolutions and Loan Orders. The work proposed with this fund, as well as similar work necessary in future years, will be required commitments of the City's Consent Decree with the U.S. Dept. of Justice, to remedy historic violations of the Federal Clean Water Act, as well as continuous improvements to the City's drinking water system.

Specifically, the project proposed is located in the existing roadway on Bridge Street/Oak Island Road across the MBTA tracks. The work will include the removal and replacement of the existing 6-inch cast iron water main and the 8-inch clay sewer line located directly below this MBTA crossing. The new co-located water and sewer mains (carrier pipes) will be 8-inch ductile iron pipe installed within new steel casing pipes. This arrangement of utility service carrier pipes within steel casing pipes will provide for the continued delivery of reliable water and sewer utility service to the Oak Island neighborhood via Bridge Street/Oak Island Road crossing beneath the MBTA railroad tracks.

I ask that the City Council approve the Resolutions and move this Loan Order to a public hearing at its earliest opportunity. In advance of the public hearing, I will arrange for the City's staff and our consultants, CDM Smith, to provide the City Council with an update on the status of the previous and ongoing work completed within our sewer, drinking water, and stormwater systems to meet the demands of the EPA, the U.S. Justice Dept. and the Consent Decree, and to provide safe drinking water to the City. This background should assist the Council as it deliberates on this most recent funding request.

Very truly yours,



Richard Viscay
Director of Finance, Auditor, Budget Director

C: Patrick M. Keefe Jr., Mayor
Paul Capizzi, City Solicitor
Frank Stringi, Department of Planning and Development
Don Ciarabella, Chief of Infrastructure
Nicholas Rystrom, City Engineer
Robert Button, CDM Smith

Oak Island / MBTA Railroad Crossing Construction Project - CW 18903

ORDERED: That \$3,000,000 is appropriated to pay costs of the Oak Island / MBTA Railroad Crossing Construction Project (CW 18903), including the removal and replacement of the existing water main and sewer line located directly below this MBTA crossing, including the payment of all costs incidental and related thereto and any other related costs or expenses thereof as defined in G.L. c.29C, Section 1; that to meet this appropriation the Treasurer, with the approval of the Mayor, is authorized to borrow said amount under and pursuant to G.L. c.44, Section 7(1) or Section 8(14) and/or G.L. c.29C, or pursuant to any other enabling authority, and to issue bonds or notes of the City therefor; that the Treasurer with the approval of the Mayor is authorized to borrow all or a portion of such amount from the Massachusetts Clean Water Trust (the Trust") established under G.L. c. 29C and in connection therewith to enter into a financing agreement and/or security agreement with the Trust and otherwise to contract with the Trust and the Department of Environmental Protection ("DEP") with respect to such loan and for any federal or state aid that may be available for the project or for the financing thereof; and that the Mayor is authorized to enter into any agreements with the DEP, to expend all funds available for the project, and to take any other actions necessary to carry out the project.

FURTHER ORDERED: That the Treasurer is authorized to file an application with the appropriate officials of The Commonwealth of Massachusetts (the "Commonwealth") to qualify under G.L. c. 44A of any and all bonds of the City authorized to be borrowed pursuant to this loan order, and to provide such information and execute such documents as such officials of the Commonwealth may require in connection therewith.

AUTHORITY TO FILE

Whereas, the City of Revere, Massachusetts (the "Applicant"), after thorough investigation, has determined that the work activity consisting of: construction of Oak Island / MBTA Railroad Crossing water and sewer replacement (Project No. CWSRF 18903) is both in the public interest and necessary to protect the public health, and that to undertake this activity, it is necessary to apply for assistance; and

Whereas, the Massachusetts Department of Environmental Protection (the "MassDEP") and the Massachusetts Clean Water Trust (the "Trust") of the Commonwealth of Massachusetts, pursuant to Chapter 21 and Chapter 29C of the General Laws of the Commonwealth ("Chapter 21" and "Chapter 29C") are authorized to make loans to municipalities for the purpose of funding planning and construction activities relative to Water Pollution Abatement Projects and/or drinking water project; and

Whereas, the Applicant has examined the provisions of the Act, Chapter 21 and Chapter 29C, and believes it to be in the public interest to file a loan application.

NOW, THEREFORE, BE IT RESOLVED by the Revere City Council as follows:

1. That _____ the Treasurer _____ is hereby authorized on behalf (Title of Official) of the Applicant to file applications and execute agreements for grant and/or loan assistance as well as furnishing such information, data and documents pertaining to the applicant for a grant(s) and/or loan(s) as may be required; and otherwise to act as the authorized representative of the Applicant in connection with this application;
2. That the purpose of said loan(s), if awarded, shall be to fund construction activities.
3. That if said award is made the Applicant agrees to pay those costs which constitute the required Applicant's share of the project cost.

PUBLIC HEARING

Notice is hereby given, that the Revere City Council will conduct a public hearing on Monday evening, February 26, 2024 at 6:00 PM in the City Councillor Joseph A. DeGrosso City Council Chambers, Revere City Hall, 281 Broadway, Revere, MA 02151 on a petition submitted by National Grid and Verizon to install a jointly owned pole Washburn Avenue in accordance with Plan #29154577.

A copy of the aforementioned proposed plan and petition is on file and available for public inspection in the Office of the City Clerk, Revere City Hall, Revere, Massachusetts, Monday through Thursday from 8:00 A.M. to 5:00 P.M.

Attest:

Ashley E. Melnik
City Clerk

nationalgrid

January 12, 2024

City of Revere

To Whom It May Concern:

Enclosed please find a petition of NATIONAL GRID and VERIZON, covering joint NATIONAL GRID-VERIZON pole location(s)

If you have any questions regarding this permit please contact:

Please notify National Grid's Vincent LoGuidice of the hearing date / time at 978-725-1392 or Vincent.LoGuidice@NationalGrid.com

If this petition meets with your approval, please return an executed copy to each of the above named Companies.

National Grid Contact: Vincent LoGuidice; 1101 Tumpike Street; North Andover, MA 01845

Very truly yours,

Bob Coulter
Name: Distribution Design Supervisor
Supervisor, Distribution Design

Enclosures

Attachment: NationalGridVerizonWashburn02262024 (24-084 : National Grid / Verizon - Washburn Avenue)

Questions contact -- Dan Combs 508-935-1667

PETITION FOR JOINT OR IDENTICAL POLE LOCATIONS

North Andover, Massachusetts

To the City Council
Of Revere, Massachusetts

Massachusetts Electric Company d/b/a National Grid and Verizon New England, Inc requests permission to locate poles, wires, and fixtures, including the necessary sustaining and protecting fixtures, along and across the following public way:

Washburn Ave - National Grid to install 1 JO Pole on Washburn Ave beginning at a point approximately 80 feet north of the centerline of the intersection of Washburn Ave and Winthrop St. Install 1 JO Pole 1583 on the east side of Washburn Ave, ~45 feet north of P3623.

Location approximately as shown on plan attached.

Wherefore it prays that after due notice and hearing as provided by law, it be granted a location for and permission to erect and maintain poles and wires, together with such sustaining and protecting fixtures as it may find necessary, said poles to be erected substantially in accordance with the plan filed herewith marked - Washburn Ave - Revere - Massachusetts.

No.# 29154577 January 12, 2024

Also for permission to lay and maintain underground laterals, cables, and wires in the above or intersecting public ways for the purpose of making connections with such poles and buildings as each of said petitioners may desire for distributing purposes.

Your petitioner agrees to reserve space for one cross-arm at a suitable point on each of said poles for the fire, police, telephone, and telegraph signal wires belonging to the municipality and used by it exclusively for municipal purposes.

Massachusetts Electric Company d/b/a
NATIONAL GRID *Bob Coulter*

BY _____
Engineering Department

VERIZON NEW ENGLAND, INC.

BY _____
Manager / Right of Way

Attachment: NationalGrid/VerizonWashburn022262024 (24-084 : National Grid / Verizon - Washburn Avenue)

ORDER FOR JOINT OR IDENTICAL POLE LOCATIONS

To the City Council - Revere, Massachusetts

Notice having been given and public hearing held, as provided by law,
IT IS HEREBY ORDERED:

that Massachusetts Electric Company d/b/a National Grid and VERIZON NEW ENGLAND INC. (formerly known as NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY) be and they are hereby granted joint or identical locations for and permission to erect and maintain poles and wires to be placed thereon, together with such sustaining and protecting fixtures as said Companies may deem necessary, in the public way or ways hereinafter referred to, as requested in petition of said Companies dated the 12th day of January, 2024.

All construction under this order shall be in accordance with the following conditions:
Poles shall be of sound timber, and reasonable straight, and shall be set substantially at the points indicated upon the plan marked Washburn Ave - Revere Massachusetts.

January 12, 2024. Filed with this order. WR # 29154577.

There may be attached to said poles by Massachusetts Electric Company d/b/a National Grid and Verizon New England Inc. such wires, cables, and fixtures as needed in their business and all of said wires and cables shall be placed at a height of not less than twenty (20) feet from the ground.

The following are the public ways or part of ways along which the poles above referred to may be erected, and the number of poles which may be erected thereon under this order:

Washburn Ave - National Grid to install 1 JO Pole on Washburn Ave beginning at a point approximately 80 feet north of the centerline of the intersection of Washburn Ave and Winthrop St. Install 1 JO Pole 1583 on the east side of Washburn Ave, ~45 feet north of P3623.

Also for permission to lay and maintain underground laterals, cables, and wires in the above or intersecting public ways for the purpose of making connections with such poles and buildings as each of said petitioners may desire for distributing purposes.

I hereby certify that the foregoing order was adopted at a meeting of the
of the City/Town of _____, Massachusetts held on the _____ day of _____ 20 .

Massachusetts
City/Town Clerk.
20

Received and entered in the records of location orders of the City/Town of
Book _____ Page _____

Attachment: NationalGrid/VerizonWashburn022262024 (24-084 : National Grid / Verizon - Washburn Avenue)

Attest:
City/Town Clerk

I hereby certify that on _____ 20____, at _____ o'clock, M
at _____ a public hearing was held on the petition of
Massachusetts Electric Company d/b/a National Grid and VERIZON NEW ENGLAND, INC.

for permission to erect the poles, wires, and fixtures described in the order herewith recorded, and
that we mailed at least seven days before said hearing a written notice of the time and place of said
hearing to each of the owners of real estate (as determined by the last preceding assessment for
taxation) along the ways or parts of ways upon which the Company is permitted to erect
poles, wires, and fixtures under said order. And that thereupon said order was duly adopted.

City/Town Clerk.

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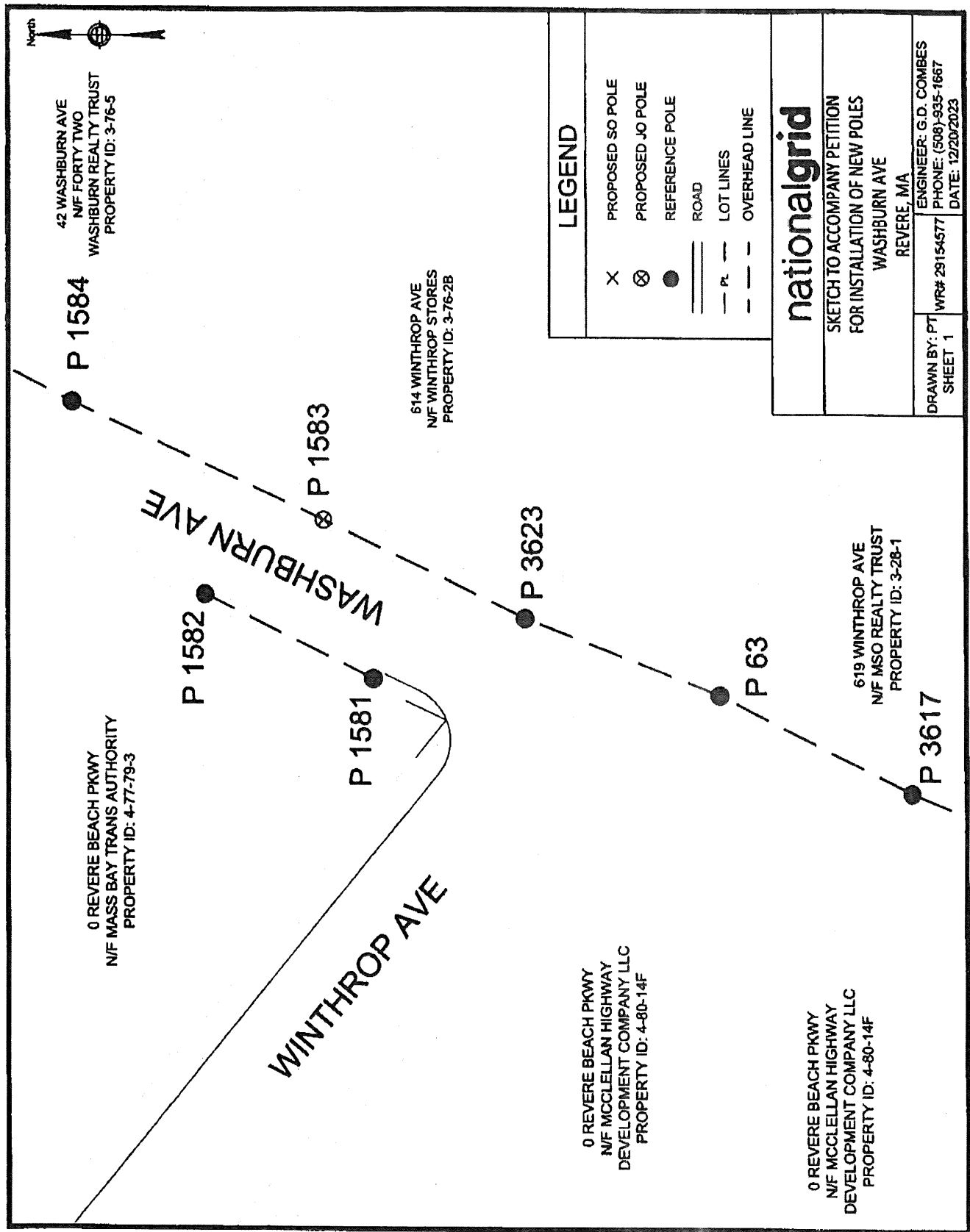
Board or Council of Town or City, Massachusetts

CERTIFICATE

I hereby certify that the foregoing is a true copy of the location order and certificate of
hearing with notice adopted by the _____ of the City of
Massachusetts, on the _____ day of _____ 20____, and recorded with the
records of location orders of the said City, Book _____, Page _____. This certified copy
is made under the provisions of Chapter 166 of General Laws and any additions thereto or
amendments thereof.

Attest:
City/Town Clerk

Attachment: NationalGridVerizonWashburn02262024 (24-084 : National Grid / Verizon - Washburn Avenue)



Attachment: NationalGridVerizonWashburn02262024 (24-084 : National Grid / Verizon - Washburn Avenue)

No.	Address	Owner's Info	Property ID
1	614 Winthrop Avenue	N/F Winthrop Stores P.O. Box 193 Revere, MA 02151	3-76-2B
2	42 Washburn Avenue	N/F Forty Two Washburn Realty Trust P.O. Box 193 Revere, MA 02151	3-76-5
3	0 Revere Beach Parkway	Mass Bay Trans Authority 10 Park Place Boston, MA 02116	4-77-79-3
4	619 Winthrop Avenue	N/F McClellan Highway 1 Congress St Boston, MA 02114 Development Company LLC	3-28-1
5	0 Revere Beach Parkway	N/F McClellan Highway 1 Congress St Boston, MA 02114 Development Company LLC	4-80-14F

PUBLIC HEARING

Notice is hereby given, that the Revere City Council will conduct a public hearing on Monday evening, February 26, 2024 at 6:00 PM in the City Councillor Joseph A. DelGrosso City Council Chambers, Revere City Hall, 281 Broadway, Revere, MA 02151 on a petition submitted by National Grid to install three poles on Washburn Avenue for future MBTA station supply primary risers in accordance with Plan #29154577.

A copy of the aforementioned proposed plan and petition is on file and available for public inspection in the Office of the City Clerk, Revere City Hall, Revere, Massachusetts, Monday through Thursday from 8:00 A.M. to 5:00 P.M.

Attest:

Ashley E. Melnik
City Clerk

nationalgrid

January 12, 2024

City of Revere

To Whom It May Concern:

Enclosed please find a petition of NATIONAL GRID, covering NATIONAL GRID pole location(s)

If you have any questions regarding this permit please contact:

Please notify National Grid's Vincent LoGuidice of the hearing date / time at 978-725-1392 or Vincent.LoGuidice@NationalGrid.com

If this petition meets with your approval, please return an executed copy to:

National Grid Contact: Vincent LoGuidice; 1101 Turnpike Street; North Andover, MA 01845

Very truly yours,

Name: Distribution Design Supervisor
Supervisor, Distribution Design

Enclosures

Attachment: NationalGridWashburnMBTARisers02262024 (24-085 : National Grid - Washburn Avenue, MBTA Risers)

Questions contact - Dan Combes 508-935-1667

PETITION FOR POLE AND WIRE LOCATIONS

North Andover, Massachusetts

To the City Council
Of Revere, Massachusetts

Massachusetts Electric Company d/b/a National Grid requests permission to locate poles, wires, and fixtures, including the necessary sustaining and protecting fixtures, along and across the following public way:

Washburn Ave - National Grid to install 3 SO Poles on Washburn Ave beginning at a point approximately 80 ft north of the centerline of the intersection of Washburn Ave and Winthrop St. Install 3 SO Poles: P1582 and P1581 on the west side of Washburn Ave (for future MBTA station supply primary risers) P3617, approximately 105' south of the centerline of Washburn Ave/Winthrop St intersection (for future National Grid primary riser).

Location approximately as shown on plan attached.

Wherefore it prays that after due notice and hearing as provided by law, it be granted a location for and permission to erect and maintain poles and wires, together with such sustaining and protecting fixtures as it may find necessary, said poles to be erected substantially in accordance with the plan filed herewith marked - Washburn Ave - Revere - Massachusetts.

Plan # 29154577 January 12, 2024

Also for permission to lay and maintain underground laterals, cables, and wires in the above or intersecting public ways for the purpose of making connections with such poles and buildings as each of said petitioners may desire for distributing purposes.

Your petitioner agrees to reserve space for one cross-arm at a suitable point on each of said poles for the fire, police, telephone, and telegraph signal wires belonging to the municipality and used by it exclusively for municipal purposes.

Massachusetts Electric Company d/b/a
NATIONAL GRID *Bob Coulter*
BY _____
Engineering Department

Attachment: NationalGridWashburnMBTARisers02262024 (24-085 : National Grid - Washburn Avenue, MBTA Risers)

ORDER FOR POLE AND WIRE LOCATIONS

In the City of Revere, Massachusetts

Notice having been given and public hearing held, as provided by law,
IT IS HEREBY ORDERED:

that Massachusetts Electric Company d/b/a National Grid and be and it is hereby granted a location for and permission to erect and maintain poles and wires to be placed thereon, together with such sustaining and protecting fixtures as said Company may deem necessary, in the public way or ways hereinafter referred to, as requested in petition of said Company dated the 12th day of January, 2024.

All construction under this order shall be in accordance with the following conditions:

Poles shall be of sound timber, and reasonable straight, and shall be set substantially at the points indicated upon the plan marked Washburn Ave - Revere - Massachusetts No. 29154577 Dated: January 12, 2024. Filed with this order.

There may be attached to said poles such wires, cables, and fixtures as needed in their business and all of said wires and cables shall be placed at a height of not less than twenty (20) feet from the ground.

The following are the public ways or part of ways along which the poles above referred to may be erected, and the number of poles which may be erected thereon under this order:

Washburn Ave - National Grid to install 3 SO Poles on Washburn Ave beginning at a point approximately 80 ft north of the centerline of the intersection of Washburn Ave and Winthrop St. Install 3 SO Poles: P1582 and P1581 on the west side of Washburn Ave (for future MBTA station supply primary risers) P3617, approximately 105' south of the centerline of Washburn Ave/Winthrop St intersection (for future National Grid primary riser).

I hereby certify that the foregoing order was adopted at a meeting of the City Council of the City/Town of _____, Massachusetts held on the _____ day of _____ 20_____.

Massachusetts City/Town Clerk.
20_____

Received and entered in the records of location orders of the City/Town of _____
Book _____ Page _____

Attest:

City/Town Clerk

Attachment: NationalGridWashburnMBTARisers02262024 (24-085 : National Grid - Washburn Avenue, MBTA Risers)

I hereby certify that on _____, 20____, at _____ o'clock, M
at _____ a public hearing was held on the petition of

Massachusetts Electric Company d/b/a National Grid

for permission to erect the poles, wires, and fixtures described in the order herewith recorded, and that we mailed at least seven days before said hearing a written notice of the time and place of said hearing to each of the owners of real estate (as determined by the last preceding assessment for taxation) along the ways or parts of ways upon which the Company is permitted to erect poles, wires, and fixtures under said order. And that thereupon said order was duly adopted.

City/Town Clerk.

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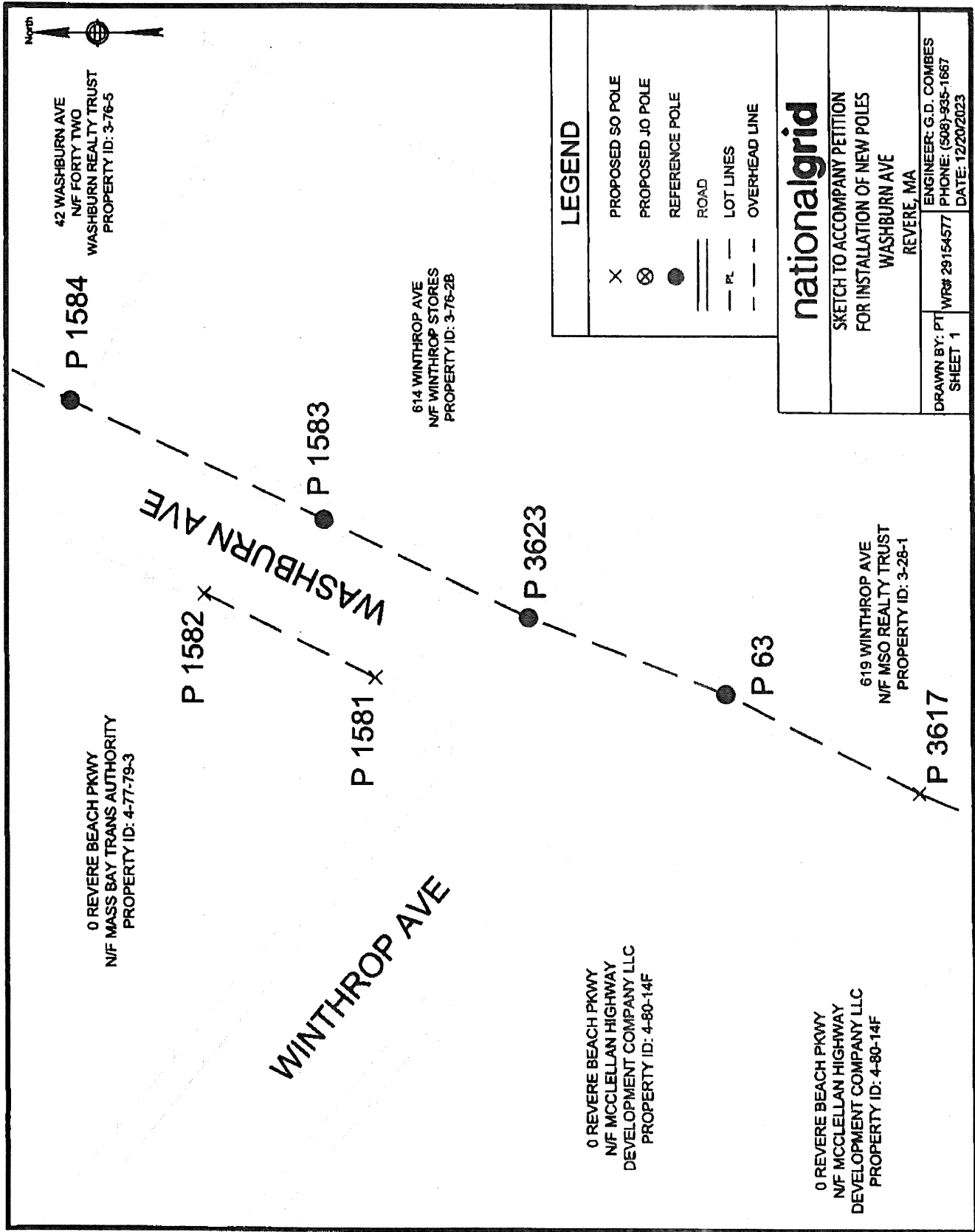
Board or Council of Town or City, Massachusetts

CERTIFICATE

I hereby certify that the foregoing is a true copy of the location order and certificate of hearing with notice adopted by the _____ of the City of _____ Massachusetts, on the _____ day of _____, 20____, and recorded with the records of location orders of the said City, Book _____, Page _____. This certified copy is made under the provisions of Chapter 166 of General Laws and any additions thereto or amendments thereof.

Attest:
City/Town Clerk

Attachment: NationalGridWashburnMBTARisers02262024 (24-085 : National Grid - Washburn Avenue, MBTA Risers)



Attachment: NationalGridWashburnMBTARisers02262024 (24-085 : National Grid - Washburn Avenue, MBTA Risers)

No.	Address	Owner's Info	Property ID
1	614 Winthrop Avenue	N/F Winthrop Stores P.O. Box 193 Revere, MA 02151	3-76-2B
2	42 Washburn Avenue	N/F Forty Two Washburn Realty Trust P.O. Box 193 Revere, MA 02151	3-76-5
3	0 Revere Beach Parkway	Mass Bay Trans Authority 10 Park Place Boston, MA 02116	4-77-79-3
4	619 Winthrop Avenue	N/F McClellan Highway 1 Congress St Boston, MA 02114 Development Company LLC	3-28-1
5	0 Revere Beach Parkway	N/F McClellan Highway 1 Congress St Boston, MA 02114 Development Company LLC	4-80-14F

C-24-01
Also see
C-23-10

PUBLIC HEARING

Notice is hereby given in accordance with the provisions of Chapter 40A of the Massachusetts General Laws and Sections 17.40.020 and 17.40.030 of the Revised Ordinances of the City of Revere that the Revere City Council will conduct a public hearing on Monday evening, January 29, 2024 at 6:00 P.M. in the City Councillor Joseph A. DelGrosso City Council Chamber, Revere City Hall, 281 Broadway, Revere, MA 02151 on the application of Zoro, LLC, 1040-1048 North Shore Road, Unit B2, Revere, MA 02151 requesting a special permit from the Revere City Council for the reconstruction, alteration, and extension of the preexisting non-conforming residential use and structure for the purpose of constructing a four-story, eleven unit residential apartment building at 1473 North Shore, Revere, MA 02151.

A copy of the aforementioned application (C-24-01) is on file and available for public inspection in the office of the City Clerk, Revere City Hall, Revere, Massachusetts, Monday through Thursday from 8:00AM to 5:00PM. Proponent/opponent testimony will be accepted in writing on or before January 24, 2024. Testimony can be submitted via email to amelnik@revere.org.

Attest:

Ashley E. Melnik
City Clerk

Revere Journal
Check attached #10003
01/10/2024
01/17/2024

Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

FORM B

APPLICATION NO. C-24-01
DATE: 1/3/24

**City of Revere, Massachusetts
Revere City Council
Application For
Special Permit**

All parts of this application and the attached documents shall be completed and submitted under the pains and penalties of perjury. Incomplete filing may be rejected.

The applicant must be prepared to present data that tends to indicate that the public convenience and welfare will be substantially served by granting the exception or permission requested. That the exception or permission requested will not tend to impair the status of the neighborhood, that the exception or permission requested will be in harmony with the general purposes and intent of the Revised Ordinances of the City of Revere.

FILED
2024 JAN 3 AM 11:29
OFFICE OF THE CLERK
CITY OF REVERE, MASSACHUSETTS

I hereby request a hearing before the Revere City Council for the following:

- A. Application for Planned Unit Development Title 17, Chapter 17.20, Section 17.20.010, 17.20.200 (Revised Ordinances of the City of Revere).
- B. Application for Special Permit (Revised Ordinances of the City of Revere), Title 17, Chapter 17.08, Section 17.08.280.
- C.** Application for Special Permit for Alteration and Extension of Nonconforming Structure (Revised Ordinances of the City of Revere, Title 17, Chapter 17.40, Section 17.40.030) and Special Permit for Alteration and Extension of Nonconforming Use (Revised Ordinances of the City of Revere, Title 17, Chapter 17.40, Section 17.40.020)

1. Applicant submitting the application is:

Name: Zoro, LLC
Address: 1040-1048 North Shore Road, Unit B2, Revere, MA 02151
Tel. #: c/o D'Ambrosio LLP (617) 720-5657

2. Applicant is: Tenant Licensee Prospective Purchaser
 Owner Other (Describe)

Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

3. The following person is hereby designated to represent the applicant in matter arising hereunder:

Name: Gerry D'Ambrosio, Esq. and Nancy O'Neil, Esq., D'Ambrosio LLP

Title: Attorneys for the Applicant

Address: 14 Proctor Avenue, Revere, MA 02151

Tel. #: (617) 720-5657

4. The land for which this application is submitted is owned by:

Name: Zoro, LLC

Address: 1040-1048 North Shore Road, Unit B2, Revere, MA 02151

Tel. #: c/o D'Ambrosio LLP (617) 720-5657

5. The land described in the application is recorded in Suffolk County Registry of Deeds.

Please see deed, recorded with the Suffolk Registry of Deeds, Registered Land Division as Document No. 00947126 on Certificate No. 139809, attached hereto as **Exhibit A**.

6. Plans describing and defining the Exception to Use Regulations in Certain Districts, the Special Permit or Special permit For Alteration and Extension of Nonconforming Uses are included herewith and made a part hereof and are title and dated:

Please see the Plans attached hereto as **Exhibit B**.

Assessor's Office information: 1473 North Shore Road, Revere, Massachusetts

Parcel Identification number: 8-152-5

7. A map describing the land uses of adjacent and nearby properties in included and made part of this application.

Please see the City of Revere, Zoning Summary Map, available at www.gis.revere.org. An enlargement is attached hereto as **Exhibit C**.

8. A Locus map (8½" x 11") copy of City of Revere or USGS topographic sheet with site marked for which permit is requested is included and made part of this application.

Please see USGS topographic and City of Revere GIS maps attached hereto as **Exhibit D**.

9A. Is the site of this application subject to the Wetland Protection Act (M.G.L., Chapter 131, Sec. 40A or Chapter 130, Sec. 105)?

yes

no

do not know

Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

9B. Is the location of the site of this application within 100 feet of:

_____ a costal beach; _____ salt marsh; _____ land under the ocean;

_____ do not know; X no.

10. Describe the property for which this application is being submitted (including dimensions of land, existing buildings, if any, availability of utilities, sewer, water, etc.):

The premises known as 1473 North Shore Road, Revere, Suffolk County, Massachusetts, further bound and described as follows:

Easterly:	by the westerly line of North Shore Road, thirty-two (32) feet;
Southeasterly:	by the northwesterly line forming the junction of said North Shore Road and Kimball Avenue, eighteen and 51/100 (18.51) feet;
Southwesterly:	by the northeasterly line of said Kimball Avenue, fifty-four and 15/100 (54.15) feet;
Northwesterly:	by land now or formerly of Ahlquist Realty Trust, forty-three and 46/100 (43.46) feet; and,
Northeasterly:	by land now or formerly of Paul J. Buckley, fifty-four and 87/100 (54.87) feet.

All of said boundaries are determined by the Massachusetts Land Court to be located as shown on a plan drawn by Thomas W. Dakin, Surveyor, dated December 16, 1967, as modified and approved by said Court, filed in the Land Registration Office as Plan 35459A, a copy of a portion of which is filed with Suffolk Country Registry of Deeds Certificate of Title No. 80289.

See Plans attached as Exhibit B and Photographs attached as Exhibit E.

11. What is the nature of the exception or special permit requested in this application?

The Applicant seeks to reconstruct, alter, and extend a nonconforming residential use and preexisting nonconforming residential structure, which is allowable only by (1) special permit of the City Council of the City of Revere for the reconstruction, alteration, and extension and (2) variances of the City of Revere Zoning Board of Appeals for additional zoning nonconformities. *See*, Site Plan Review Committee's Denial Letter attached hereto as Exhibit F. Variances were received from the City of Revere Zoning Board of Appeals on November 29, 2023. *See*, Decision of the City of Revere Zoning Board of Appeals for 1473 North Shore Road, Revere, Massachusetts, attached hereto as Exhibit G.


This proposal entails the construction of a contemporary, four-story, residential apartment building with eleven apartment units (the "Project") on the 1473 North Shore Road property (the "Property"). The Special Permit will allow the Applicant to construct the apartments and increase

the available housing in Revere. The current dilapidated structure, consisting of a preexisting, nonconforming single-family residence, will be taken down and the Applicant will construct new residential options to better and more efficiently serve the Revere community during the current housing crisis.

The City Council of the City of Revere should award this special permit because the Applicant's proposal is not substantially more detrimental to the neighborhood than the pre-existing nonconforming structure and, in fact, will benefit the neighborhood by offering additional transit-oriented housing in this vibrant, walkable area. As the Property is located within approximately five hundred (500) feet from the Revere Beach MBTA Station, requiring an approximately two-minute walk to access train service, the Project would be adequately served by public transportation facilities and no parking or traffic impacts are anticipated. The Applicant's reconstruction and extension of the nonconforming use and structure is in harmony with the general purposes and intent of the Revised Ordinances of the City of Revere.

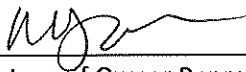
Date of denial by Site Plan Review Committee: January 2, 2024. See Denial Letter attached hereto as Exhibit F.

I hereby certify under the pains and penalties of perjury that the foregoing information contained in this application is true and complete.



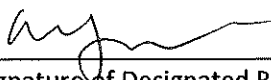
Signature of Applicant

1/2/2024
Date



Signature of Owner Representative

1/2/2024
Date



Signature of Designated Representative

1/2/2024
Date

Received from above applicant, the sum of \$ _____ to apply against administrative and mailing costs.

Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

**General Disclosure of Constituent Information
Relative to Applications Submitted to the Revere City Council
For Authorizations, Permits, Special Permits, Licenses, Variances, Orders of Conditions, Approvals,
Modifications and Amendments Which are Subject of Proceedings Before the Revere City Council**

1. Name and residential address of party submitting application:

Name: Zoro, LLC

Address: c/o D'Ambrosio LLP, 14 Proctor Avenue, Revere, MA 02151

2. Name and residential address of each land-owner on whose property subject matter will be exercised:
(Attach additional pages, if necessary.)

Name: Zoro, LLC

Address: c/o D'Ambrosio LLP, 14 Proctor Avenue, Revere, MA 02151

3. If the property is a partnership, state the name and residential address of all partners within sixty (60) days of this application:

Partner's Name: N/A

Address: N/A

4. Name and residential address of each party to whom subject authorization will be issued:

Name: Zoro, LLC

Address: 1040-1048 North Shore Road, Unit B2, Revere, MA 02151

5. If the party is a trust, provide the name and residential address of each trustee and beneficiary within sixty (60) days of this application:

Trustee's Name: N/A

Address: N/A

Page 2
General Disclosure Form

6. If the party is a joint venture, state the name and residential address of each person, form of company that is party to the joint venture within sixty (60) days of the filing of this application.

Joint Venture Name: N/A

Address: N/A

A copy of the Joint Venture agreement is on file at N/A and will be delivered upon request.

7. If the party is a corporation, provide the name and the residential address of each officer, director and shareholder owning more than 50% of the interest in the Corporation within sixty (60) days of the date of this application:

To the extent applicable, the Applicant identifies the following Directors of the Corporation:

Director: N/A

Director: N/A

8. If the party is a General Partnership, provide the name and residential address of each partner in the partnership within sixty (60) days of the date of this application.

General Partner's Name: N/A

Address: N/A

9. If the party is a Limited Partnership, provide the name and residential address of each General Partner of the Limited Partnership within sixty (60) days from the date of this application.

General Partner's Name
of Limited Partnership: N/A

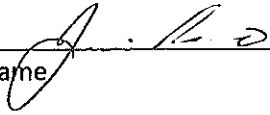
Address: N/A

10. If the business is conducted under any title other than the real name of the owner, state the time when, and place where, the certificate required by Mass. General Law, Chapter 110, Section 5, is on file:

N/A

[Signatures on following page]

The foregoing information if provided under the Pains and Penalty of Perjury.
Signature of each party and land-owner:


Name

1/2/2024
Date

Name

Date

Name

Date

Name

Date

Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

Request for Finding of Fact – Special Permit

Now comes the applicant Zoro, LLC who has applied to this Honorable City Council for a special permit for property located at 1473 North Shore Road, Revere, MA.

1. That the proposed alterations would be in harmony with the general purpose and intent of the Zoning Ordinance for the following reason:
 - (a) The proposed alterations are in harmony with the intent of the Zoning Ordinance as it encourages housing for persons of all income levels and conserves the value of land and buildings. The proposed use is in harmony with the intent of the Zoning Ordinance as it encourages the most appropriate use of land throughout the City. See Revere Zoning Ordinances, § 17.04.010.

2. That the specific site is an appropriate location for such alterations for the following reasons:
 - (a) The site is appropriate as it is located in the HB District near similar nonconforming residential buildings.
 - (b) The site is appropriate as it is a current, residential nonconforming use and structure that does not have a detrimental impact on the neighborhood.
 - (c) The site is appropriate as the Applicant's proposed alterations and extensions of the use and structure will not be substantially more detrimental than current conditions to the neighborhood and, in fact, will benefit the neighborhood by providing additional housing options.

3. That the specific site has adequate public sewerage and water facilities and water systems for the following reasons:
 - (a) There are adequate and appropriate facilities already servicing the Property.

4. That the use as developed will not adversely affect the neighborhood, for the following reasons:
 - (a) The applicant seeks to provide necessary housing to the Revere Community at large and to the residents of the neighborhood. The Property will be significantly improved by the Applicant's efforts, at great expense.
 - (b) The finished structure will not deviate or substantially change the character of the neighborhood, which contains a significant number of multifamily residential properties.
 - (c) The finished structure will not deviate or substantially change the character of the neighborhood as the neighborhood's residential properties contain similar nonconformities.
 - (d) The Project will be less detrimental to the neighborhood than the current conditions as it will provide new, transit-oriented housing to replace an aged, dilapidated structure and increase property values.

Page 2
Finding of Fact Form

5. That there will not be a nuisance or serious hazard to vehicles or pedestrians using North Shore Road:

(a) The Project will generate minimal traffic, if any, as building residents will not park cars at the Property, and thus the Project shall not have an effect on the present traffic patterns of the neighborhood.

6. That adequate and appropriate facilities will be provided for the proposed alterations, for the following reasons:

(a) Adequate and appropriate facilities already service the Property.

Date: 11/2/2024

Respectfully submitted by: Nancy O'Neil, Esq.

EXHIBIT A



2023 00947126
 Cert#: 139809 Bk: 695 Pg: 9
 Doc: DED 09/29/2023 02:40 PM SF
 ATTEST: Stephen J. Murphy, Register
 Suffolk County Registry of Deeds

MASSACHUSETTS EXCISE TAX
 Suffolk County District ROD # 001
 Date: 09/29/2023 02:40 PM
 Ctrl# 233963 17159 Doc# 00947126
 Fee: \$2,348.40 Cons: \$515,000.00

QUITCLAIM DEED

I, Tab M. Brown, Trustee of the Thomas M. Brown Living Trust, under Declaration of Trust dated January 23, 2015 for which a Trustee Certificate Pursuant to M.G.L. c. 184 § 35 dated January 23, 2015, is filed with the Suffolk Registry of Deeds as Docket No. 946058 on Certificate of Title Number 139706,

for consideration paid and in full consideration of **FIVE HUNDRED FIFTEEN THOUSAND AND 00/100 (\$515,000.00) DOLLARS**,

grant to Zoro, LLC a Massachusetts Limited Liability Company with a principal business address of 1040-1048 North Shore Road, Unit B2, Revere, MA 02151,

with **QUITCLAIM COVENANTS**,

That certain parcel of land situated in Revere in the County of Suffolk and Commonwealth of Massachusetts, bounded and described as follows:

Easterly by the westerly line of North Shore Road, thirty-two (32) feet;

Southeasterly by the northwesterly line forming the junction of said North Shore Road and Kimball Avenue, eighteen and 51/100 (18.51) feet;

Southwesterly by the northeasterly line of said Kimball Avenue, fifty-four and 15/100 (54.15) feet;

Northwesterly by land now or formerly of Ahlquist Realty Trust, forty-three and 46/100 (43.46) feet; and

Northeasterly by land now or formerly of Paul J. Buckley, fifty-four and 87/100 (54.87) feet,

All of said boundaries are determined by the Court to be located as shown on a plan drawn by Thomas W. Dakin, Surveyor, dated December 16, 1967, as modified and approved by the Court, filed in the Land Registration Office, a copy of a portion of which will be filed with the original certificate of title issued on this decree. *PL 35459A CERT 80289*

Meaning and intending to convey the same Premises conveyed to Grantor pursuant to Land Court Registered Land Order of Court dated August 11, 2023, filed with the Suffolk Registry of Deeds as Document No. 946057 on Certificate of Title No. 139706. See also Original Certificate of Title of Claire M. O'Keefe, Certificate of Title No. 80289 dated March 2, 1970.

Property Address: 1473 North Shore Road, Revere, Suffolk County, Massachusetts

Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

Grantor hereby releases and terminates any and all estates of homestead in and to the property conveyed hereunder, whether created by declaration or by operation of law, and hereby certifies under the pains and penalties of perjury that there are no other persons entitled to the benefit of an estate of homestead in the property.

Signature Follows Next Page

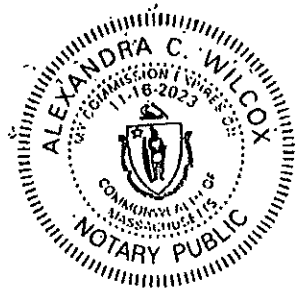
Executed as a sealed instrument this 27 day of September, 2023.

Tab M Brown
Tab M. Brown, Trustee of the Thomas M. Brown Living Trust

COMMONWEALTH OF MASSACHUSETTS

Plymouth, ss.

On this 27th day of September, 2023, before me, the undersigned Notary Public, personally appeared Tab M. Brown, Trustee as aforesaid, proved to me by satisfactory evidence of identification, being: driver's license or other state or federal governmental document bearing a photographic image, [] oath or affirmation of a credible witness known to me who knows the above signatory, or [] my own personal knowledge of the identity of the signatory, to be the person whose name is signed on the attached or preceding document, and acknowledged to me that he signed it voluntarily for its stated purpose as Trustee of the Thomas M. Brown Living Trust.



Alexandra Wilcox
Notary Public: Alexandra Wilcox
My Commission Expires: 11/16/2023
Qualified in the Commonwealth of Massachusetts

Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

947126

DOC No: 00947126

SUFFOLK LAND COURT
REGISTRY DISTRICT

** RECEIVED FOR REGISTRATION **

On: Sep 29, 2023 at 02:40P

Document Fee: 155.00 Rec Total: \$3,103.40

CERTIFICATE No: 139809 BK 00695 P5 9

ALSO NOTED ON: CERT 139706 BK 694 P6 106

Attested hereto



Stephen J. Murphy

Asst. Recorder of Land Court



SW

EXHIBIT B

Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

SHEET LIST TABLE

SHEET TITLE	DRAWING SHEET NUMBER
LOCATION PLAN	02.1.1
EXISTING CONDITION PLAN	02.1.1
DRAINAGE & UTILITIES PLAN	02.1.1
LAYOUT PLAN	04.1
CONSTRUCTION DETAILS PLAN	05.1
EROSION & SEDIMENTATION CONTROL PLAN	06.1

SITE PLAN SET
PROPOSED MULTIFAMILY RESIDENTIAL BUILDING
REVERE, MA
 ASSESSOR'S PROPERTY ID: 8-152-5



PARKING CALCULATIONS TABLE

CATEGORY	REQUIRED	PROVIDED
STANDARD UNIT:		
ONE AND ONE-HALF PARKING SPACE FOR EACH UNIT	6413-9	0
ONE AND ONE-HALF PARKING SPACE FOR EACH UNIT	9111-7,51-F	0
TOTAL	17	0



Designed By: PMB
 Reviewed By: RMB
 Project No. RVE-0108
 Project File: RVE-0108
 Drawing File Folder: RVE088
 email: jrussek@reposition.com
 Phone: 781-318-2222
 400 State Street
 PO Box 165
 C/O James Russo
 Revere, MA 02151


DATE: _____
 12/18/2023
 12/19/2023
 12/20/2023
 12/21/2023
 12/22/2023
 12/23/2023
 12/24/2023
 12/25/2023
 12/26/2023
 12/27/2023
 12/28/2023
 12/29/2023
 12/30/2023
 12/31/2023

DEC 18, 2023
 SCALE: 1"=100'
 50' 100' 200'

DRAWING: C1.1
 SHEET 1 OF 6
 1473 NORTH SHORE ROAD, REVERE MA
 PROPERTY ID: 8-152-5
 OCTOBER 18, 2023

PROJECT NOTES:

1. TOPOGRAPHIC INFORMATION SHOWN IS THE RESULT OF AN ACTUAL FIELD SURVEY CONDUCTED BY WILLIAMS & SPARGES IN SEPTEMBER 2023.
2. THIS PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 2505-500303A, EFFECTIVE DATE MARCH 16, 2018.
3. THE RESULT OF AN ACTUAL INSTRUMENT SURVEY CONDUCTED BY WILLIAMS & SPARGES, NO INTERFERENCES OR ENCUMBRANCES OF ANY KIND, REGARDLESS OF THE LOCATION OF RECORD OF MASSACHUSETTS UTILITIES AND THOSE UTILITIES SHOWN ON THIS PLAN, SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF ANY INTERFERENCES ARE FOUND.
4. ALL UTILITIES SHALL BE DELETED FROM THE PLAN THAT WILL REQUIRE THE PROPOSED WORK.
5. IF ANY INTERFERENCES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY.
6. CONTRACTOR TO CALL LOCAL UTILITIES TO CONDUCT A UTILITY LOCATE AND VERIFY EXISTING UTILITIES AND DEGREE OF DEPTH.
7. THE PROPOSED WATER CONNECTION SIZE, TYPE & LOCATION ARE TO BE DETERMINED IN ACCORDANCE WITH THE ONE TO ONE UNIFORM STATE PLUMBING CODE.
8. ALL PROPOSED DRAIN PIPES ARE TO BE WORK ON APPROVED EQUIVALENT UNLESS OTHERWISE SPECIFIED.
9. THE INSTALLATION OF DRAINAGE STRUCTURES, SPECIFICALLY THE INLET AND UNDERGROUND DRAINAGE SYSTEM, SHALL ADHERE TO THE REQUIREMENTS OF THE CITY OF REVERE. THE INLET SHALL BE A MINIMUM OF 10 FEET, HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER MAIN.
10. THE LOCATION OF THE DRAINAGE STRUCTURES SHALL BE DETERMINED BY THE CONTRACTOR AND SHALL BE LINED BY A SEPARATE WATER MAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE DRAINAGE STRUCTURES AND SHALL BE RESPONSIBLE FOR THE LOCATION OF THE DRAINAGE STRUCTURES.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE DRAINAGE STRUCTURES AND SHALL BE RESPONSIBLE FOR THE LOCATION OF THE DRAINAGE STRUCTURES.
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19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE DRAINAGE STRUCTURES AND SHALL BE RESPONSIBLE FOR THE LOCATION OF THE DRAINAGE STRUCTURES.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE DRAINAGE STRUCTURES AND SHALL BE RESPONSIBLE FOR THE LOCATION OF THE DRAINAGE STRUCTURES.



WILLIAMS SPARGES
ENGINEERS ARCHITECTS PLANNERS
1000 STATE STREET
SUITE 200
REVERE, MA 02151
TEL: 781-271-8222
WWW.WILLIAMS-SPARGES.COM

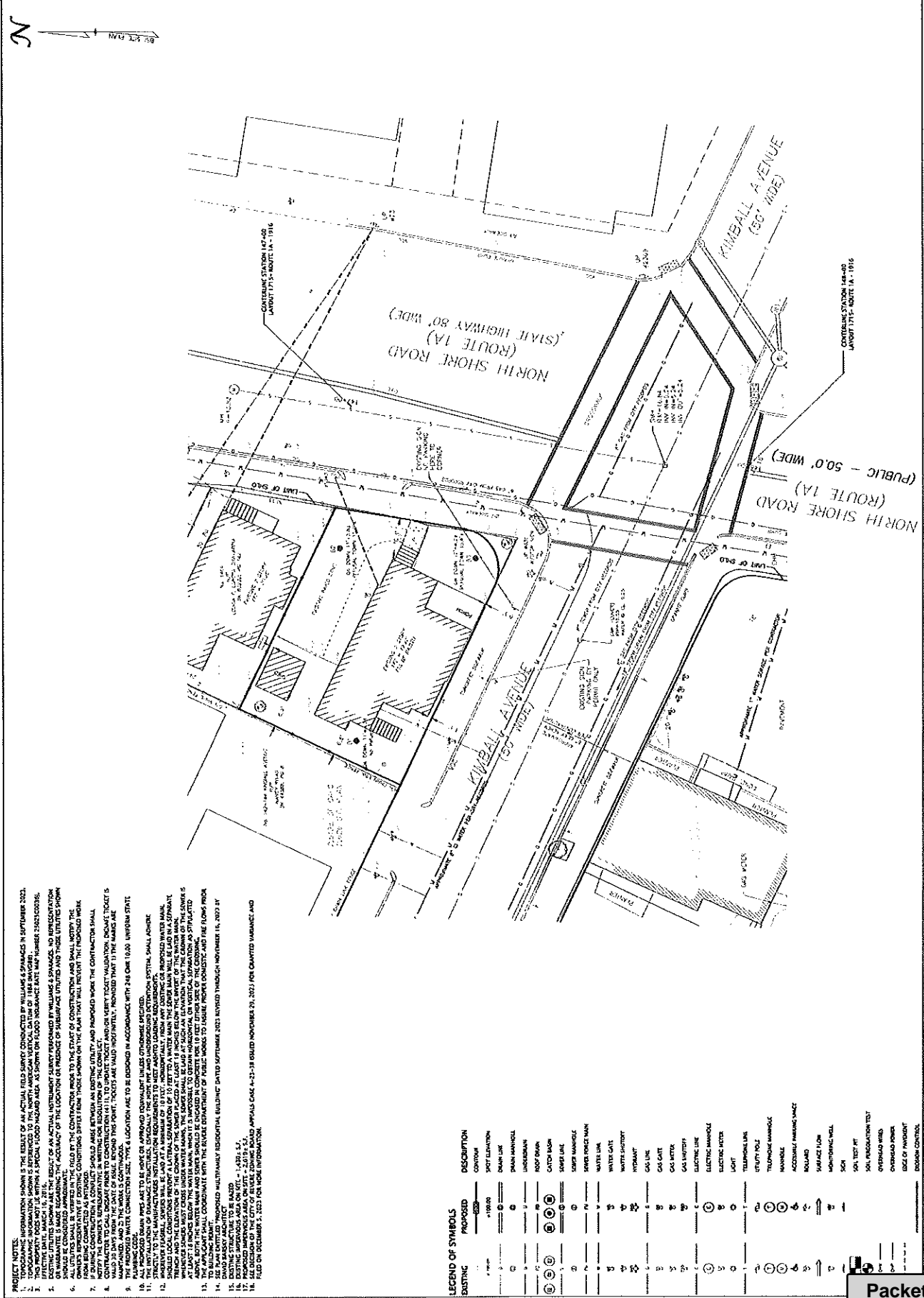
Owner/Applicant: E.O. Jenike Radio
PO Box 365
Revere, MA 02151
Phone: 781-271-8222
Email: russ@eojenike.com

Designed By: PMS
Drawn By: PMS
Checked By: PMS
Project Manager: PMS
Project File No: RVE-0108
Drawing File Folder: REVERE

Drawing Issued for Review
 Drawing Issued for Permit

DATE: 12/18/2023
SCALE: 1"=10'
SHEET 2 OF 6
DRAWING: C2.1

1743 NORTH SHORE ROAD, REVERE MA
PROPERTY ID: R-152-5



- PROJECT NOTES:**
1. TOPOGRAPHIC INFORMATION SHOWN IS THE RESULT OF AN ACTUAL FIELD SURVEY CONDUCTED BY WILLIAMS & SPARGES IN SEPTEMBER 2023.
 2. THE PROPERTY ADDRESS IS 1473 NORTH SHORE ROAD, REVERE, MA 02151. THE PROPERTY ADDRESS IS WITHIN A FLOOD HAZARD AREA AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 25023C0036.
 3. THE EFFECTIVE DATE IS MARCH 11, 2016.
 4. THE RESULT OF AN ACTUAL INSTRUMENT SURVEY PERFORMED BY WILLIAMS & SPARGES, NO REPRESENTATION OR WARRANTY IS MADE REGARDING THE ACCURACY OF THE LOCATION OR PRESENCE OF SUBSURFACE UTILITIES AND THOSE UTILITIES SHOWN ON ALL UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF DURING CONSTRUCTION A CONFLICT SHOULD ARISE BETWEEN AN EXISTING UTILITY AND PROPOSED WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION AND FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 5. CONTRACTORS SHALL COORDINATE WITH THE REVERE DEPARTMENT OF PUBLIC WORKS TO OBTAIN NECESSARY PERMITS AND TO OBTAIN NECESSARY PERMITS TO CONSTRUCT WITHIN THE PUBLIC RIGHT-OF-WAY.
 6. THE PROPOSED WATER CONNECTION SIZE, TYPE & LOCATION ARE TO BE DETERMINED IN ACCORDANCE WITH THE 2008 U.S. NATIONAL PLUMBING CODE.
 7. ALL PROPOSED SEWER LINES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE 2008 U.S. NATIONAL PLUMBING CODE.
 8. THE INSTALLATION OF SEWER STRUCTURES, EXCEPT FOR THE EXISTING AND UNDERGROUND EXISTING SYSTEM, SHALL ADHERE TO THE 2008 U.S. NATIONAL PLUMBING CODE.
 9. ALL PROPOSED SEWER LINES SHALL BE CONSTRUCTED AT A MINIMUM OF 18" DIAMETER, UNLESS OTHERWISE SPECIFIED.
 10. ALL PROPOSED SEWER LINES SHALL BE CONSTRUCTED AT A MINIMUM OF 18" DIAMETER, UNLESS OTHERWISE SPECIFIED.
 11. ALL PROPOSED SEWER LINES SHALL BE CONSTRUCTED AT A MINIMUM OF 18" DIAMETER, UNLESS OTHERWISE SPECIFIED.
 12. ALL PROPOSED SEWER LINES SHALL BE CONSTRUCTED AT A MINIMUM OF 18" DIAMETER, UNLESS OTHERWISE SPECIFIED.
 13. ALL PROPOSED SEWER LINES SHALL BE CONSTRUCTED AT A MINIMUM OF 18" DIAMETER, UNLESS OTHERWISE SPECIFIED.
 14. ALL PROPOSED SEWER LINES SHALL BE CONSTRUCTED AT A MINIMUM OF 18" DIAMETER, UNLESS OTHERWISE SPECIFIED.
 15. ALL PROPOSED SEWER LINES SHALL BE CONSTRUCTED AT A MINIMUM OF 18" DIAMETER, UNLESS OTHERWISE SPECIFIED.
 16. ALL PROPOSED SEWER LINES SHALL BE CONSTRUCTED AT A MINIMUM OF 18" DIAMETER, UNLESS OTHERWISE SPECIFIED.
 17. ALL PROPOSED SEWER LINES SHALL BE CONSTRUCTED AT A MINIMUM OF 18" DIAMETER, UNLESS OTHERWISE SPECIFIED.
 18. ALL PROPOSED SEWER LINES SHALL BE CONSTRUCTED AT A MINIMUM OF 18" DIAMETER, UNLESS OTHERWISE SPECIFIED.
 19. ALL PROPOSED SEWER LINES SHALL BE CONSTRUCTED AT A MINIMUM OF 18" DIAMETER, UNLESS OTHERWISE SPECIFIED.
 20. ALL PROPOSED SEWER LINES SHALL BE CONSTRUCTED AT A MINIMUM OF 18" DIAMETER, UNLESS OTHERWISE SPECIFIED.

LEGEND OF SYMBOLS

EXISTING	PROPOSED	DESCRIPTION
---	---	CONTOUR
---	---	SPOT ELEVATION
---	---	RAIN MANHOLE
---	---	SEWER MANHOLE
---	---	ROOF MANHOLE
---	---	CATCH BASIN
---	---	SEWER LINE
---	---	SEWER FORCE MAIN
---	---	WATER LINE
---	---	WATER GATE
---	---	WATER SIGHTPOST
---	---	HYDRANT
---	---	GAS LINE
---	---	GAS GATE
---	---	GAS METER
---	---	GAS METER VALVE
---	---	ELECTRIC LINE
---	---	ELECTRIC MANHOLE
---	---	ELECTRIC METER
---	---	LIGHT
---	---	TELEPHONE LINE
---	---	UTILITY POLE
---	---	TELEPHONE MANHOLE
---	---	MANHOLE
---	---	ACCESSIBLE PARKING SPACE
---	---	WALKWAY
---	---	LANDSCAPING WALL
---	---	SOB
---	---	SOB TEST PIT
---	---	SOB INVESTIGATION TEST
---	---	OVERHEAD WIRE
---	---	OVERHEAD POWER
---	---	EDGE OF PAVEMENT
---	---	DOORWAY CONTROL

Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

WILLIAMS SPARGES
 1473 NORTH SHORE ROAD
 REVERE, MASSACHUSETTS 01901
 PHONE: 781-718-2222
 FAX: 781-718-2223
 WWW.WILLIAMS-SPARGES.COM

DRAWING: C3.1
SHEET 3 OF 6
 DATE: OCTOBER 18, 2023
 SCALE: 1" = 10'

1473 NORTH SHORE ROAD, REVERE MA
SITE PLAN - PROPOSED GRADING & UTILITIES

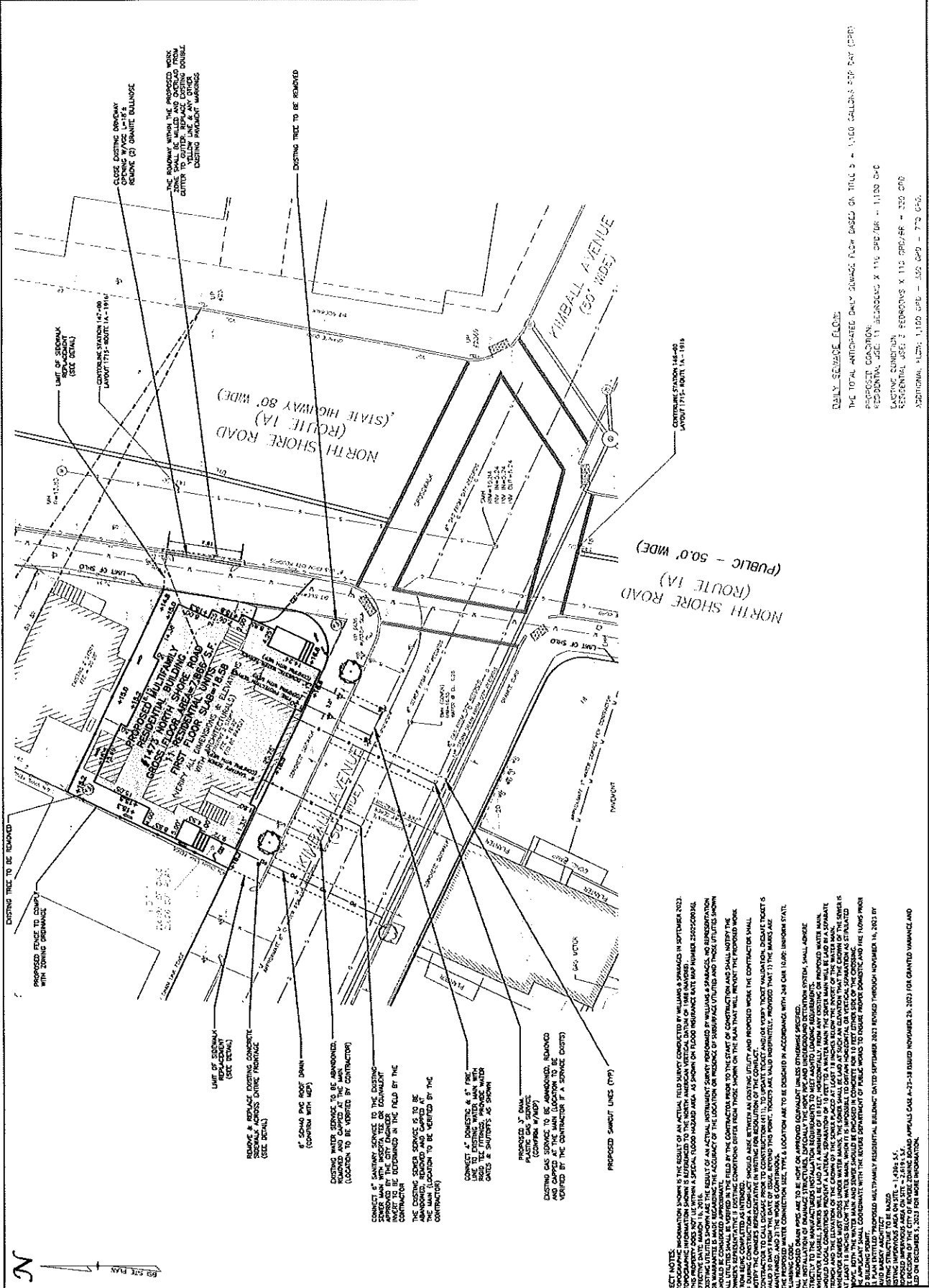
PROPERTY ID: 8-122-5

Designed By: PMS
 Project Manager: PMS
 Reviewed By: PMS
 Drawing Date: 10/18/23
 Drawing Title: GRADING & UTILITIES

Checked By: PMS
 Project Manager: PMS
 Reviewed By: PMS
 Drawing Date: 10/18/23
 Drawing Title: GRADING & UTILITIES

Drawn/Approved: [Signature]
 Project Manager: PMS
 Reviewed By: PMS
 Drawing Date: 10/18/23
 Drawing Title: GRADING & UTILITIES

Drawn/Approved: [Signature]
 Project Manager: PMS
 Reviewed By: PMS
 Drawing Date: 10/18/23
 Drawing Title: GRADING & UTILITIES



DAILY SEDIMENT CONTROL
 THE TOTAL ANTICIPATED DAILY SEDIMENT FLOW BASED ON TRUCKS = 1,500 GALLONS PER DAY (GPD)
 PROPOSED CAPACITY:
 SEDIMENTATION TANK: 11,000 GPD
 LASTING CONDITION:
 SEDIMENTATION TANK: 11,000 GPD
 ADDITIONAL FLOW: 1,100 GPD - 500 GPD - 770 GPD

- PROJECT NOTES:**
1. TOPOGRAPHIC INFORMATION SHOWN IS THE RESULT OF AN ACTUAL FIELD SURVEY CONDUCTED BY WILLIAMS & SPARGES IN SEPTEMBER 2022. THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH MASSACHUSETTS REGULATION 805 CMR 2.00. THE SURVEY DATA IS SHOWN ON THIS DRAWING FOR INFORMATION ONLY. THE SURVEY DATA IS NOT TO BE USED FOR ANY OTHER PURPOSES.
 2. THE EXISTING UTILITIES SHOWN ON THIS DRAWING ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY DATA. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 3. ALL UTILITIES SHALL BE PROTECTED AND MARKED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITIES PROVIDER AT LEAST 48 HOURS PRIOR TO ANY WORK THAT MAY AFFECT THE UTILITIES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE REVERE DEPARTMENT OF PUBLIC WORKS AND THE REVERE DEPARTMENT OF PUBLIC SAFETY.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE REVERE DEPARTMENT OF PUBLIC WORKS AND THE REVERE DEPARTMENT OF PUBLIC SAFETY.
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 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE REVERE DEPARTMENT OF PUBLIC WORKS AND THE REVERE DEPARTMENT OF PUBLIC SAFETY.



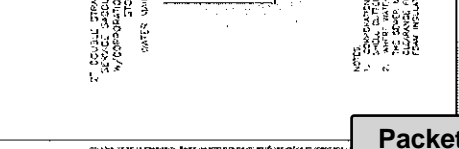
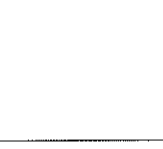
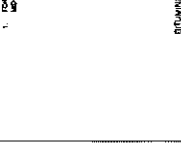
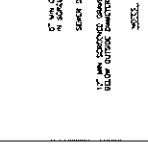
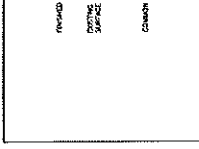
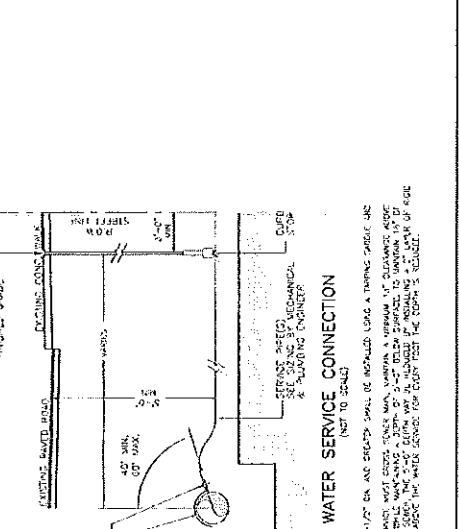
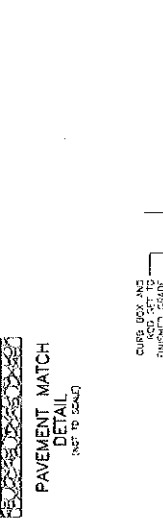
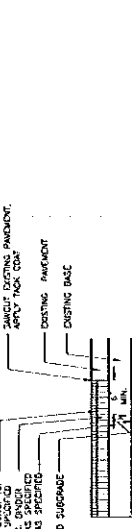
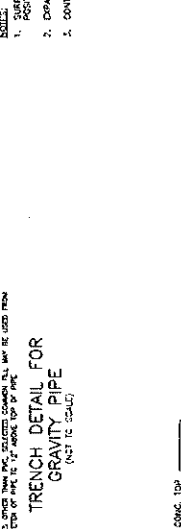
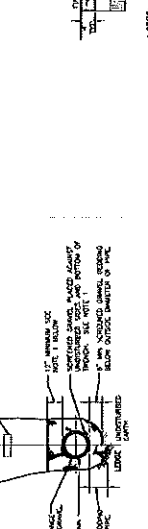
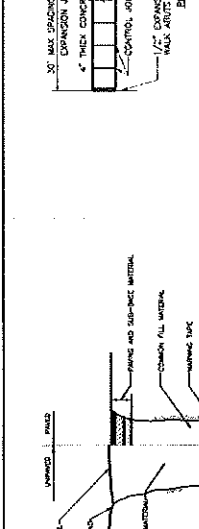
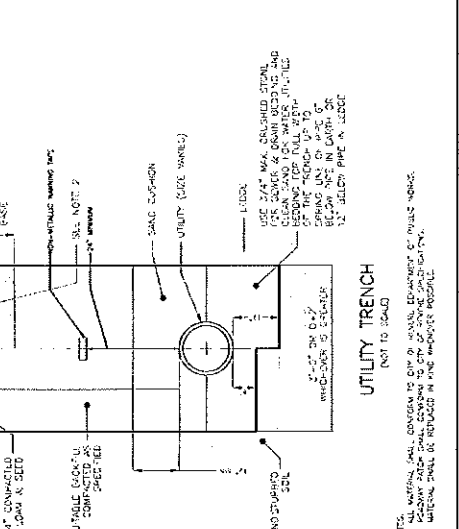
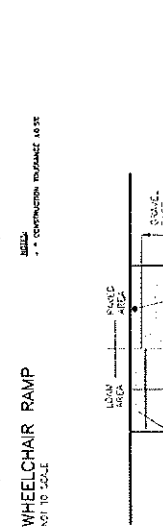
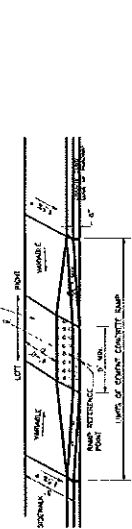
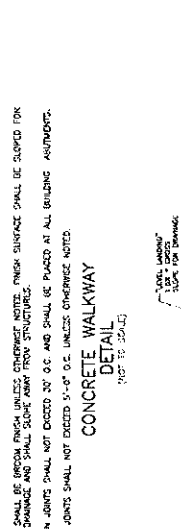
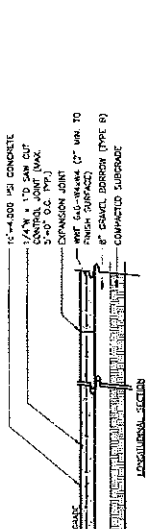
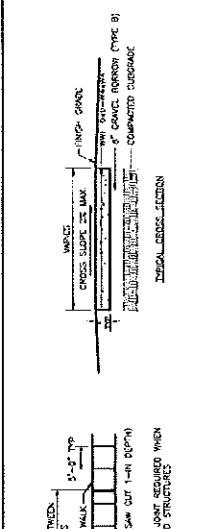
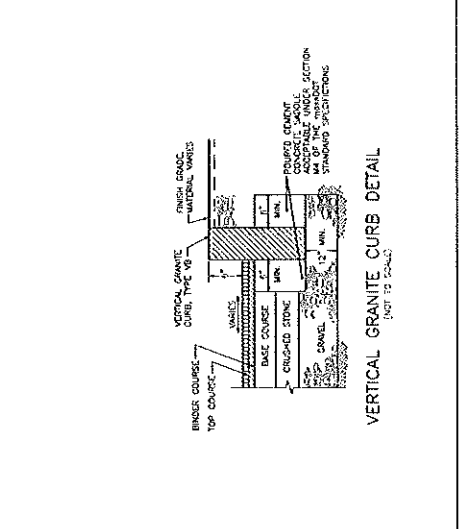
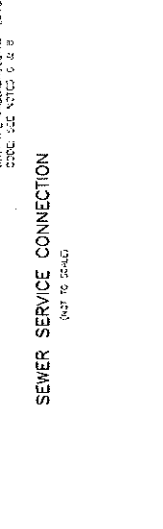
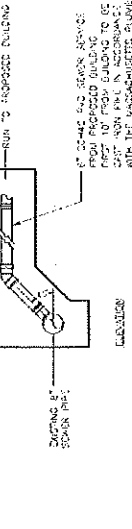
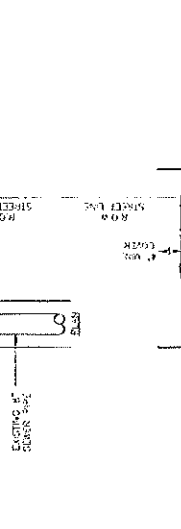
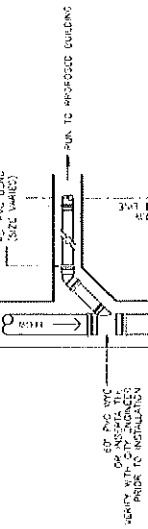
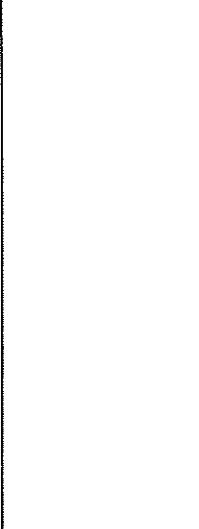
Designed By: PAH
 Drawn By: PAH
 Project No. 24-028
 Project Name: 1473 North Shore Road
 Project Manager: PAH
 Reviewer: PAH
 Date: 12/18/2023
 Phone: 203-281-7128
 Fax: 203-281-7222
 Email: psp@sparsages.com
 Owner/Applicant

Drinking Water for Connections
 Drinking Sewer for Storm
 Drinking Sewer for Storm
 Drinking Sewer for Storm
 Draining the Below: REVERS

1	2	3	4	5	6	7	8	9	10	11	12

SCALE: 1" = 10'
 DECEMBER 18, 2023
 PROPERTY ID: B-152-5

DRAWING: CS.1
 SHEET 5 OF 6
 SITE PLAN - CONSTRUCTION DETAILS
 1473 NORTH SHORE ROAD, REVERE MA



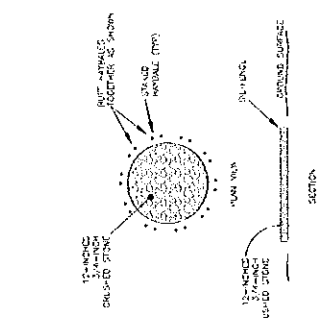
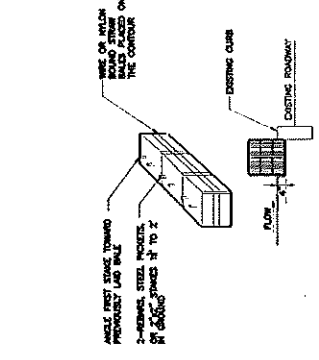
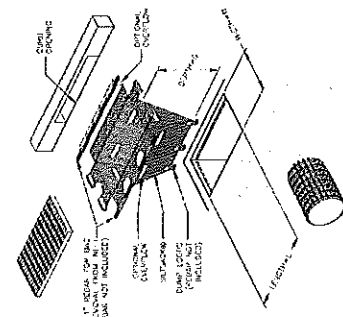
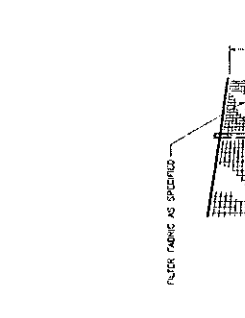
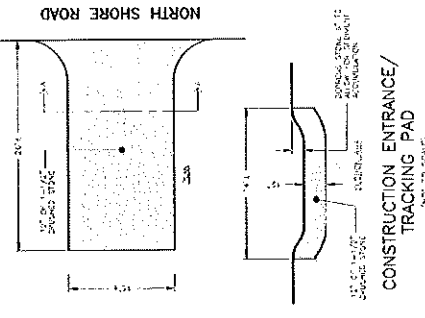
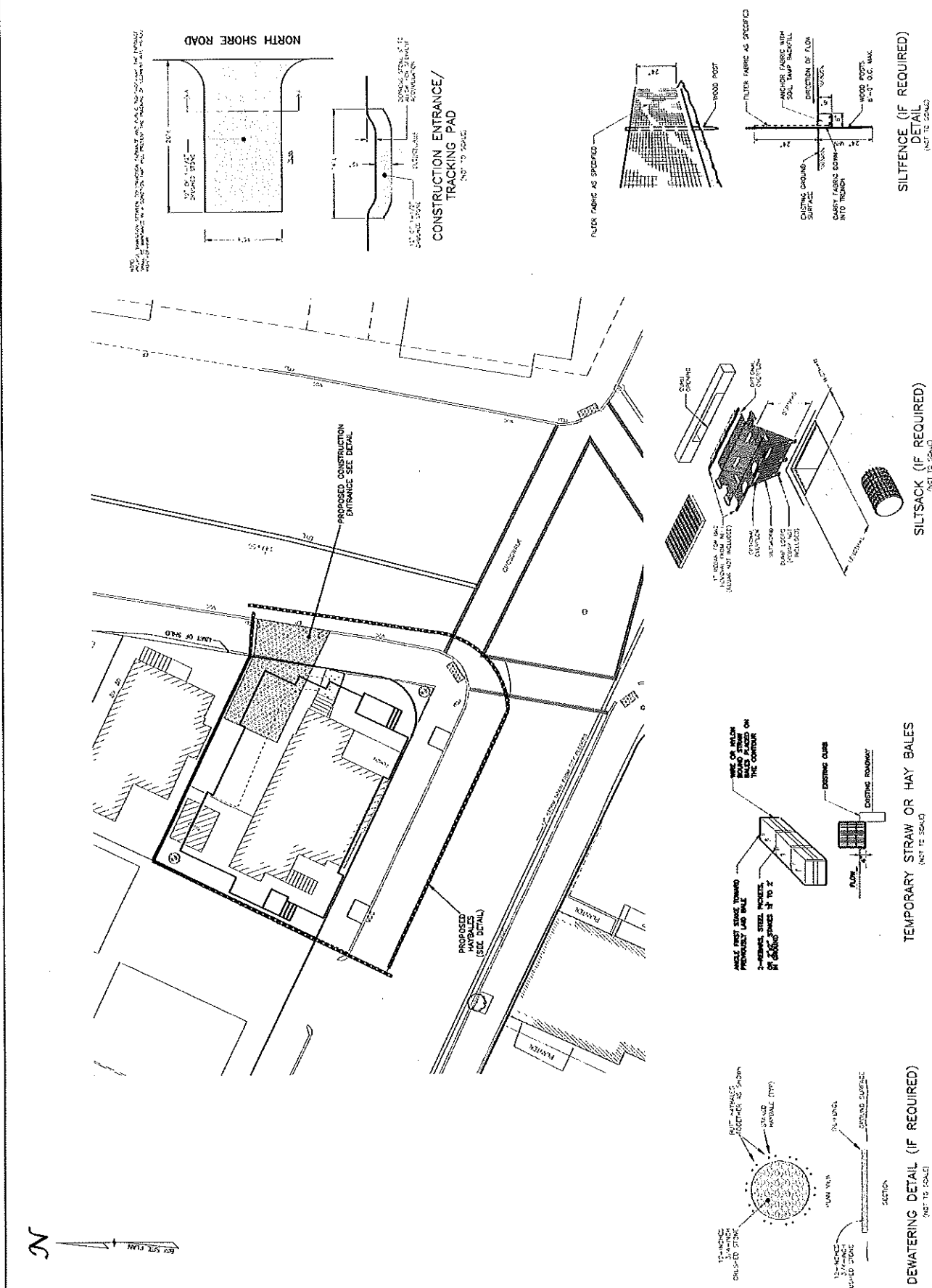
NOTES:
 1. ALL MATERIAL SHALL BE CONFORM TO ALL APPLICABLE CODES AND STANDARDS.
 2. ALL MATERIAL SHALL BE CONFORM TO ALL APPLICABLE CODES AND STANDARDS.
 3. ALL MATERIAL SHALL BE CONFORM TO ALL APPLICABLE CODES AND STANDARDS.



Designed By: PMS
 Drawn By: PMS
 Reviewed By: PMS
 Project No.: REV-0108
 Drawing File Folder: REV08
 Drawing Issued For: Permit
 Drawing Issued For: Permit
 Drawing Issued For: Permit
 email: pms@sparsages.com
 Phone: 781-748-2222
 Project: 1473 North Shore Road, Revere, MA 02151
 P.O. Box: 355
 C/O James Russo
 Corp. LLC
 Owner/Applicant:

SCALE: 1"=10'
 DECEMBER 18, 2023

SHEET 6 OF 6
 DRAWING: CG.1
 PROPERTY ID: B-152-5
 1473 NORTH SHORE ROAD, REVERE MA
 SITE PLAN - SEDIMENT & EROSION CONTROL PLAN



CONSTRUCTION ENTRANCE/ TRACKING PAD (NOT TO SCALE)

SILTSAK (IF REQUIRED) DETAIL (NOT TO SCALE)

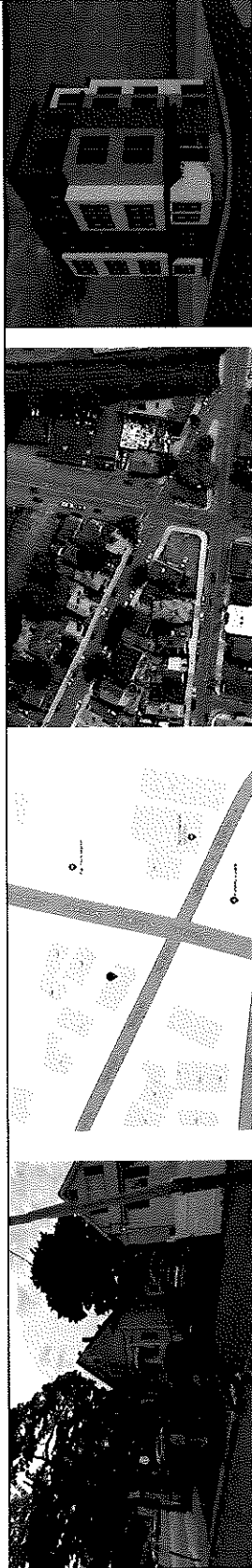
SILTSAK (IF REQUIRED) DETAIL (NOT TO SCALE)

TEMPORARY STRAW OR HAY BALES (NOT TO SCALE)

DEWATERING DETAIL (IF REQUIRED) (NOT TO SCALE)

PROPOSED MULTIFAMILY RESIDENTIAL BUILDING

1473 North Shore Road, Revere, MA 02151



ARCHITECTURAL VISUALIZATION

AERIAL VIEW

LOCUST MAP

EXISTING SITUATION

ZONING STUDY	REQUIRED	PROPOSED
HE DISTRICT	15,000 SF.	2,619 SF.
MIN. LOT AREA:	20'	42'-4"
MAX. HEIGHT:	5'	4
MAX. STORES:	5	7.861
G.F.A.:	1	3.00
F.A.R.:	1	3.00
SETBACK REQUIREMENTS:	REQUIRED	PROPOSED
• FRONT:	20'	2'
• SIDE:	20'	3'
• REAR:	30'	3'-6"

PROJECT SUMMARY
 TOTAL LOT AREA = 2,619 SF.
 TOTAL GFA = 7,864 SF.

TOTAL F.A.R. = 3.00
 11 UNITS TOTAL
 6 1-BED ROOMS
 5 1-BED

1-ST LEVEL	STUDIO	=	348 S.F.
UNIT 101	STUDIO	=	350 S.F.
UNIT 102	1 BED	=	475 S.F.
UNIT 103			
UNIT 104			
2-ND LEVEL	STUDIO	=	348 S.F.
UNIT 201	STUDIO	=	350 S.F.
UNIT 202	STUDIO	=	348 S.F.
UNIT 203	STUDIO	=	350 S.F.
UNIT 204			
3-RD AND 4-TH LEVEL			
UNIT 301	1 BED	=	726 S.F.
UNIT 302	1 BED	=	726 S.F.
UNIT 303	1 BED	=	726 S.F.
UNIT 304	1 BED	=	877 S.F.
TOTAL NET UNIT AREA		=	5,617 S.F.

ARCHITECT:
 DAVID BARSKY - ARCHITECT
 Commercial Residences Hospitality
 37 Elmwood Avenue, No. C2-400
 Cambridge, MA 02142
 PH: 617.468.5872
 617.576.9901

SHEET	COVER SHEET	SHEET TITLE	DATE
A-000		ARCHITECTURAL	11.16.2023
A-001		GENERAL NOTES	11.16.2023
A-002		BUILDING AND ZONING STUDY	11.16.2023
A-003		CODE SUMMARY - ESCAPE LENGTH PLANS	11.16.2023
A-004		SITE PLAN	11.16.2023
A-005		FOUNDATION PLAN	11.16.2023
A-101		1-ST LEVEL FLOOR PLAN	11.16.2023
A-102		2-ND LEVEL FLOOR PLAN	11.16.2023
A-103		3-RD LEVEL FLOOR PLAN	11.16.2023
A-104		4-TH LEVEL FLOOR PLAN	11.16.2023
A-105		ROOF PLAN	11.16.2023
A-201		REFLECTED CEILING PLAN- GROUND LEVEL	11.16.2023
A-202		REFLECTED CEILING PLAN- 2-ND LEVEL	11.16.2023
A-203		REFLECTED CEILING PLAN- 3-RD LEVEL	11.16.2023
A-204		REFLECTED CEILING PLAN- 4-TH LEVEL	11.16.2023
A-300		SOUTH ELEVATION	11.16.2023
A-301		NORTH ELEVATION	11.16.2023
A-302		EAST ELEVATION	11.16.2023
A-303		WEST ELEVATION	11.16.2023
A-400		BUILDING SECTIONS	11.16.2023
A-401		BUILDING SECTIONS	11.16.2023
A-402		SECTION DETAILS	11.16.2023
A-410		KITCHEN AND BATHROOM TYPES	11.16.2023
A-420		STAIR SECTIONS- STAIRWELL 1	11.16.2023
A-430		STAIR SECTIONS- STAIRWELL 2	11.16.2023
A-440		STAIR SECTIONS- STAIRWELL 3	11.16.2023
A-450		STAIR DETAILS	11.16.2023
A-460		PARTITION TYPES	11.16.2023
A-470		PARTITION TYPES	11.16.2023
A-480		WINDOW AND DOOR SCHEDULE	11.16.2023
A-490		WINDOW AND DOOR SCHEDULE	11.16.2023
A-5		ARCHITECTURAL VISUALIZATIONS	11.16.2023

COMMERCIAL
RESIDENTIAL
HOSPITALITY
300 WASHINGTON STREET,
REVERE, MA 02151
PH: 617.468.5872

CLIENT INFORMATION
 Eastern Equity Partners, LLC
 P.O. Box 365
 Revere, MA 02151

PROJECT LOCATION
 1473 North Shore Road,
 Revere, MA 02151, USA

DRAWING TITLE
 COVER SHEET

SCALE	DATE
PROJECT NO.	September 2023
DRAWN BY	REVISION NO.
VERIFIED BY	DRAWING NO.
	A.000

ARCHITECTURAL ABBREVIATIONS

Table with 2 columns: Abbreviation and Description. Includes items like AC (Acoustic Ceiling), AD (Acoustic Duct), AF (Acoustic Finish), etc.

Table with 2 columns: Abbreviation and Description. Includes items like AL (Aluminum), AN (Anodized Aluminum), AR (Architectural Render), etc.

INDICATION OF MATERIALS

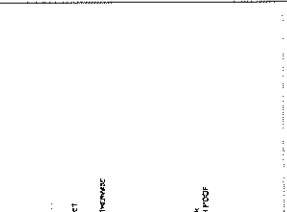
Table with 2 columns: Material Name and Indication (Symbol/Pattern). Includes items like Concrete, Brick, Marble, etc.

GENERAL NOTES

- List of general notes regarding construction standards, material quality, and site-specific requirements.

ARCHITECT'S SEAL

Table with 4 columns: Date, Issued For Review, Issued For Review, Issued For Review, Issued For Information. Includes dates from 05/11/2023 to 01/19/2024.



CLIENT INFORMATION

COMMERCIAL RESIDENTIAL HOSPITALITY Eastern Equity Partners, LLC P.O. Box 365 Revvere, MA 02151



PROJECT LOCATION

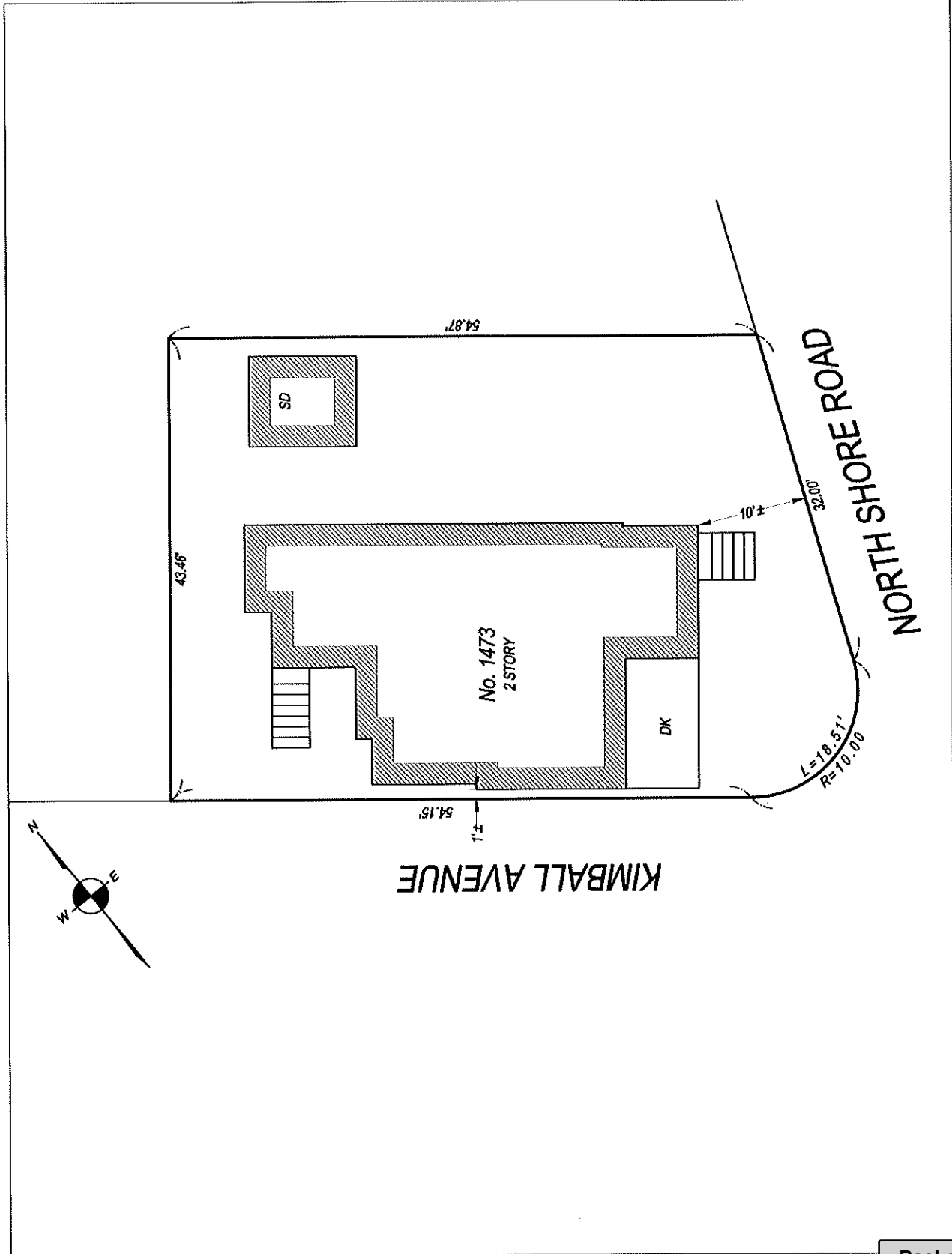
1473 North Shore Road, Revvere, MA 02151, USA

GENERAL NOTES

- General notes regarding construction standards, material quality, and site-specific requirements.


Table with 2 columns: Scale, Date, Project No., Drawing No., Verified By. Includes scale of 1/8"=1'-0" and drawing number A.001.

05 11.16.2023	ISSUED FOR REVIEW
04 10.13.2023	ISSUED FOR REVIEW
03 10.5.2023	ISSUED FOR REVIEW
02 09.24.2023	ISSUED FOR REVIEW
01 09.23.2023	ISSUED FOR INFORMATION
DATE	DESCRIPTION
ARCHITECT'S SEAL:	
	
 COMMERCIAL RESIDENTIAL HOSPITALITY 1473 North Shore Road, Suite 200 Revere, MA 02151 Tel: 617-445-0970 Fax: 617-445-0972	
CLIENT INFORMATION Eastern Equity Partners, LLC P.O. Box 365 Revere, MA 02151	
PROJECT LOCATION 1473 North Shore Road, Revere, MA 02151, USA	
DRAWING TITLE EXISTING SITE PLAN	
SCALE	DATE
PROJECT NO.	REVISION NO.
DRAWN BY	DRAWING NO.
VERIFIED BY	CV.1



05 11-18-2020	ISSUED FOR REVIEW
04 10-13-2020	ISSUED FOR REVIEW
03 10-13-2020	ISSUED FOR REVIEW
02 09-29-2020	ISSUED FOR REVIEW
01 09-29-2020	ISSUED FOR INFORMATION

ARCHITECT'S SEAL:



COMMERCIAL RESIDENTIAL HOSPITALITY
 Eastern Equity Partners, LLC
 P.O. Box 365
 Revere, MA 02151

CLIENT INFORMATION
 PROJECT LEGATION
 1473 North Shore Road,
 Revere, MA 02151, USA

DRAWING TITLE
BUILDING AND ZONING STUDY

SCALE N/A DATE September 2020
 PROJECT NO. REVISION NO. A
 DRAWN BY DRAWING NO.
 VERIFIED BY A-010

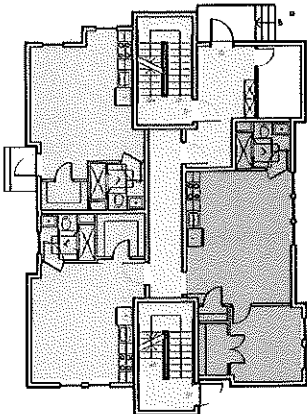
TOTAL AREA	
Name	Aveq
RESIDENTIAL	5,617 SF
COMMON	1,380 SF
TRASH ROOM	61 SF
TOTAL	7,058 SF

PROJECT SUMMARY
 LOT AREA 2,619 SF.
 TOTAL GFA 7,455 SF.
 TOTAL F.A.R. = 0.35

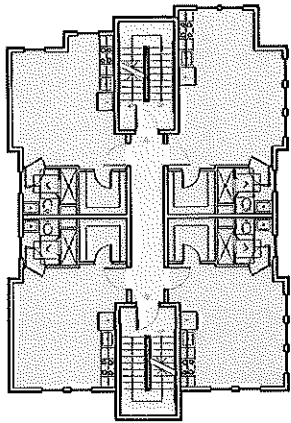
BUILDING PROGRAM
 1-ST. LEVEL
 COMMON, TRASH ROOM,
 AND 3 UNITS
 UPPER LEVELS
 8 UNITS

TOTAL 11 UNITS ON ALL LEVELS

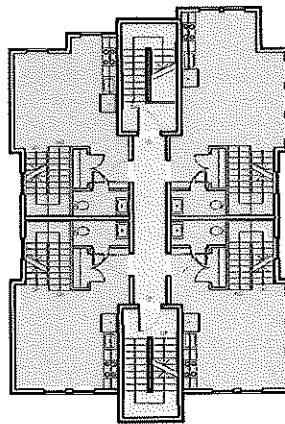
GRADE LEVEL	COMMON AREA	TRASH ROOM	STUDIO	STUDIO	1BED	2-ND LEVEL	COMMON AREA	UNIT 201	1BED	UNIT 202	1BED	UNIT 203	1BED	UNIT 204	1BED	3-RD. & 4-TH LEVEL	COMMON AREA	UNIT 301	1BED	UNIT 302	1BED	UNIT 303	1BED	UNIT 304	1BED	4-TH LEVEL	COMMON AREA
=	464 S.F.					=	341 S.F.									=	341 S.F.									=	117 S.F.
=	61 S.F.					=	348 S.F.									=	726 S.F.									=	
=	348 S.F.					=	350 S.F.									=	674 S.F.									=	
=	350 S.F.					=	348 S.F.									=	726 S.F.									=	
=	475 S.F.					=	395 S.F.									=	877 S.F.									=	



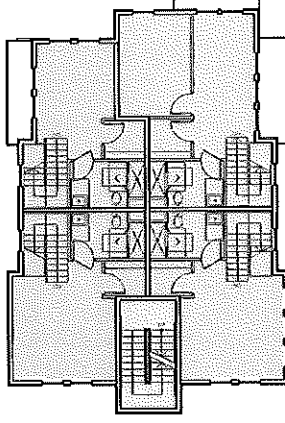
① GRADE LEVEL
SCALE 3/32" = 1'-0"




② 2-ND LEVEL
SCALE 3/32" = 1'-0"

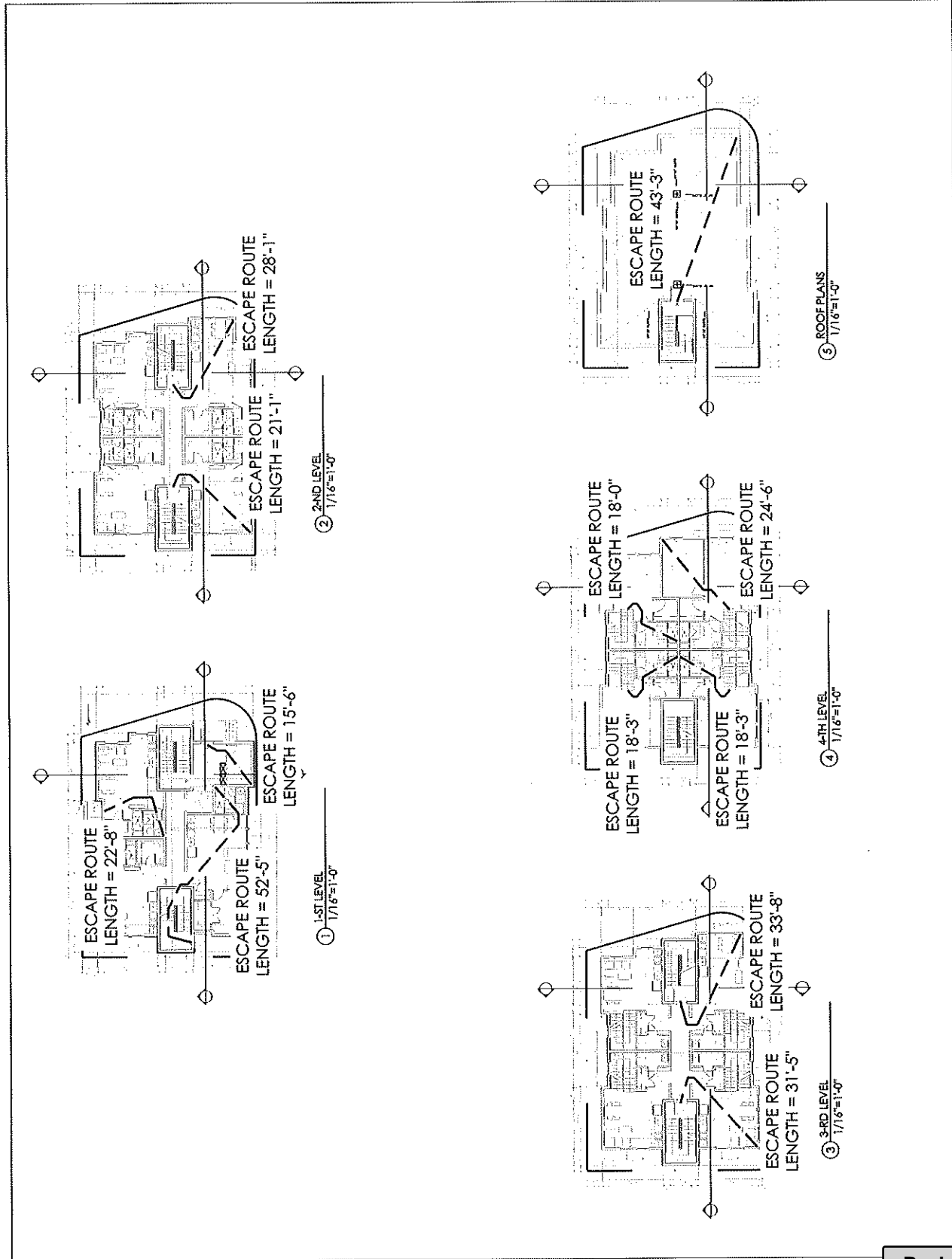


③ 3-RD LEVEL
SCALE 3/32" = 1'-0"



④ 4-TH LEVEL
SCALE 3/32" = 1'-0"

03	11.18.2023	ISSUED FOR REVIEW
04	10.13.2023	ISSUED FOR REVIEW
03	10.5.2023	ISSUED FOR REVIEW
02	09.24.2023	ISSUED FOR REVIEW
01	09.23.2023	ISSUED FOR INFORMATION
MADE BY: ARCHITECT CHECKED BY: ARCHITECT DATE: 09/23/2023 ARCHITECT'S SEAL:		
		
CLIENT INFORMATION COMMERCIAL RESIDENTIAL HOSPITALITY Eastern Equity Partners, LLC P.O. Box 365 Revere, MA 02151		
PROJECT LOCATION 1473 North Shore Road, Revere, MA 02151, USA		
DRAWING TITLE CODE SUMMARY ESCAPE LENGTH PLANS		
SCALE	DATE	REVISION NO.
3/32"=1'-0"	SEPTEMBER 2023	A
PROJECT NO.	DRAWN BY	DRAWING NO.
		A-020
VERIFIED BY:		



T.O.W @ EL15'-10"
 T.O.W @ EL18'-7"
 T.O.W @ EL18'-7"
 B.O.W @ EL12'-3"
 B.O.W @ EL10'-10"

05	11.16.2023	ISSUED FOR REVIEW
04	10.13.2023	ISSUED FOR REVIEW
03	10.3.2023	ISSUED FOR REVIEW
02	10.29.2023	ISSUED FOR REVIEW
01	10.23.2023	ISSUED FOR INFORMATION

DATE: 10/11/23
 TIME: 10:00 AM
 ARCHITECT'S SEAL:

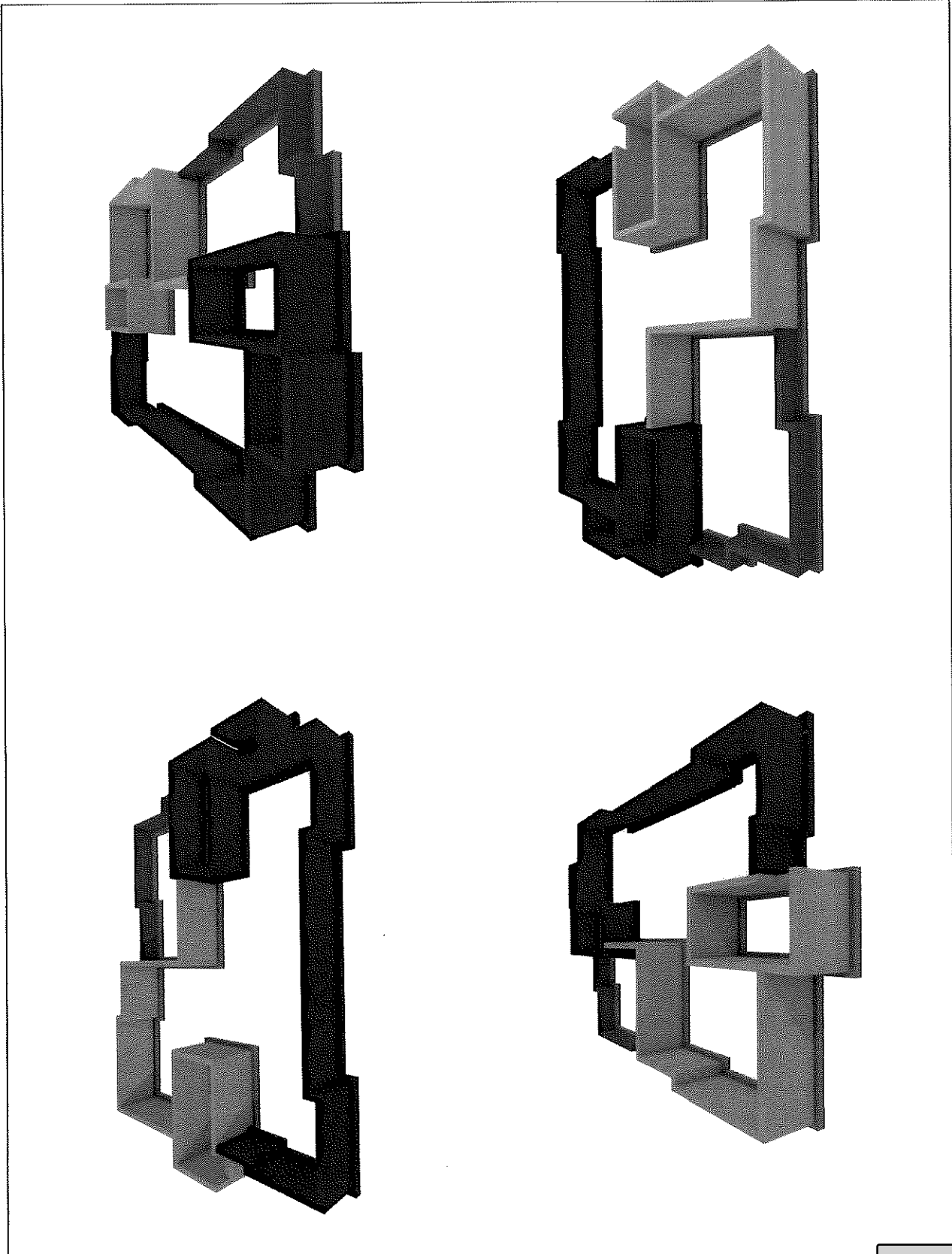




COMMERCIAL RESIDENTIAL HOSPITALITY
 Eastern Equity Partners, LLC
 P.O. Box 365
 Revere, MA 02151

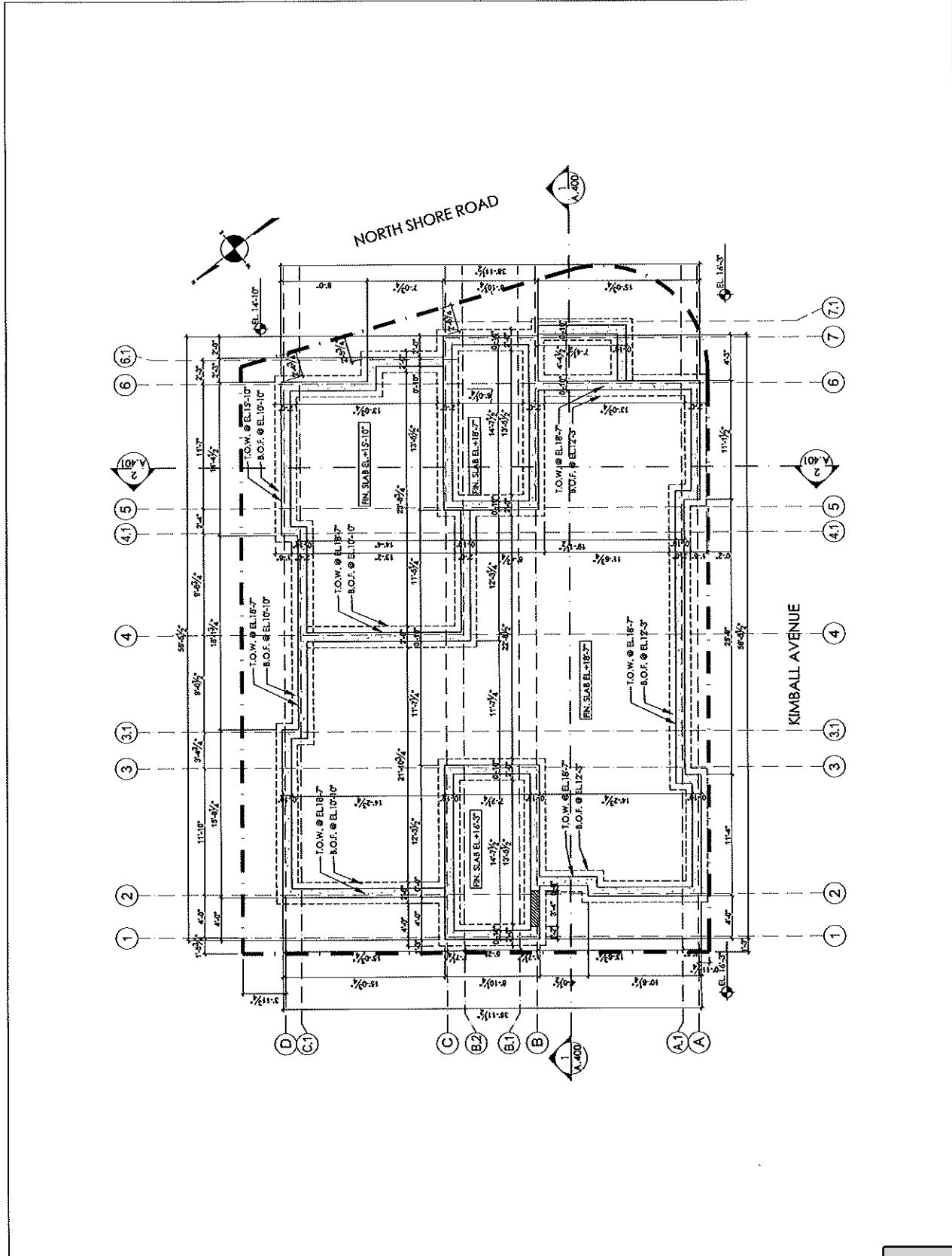
PROJECT LOCATION
 1473 North Shore Road,
 Revere, MA 02151, USA

DRAWING TITLE
FOUNDATION FLOOR PLAN

SCALE	3/8" = 1'-0"	DATE	September 2023
PROJECT NO.		REVISION NO.	A
DRAWN BY		DRAWING NO.	A-100 A
VERIFIED BY			




05.11.2023	ISSUED FOR REVIEW
04.10.2023	ISSUED FOR REVIEW
03.10.2023	ISSUED FOR REVIEW
02.09.2023	ISSUED FOR REVIEW
01.09.2023	ISSUED FOR INFORMATION
ARCHITECT'S SEAL:	
	
	
CLIENT INFORMATION Commercial Residential Hospitality Eastern Equity Partners, LLC P.O. Box 365 Revere, MA 02151	
PROJECT LOCATION 1473 North Shore Road, Revere, MA 02151, USA	
DRAWING TITLE FOUNDATION FLOOR PLAN	
SCALE	1/4" = 1'-0"
DATE	September 2023
PROJECT NO.	
REVISION NO.	A
DRAWN BY	
VERIFIED BY	A-100



Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

05 11.16.2021	ISSUED FOR REVIEW
04 10.13.2021	ISSUED FOR REVIEW
03 10.05.2021	ISSUED FOR REVIEW
02 09.29.2021	ISSUED FOR REVIEW
01 09.28.2021	ISSUED FOR INFORMATION
ARCHITECT'S SEAL:	



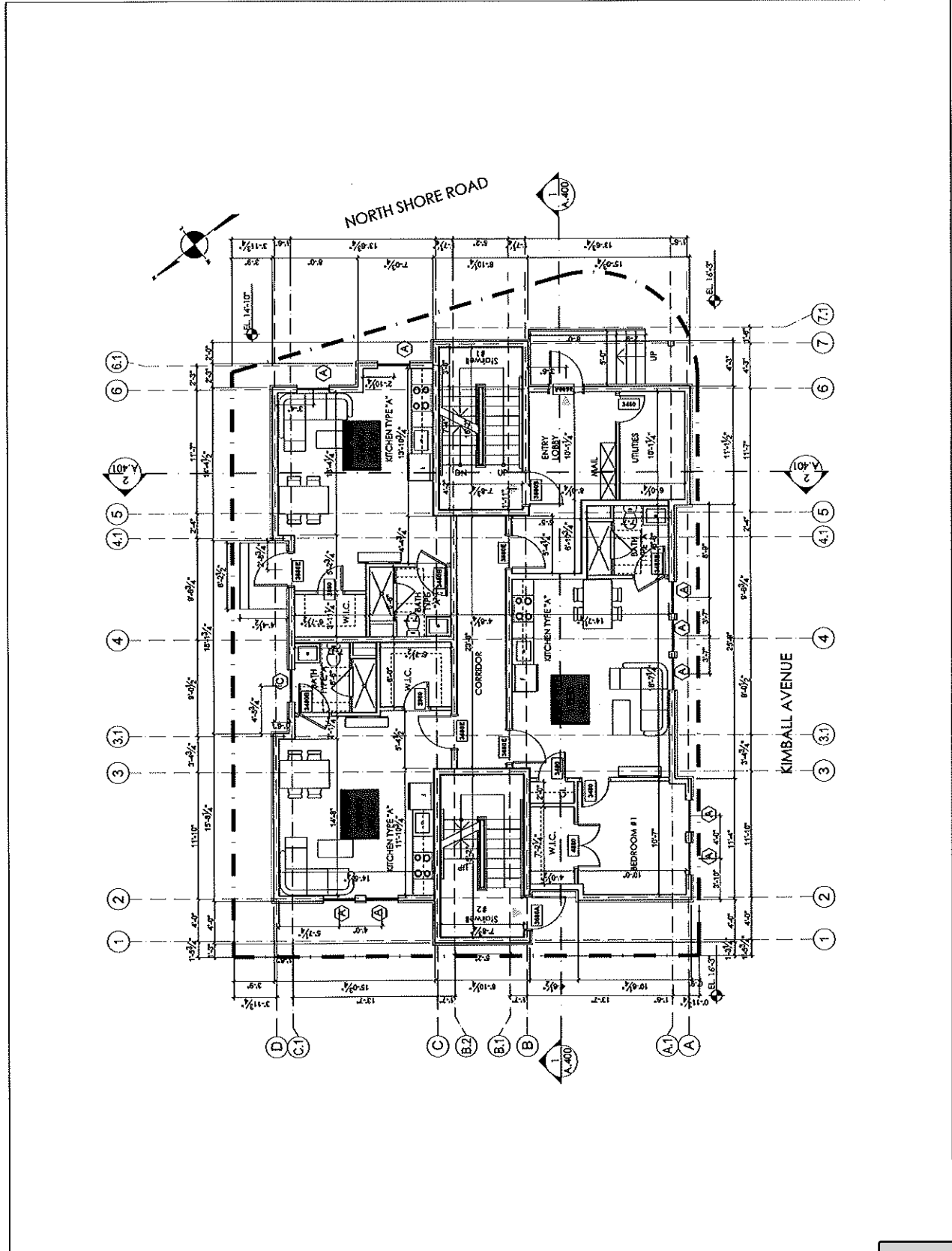
COMMERCIAL RESIDENTIAL HOSPITALITY
 240 NORTH SHORE ROAD, REVERE, MASSACHUSETTS 02151
 240 NORTH SHORE ROAD, REVERE, MA 02151

CLIENT INFORMATION
 Eastern Equity Partners, LLC
 P.O. Box 365
 Revere, MA 02151

PROJECT LOCATION
 1473 North Shore Road,
 Revere, MA 02151, USA

DRAWING TITLE
 GRADE LEVEL FLOOR PLAN

SCALE 1/4" = 1'-0"
DATE September 2023
PROJECT NO. /
REVISION NO. /
DRAWN BY /
VERIFIED BY A-101




Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

05/11/2022	ISSUED FOR REVIEW
04/10/2022	ISSUED FOR REVIEW
02/10/2022	ISSUED FOR REVIEW
02/09/2022	ISSUED FOR REVIEW
01/19/2022	ISSUED FOR INFORMATION

DATE: 05/11/2022
 PROJECT NO.:
 DRAWING NO.:
 VERIFIED BY:

ARCHITECT'S SEAL:



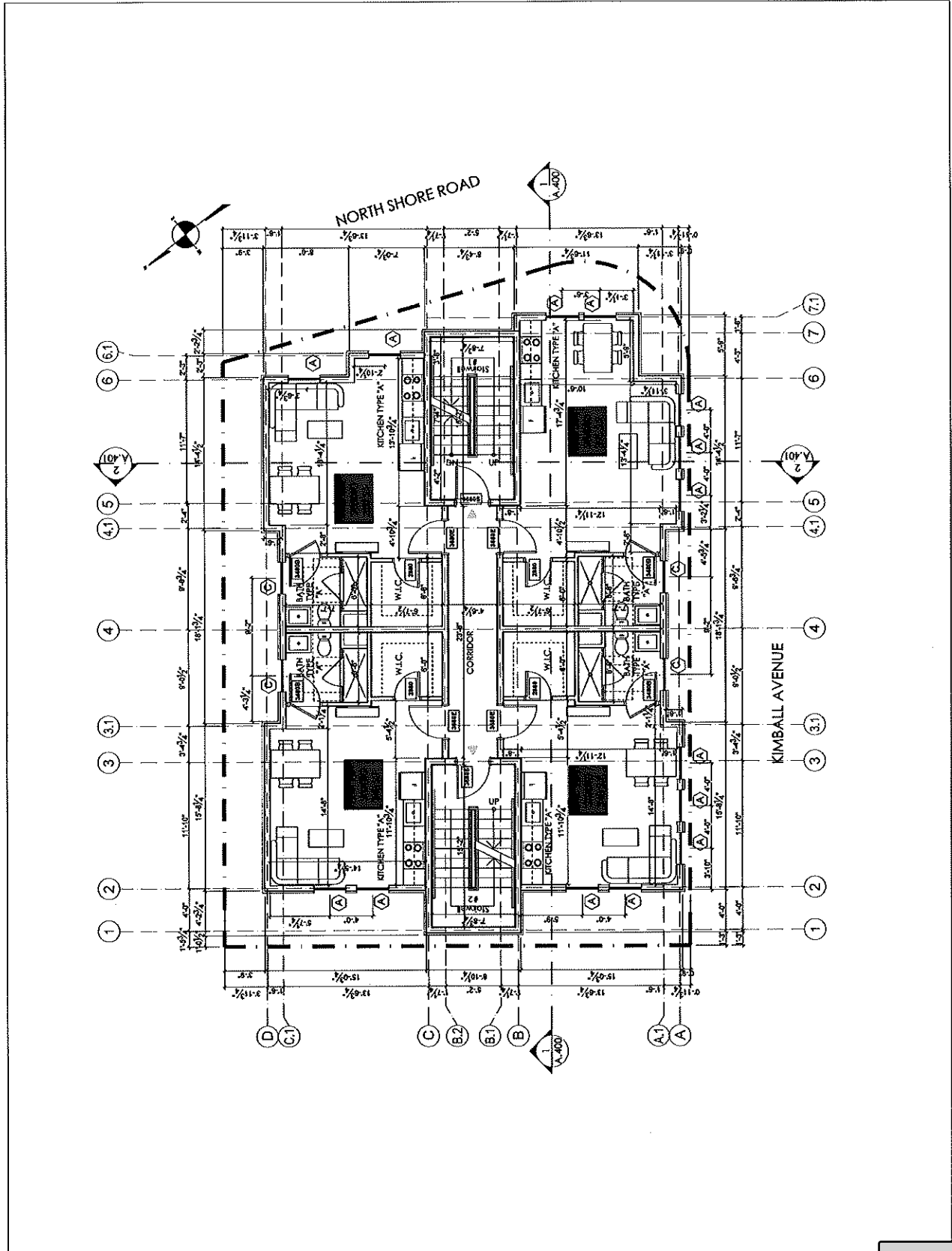
CLIENT INFORMATION
COMMERCIAL RESIDENTIAL HOSPITALITY
 Eastern Equity Partners, LLC
 P.O. Box 365
 Revere, MA 02151

PROJECT LOCATION
 1473 North Shore Road,
 Revere, MA 02151, USA

DRAWING TITLE
2nd. LEVEL FLOOR PLAN


SCALE: 1/4" = 1'-0"
 DATE: September 2022
 REVISION NO.:
 DRAWN BY:
 VERIFIED BY:


A-102



Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

05 11.14.2023	ISSUED FOR REVIEW
04 10.13.2023	ISSUED FOR REVIEW
03 10.5.2023	ISSUED FOR REVIEW
02 09.28.2023	ISSUED FOR REVIEW
01 09.28.2023	ISSUED FOR INFORMATION
ARCHITECT'S SEAL:	





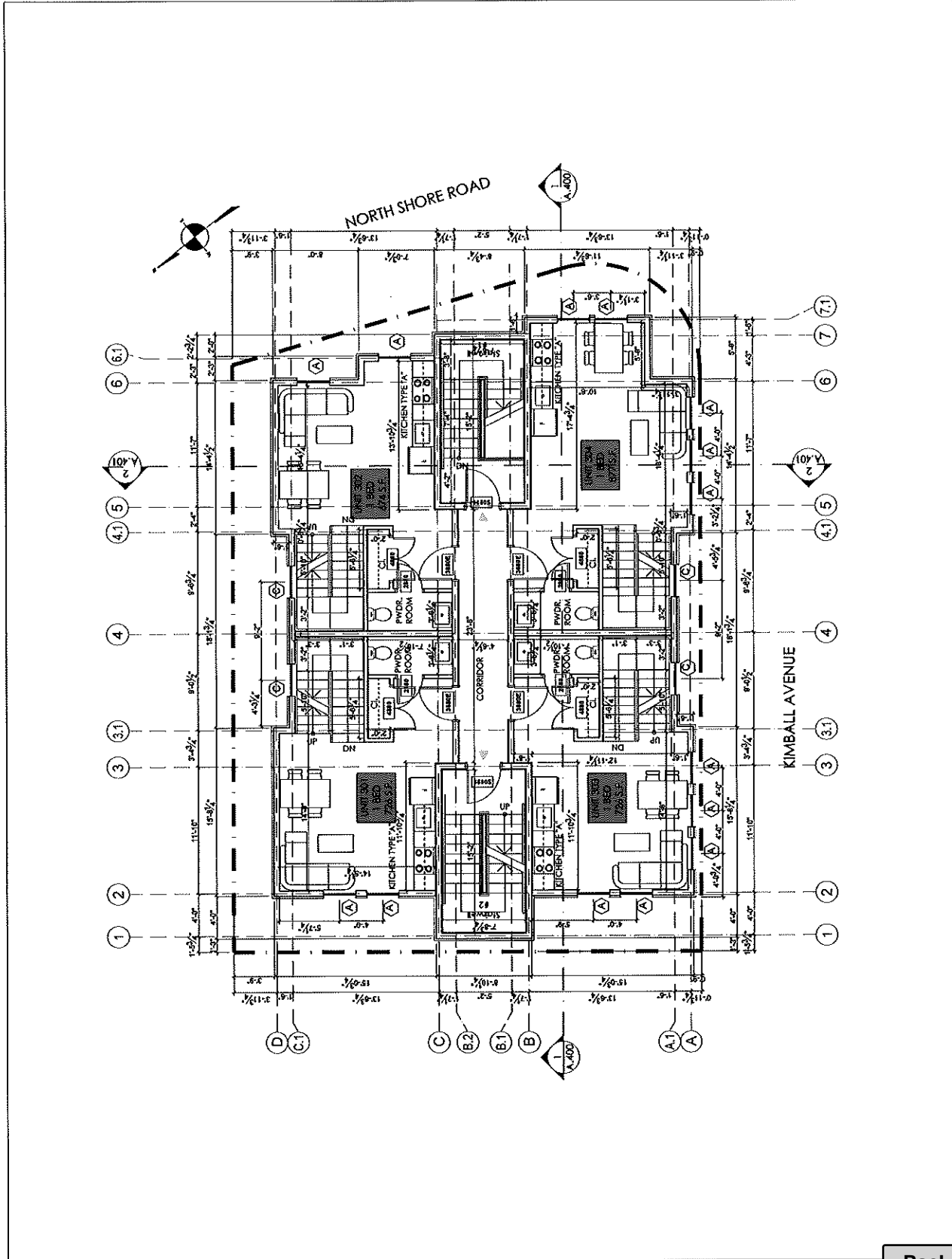
COMMERCIAL RESIDENTIAL HOSPITALITY
 200 W. 30th STREET,
 NEW YORK, NY 10018

CLIENT INFORMATION
 Eastern Equity Partners, LLC
 P.O. Box 365
 Revere, MA 02151

PROJECT LOCATION
 1473 North Shore Road,
 Revere, MA 02151, USA


DRAWING TITLE
 3rd. LEVEL
 FLOOR PLAN

SCALE 1/4" = 1'-0"
DATE September 2023
PROJECT NO.
REVISION NO. /A
DRAWN BY
DRAWING NO. A-103
VERIFIED BY



Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

02 11.16.2023	ISSUED FOR REVIEW
04 10.13.2023	ISSUED FOR REVIEW
03 10.03.2023	ISSUED FOR REVIEW
02 10.28.2023	ISSUED FOR REVIEW
01 10.28.2023	ISSUED FOR INFORMATION
NO. 1	ARCHITECT
NO. 2	SEAL



CLIENT INFORMATION

COMMERCIAL RESIDENTIAL HOSPITALITY
 2200 WASHINGTON STREET,
 REVERE, MA 02151, MA 02151

CLIENT: Eastern Equity Partners, LLC
 P.O. Box 365
 Revere, MA 02151

PROJECT LOCATION:
 1473 North Shore Road,
 Revere, MA 02151, USA

DRAWING TITLE:
 4th. LEVEL
 FLOOR PLAN

SCALE: 1/4" = 1'-0"

DATE: September 2023

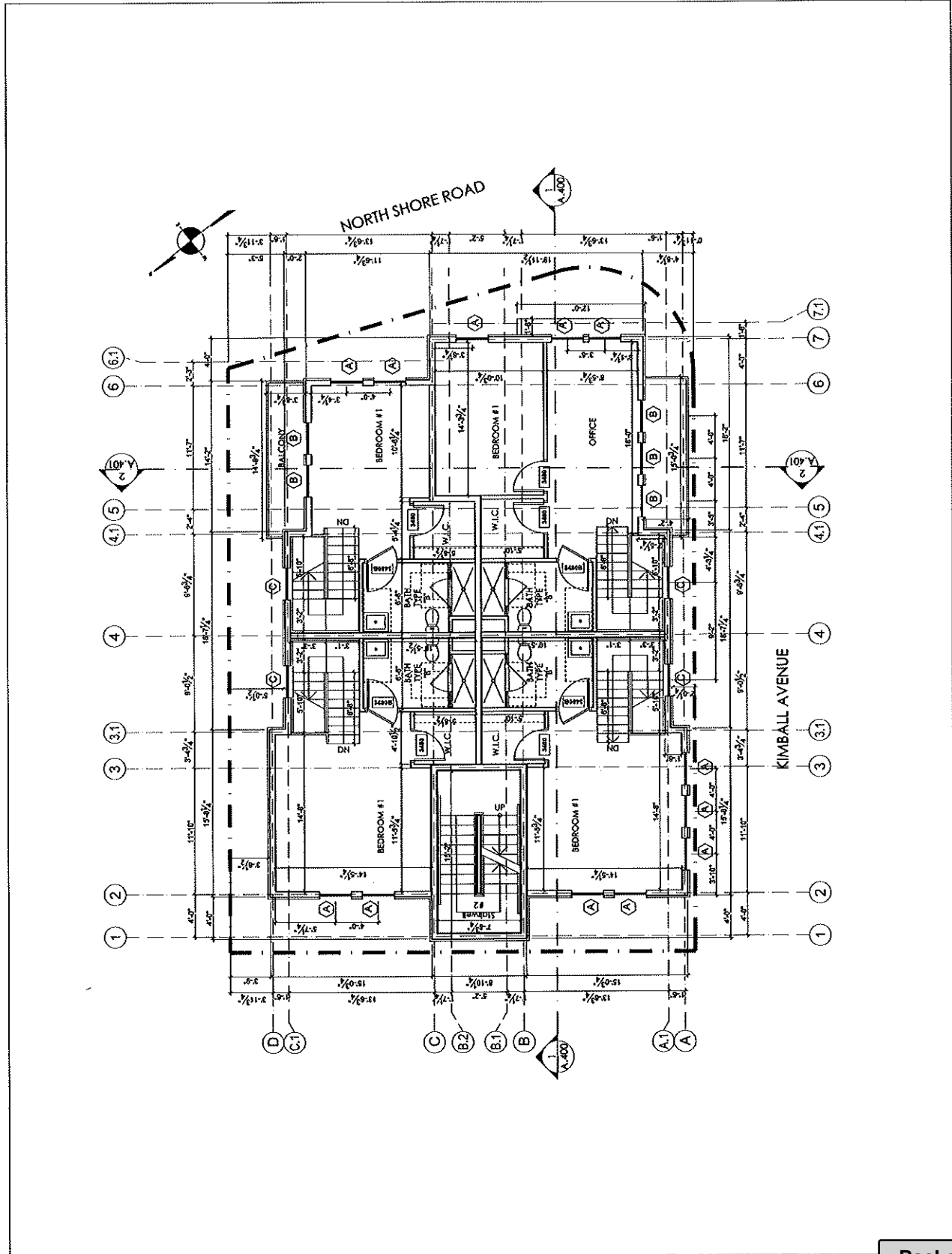
PROJECT NO.:

REVISION NO.:

DRAWN BY:

VERIFIED BY:


A-104



Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

01	11.18.2023	ISSUED FOR REVIEW
04	10.13.2023	ISSUED FOR REVIEW
03	10.2.2023	ISSUED FOR REVIEW
02	9.28.2023	ISSUED FOR REVIEW
01	8.28.2023	ISSUED FOR INFORMATION

DATE: 11/18/2023
 ARCHITECT'S SEAL:



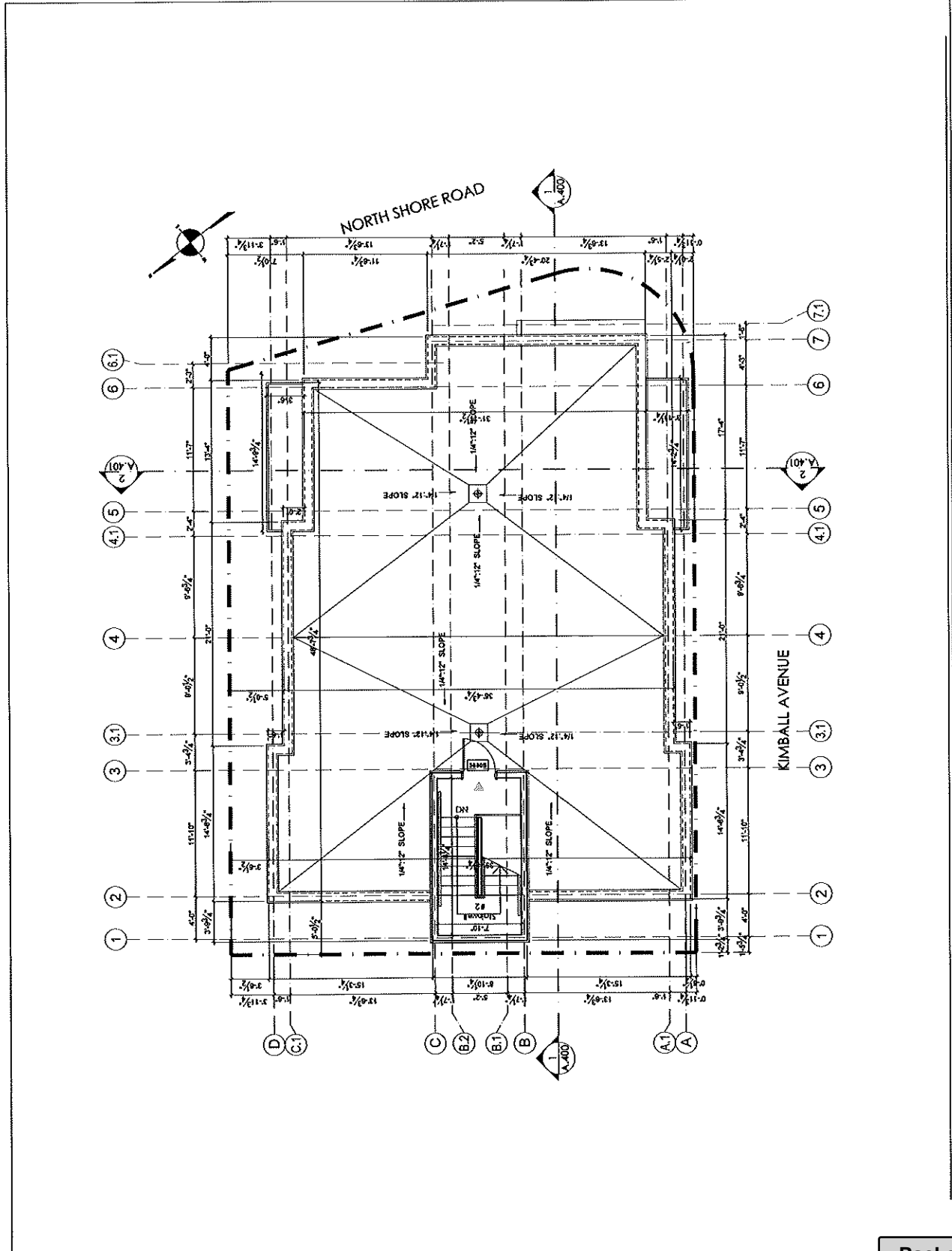
COMMERCIAL RESIDENTIAL HOSPITALITY
 Eastern Equity Partners, LLC
 P.O. Box 365
 Revere, MA 02151

CLIENT INFORMATION
 Eastern Equity Partners, LLC
 P.O. Box 365
 Revere, MA 02151


PROJECT LOCATION
 1473 North Shore Road,
 Revere, MA 02151, USA

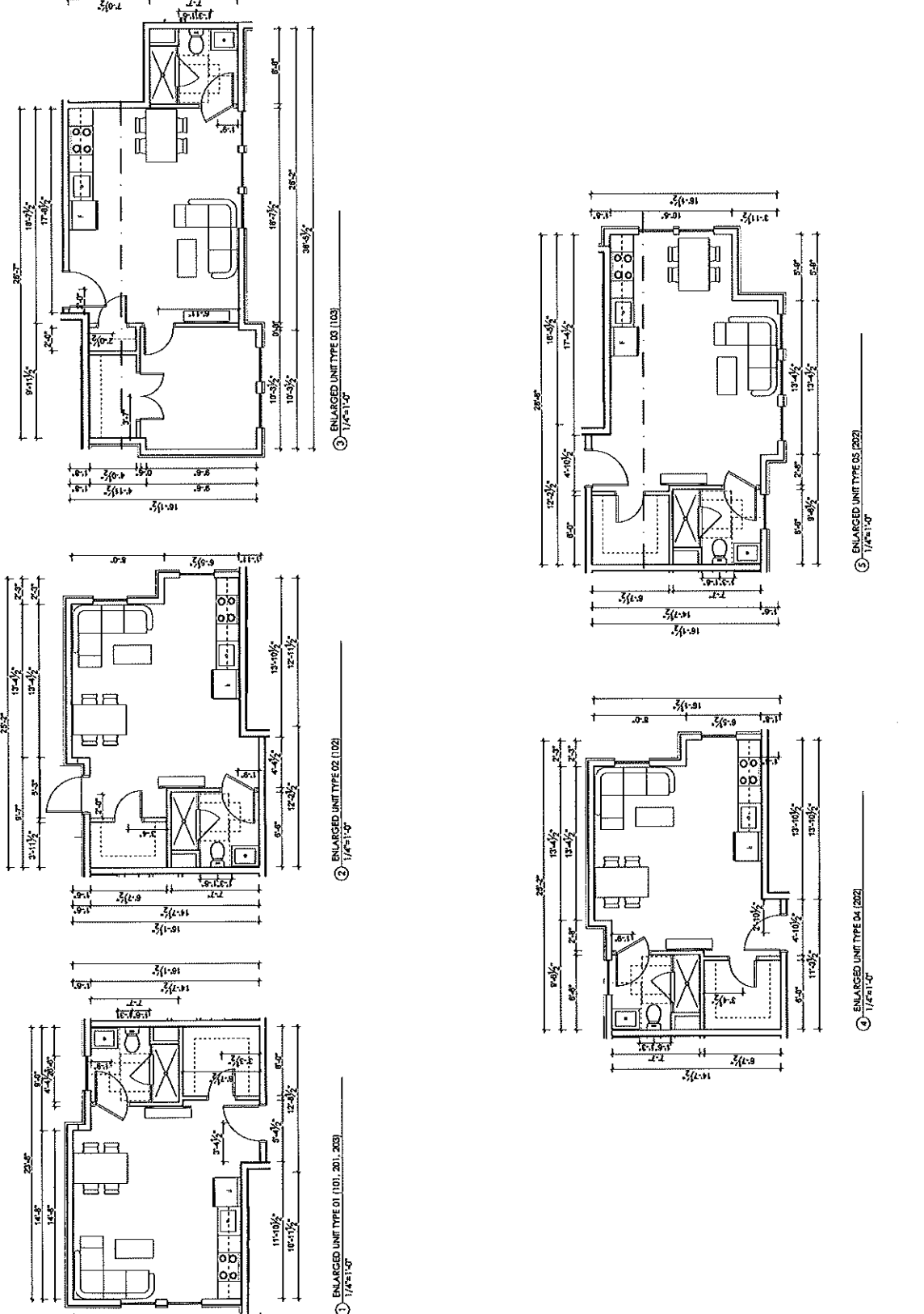
DRAWING TITLE
ROOF PLAN

SCALE: 1/4" = 1'-0"
 DATE: September 2023
 PROJECT NO.:
 REVISION NO.:
 DRAWN BY:
 VERIFIED BY:
A-105



Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

02	11.10.2023	ISSUED FOR REVIEW
04	10.13.2023	ISSUED FOR REVIEW
03	10.5.2023	ISSUED FOR REVIEW
02	9.29.2023	ISSUED FOR REVIEW
01	9.28.2023	ISSUED FOR INFORMATION
DATE	10/10/2023	REVISION
ARCHITECT'S SEAL:		
		
COMMERCIAL RESIDENTIAL HOSPITALITY 2000 150th STREET, WILMINGTON, MA 01897 TEL: 978.254.2222 WWW.COMMERCIALRESIDENTIALHOSPITALITY.COM		
CLIENT INFORMATION Eastern Equity Partners, LLC P.O. Box 365 Revere, MA 02151		
PROJECT LOCATION 1473 North Shore Road, Revere, MA 02151, USA		
DRAWING TITLE		
ENLARGED UNIT PLANS		
SCALE	DATE	REVISION NO.
1/4"=1'-0"	September 2023	
PROJECT NO.	DRAWN BY	VERIFIED BY
		A-110




① ENLARGED UNIT TYPE 01 (101, 201, 301)
1/4"=1'-0"

② ENLARGED UNIT TYPE 02 (102)
1/4"=1'-0"

③ ENLARGED UNIT TYPE 03 (103)
1/4"=1'-0"

④ ENLARGED UNIT TYPE 04 (202)
1/4"=1'-0"

06 11.16.2023	ISSUED FOR REVIEW
04 10.13.2023	ISSUED FOR REVIEW
03 10.03.2023	ISSUED FOR REVIEW
02 09.29.2023	ISSUED FOR REVIEW
01 09.28.2023	ISSUED FOR INFORMATION
M.S. MERRILL, AIA	ARCHITECT'S SEAL:

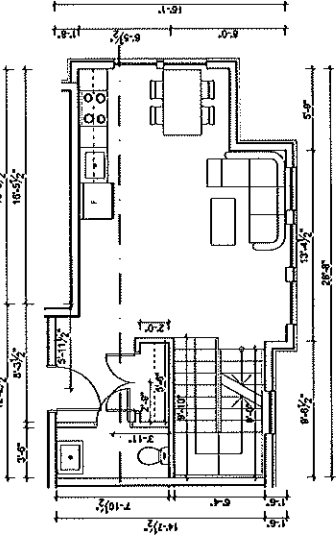


CLIENT INFORMATION
COMMERCIAL HOSPITALITY PARTNERS, LLC
 Eastern Equity Partners, LLC
 P.O. Box 365
 1473 North Shore Road
 Revere, MA 02151

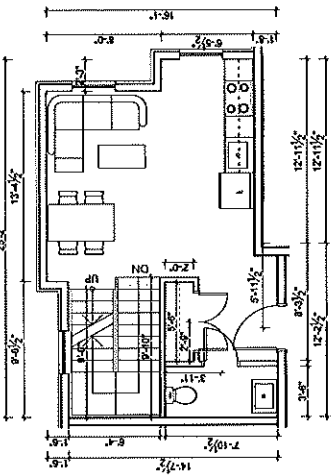
PROJECT LOCATION
 1473 North Shore Road,
 Revere, MA 02151, USA

DRAWING TITLE
ENLARGED UNIT PLANS

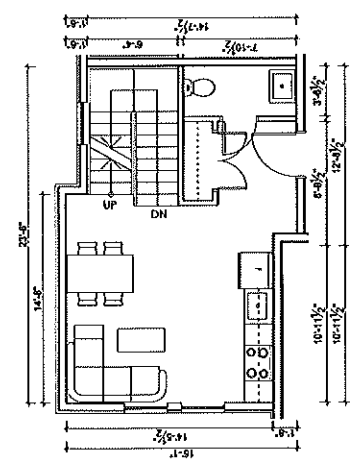
SCALE	1/4"=1'-0"	DATE	SEPTEMBER 2023
PROJECT NO.		REVISION NO.	A
DRAWN BY		DRAWING NO.	A-120
CHECKED BY			



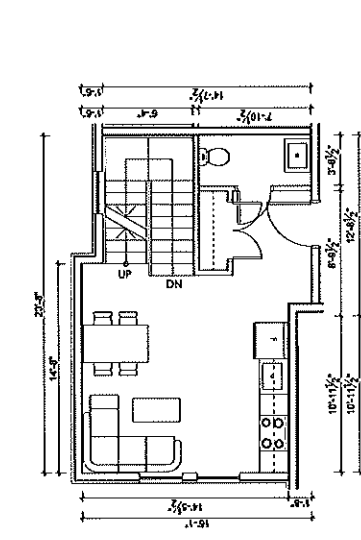
④ ENLARGED UNIT TYPE 06 (300)
1/4"=1'-0"



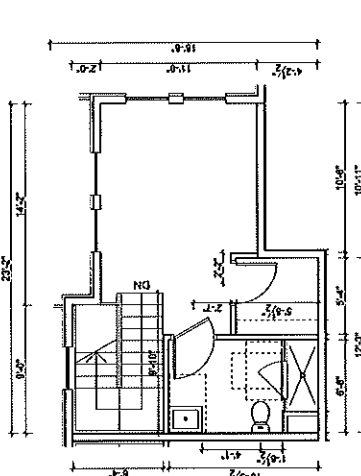
⑤ ENLARGED UNIT TYPE 07 (302)
1/4"=1'-0"



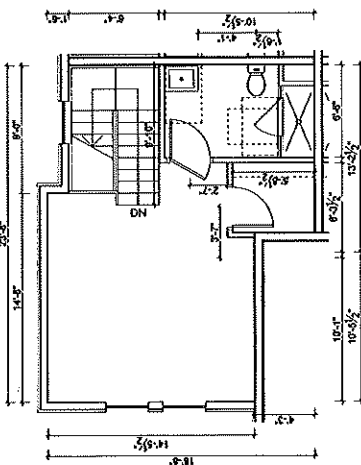
⑥ ENLARGED UNIT TYPE 08 (304)
1/4"=1'-0"



⑦ ENLARGED UNIT TYPE 09 (301)
1/4"=1'-0"



⑧ ENLARGED UNIT TYPE 10 (303)
1/4"=1'-0"



⑨ ENLARGED UNIT TYPE 11 (305)
1/4"=1'-0"

05 11.16.2023	ISSUED FOR REVIEW
04 10.13.2023	ISSUED FOR REVIEW
03 10.4.2023	ISSUED FOR REVIEW
02 10.29.2023	ISSUED FOR REVIEW
01 09.28.2023	ISSUED FOR INFORMATION

SCALE: 1/4"=1'-0"

DATE: Summer 2023

PROJECT NO.:

REVISION NO. A

DRAWN BY:

VERIFIED BY:

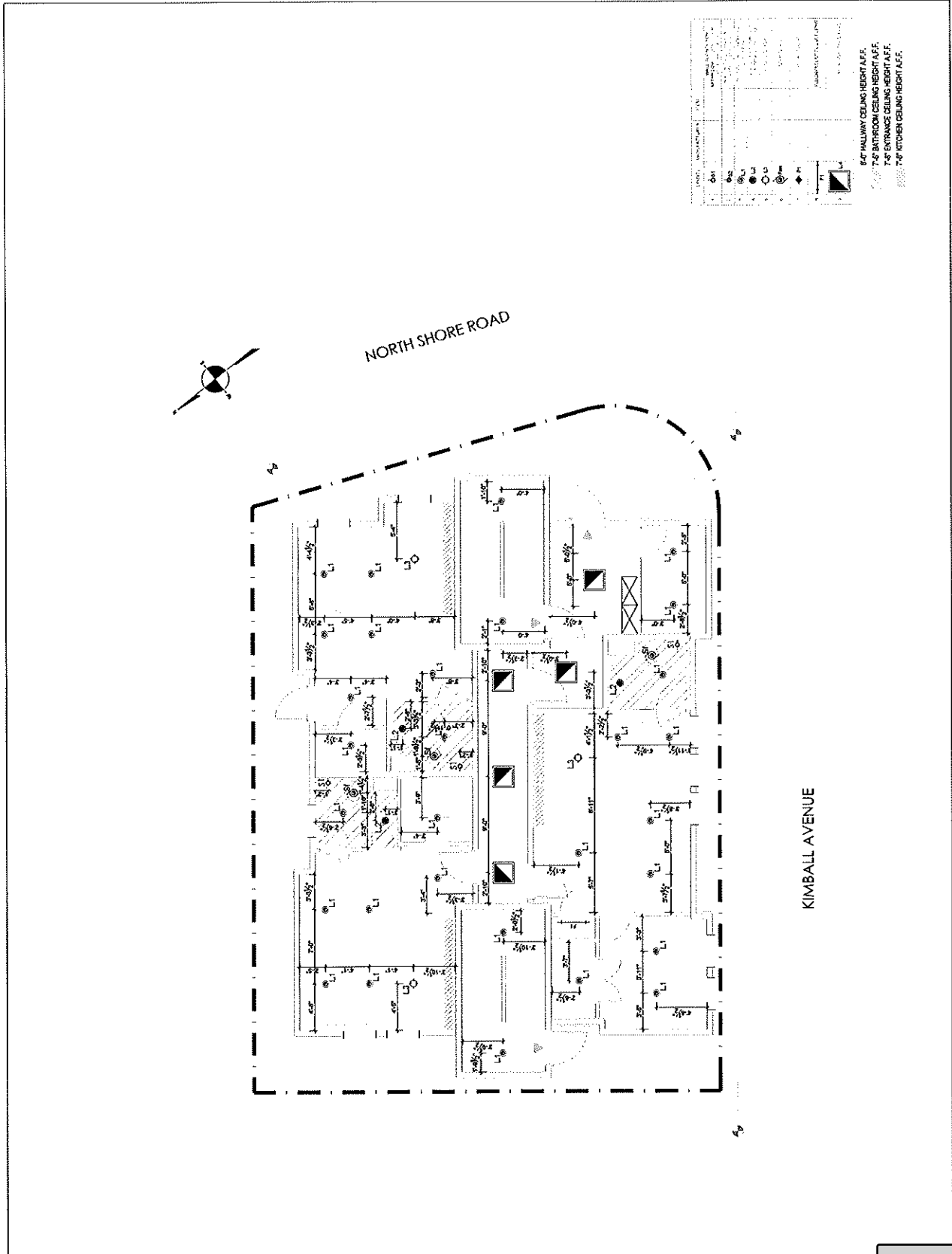
A-201



CLIENT INFORMATION
 Eastern Equity Partners, LLC
 P.O. Box 385
 Revere, MA 02151

PROJECT LOCATION
 1473 North Shore Road,
 Revere, MA 02151, USA

DRAWING TITLE
 REFLECTED
 CEILING PLAN
 GROUND LEVEL




NO.	DESCRIPTION	DATE
1	ISSUED FOR INFORMATION	09/28/23
2	ISSUED FOR REVIEW	10/29/23
3	ISSUED FOR REVIEW	10/04/23
4	ISSUED FOR REVIEW	10/13/23
5	ISSUED FOR REVIEW	11/16/23

- 8'-0" HALLWAY CEILING HEIGHT AFF.
- 7'-6" BATHROOM CEILING HEIGHT AFF.
- 7'-0" ENTRANCE CEILING HEIGHT AFF.
- 7'-0" KITCHEN CEILING HEIGHT AFF.

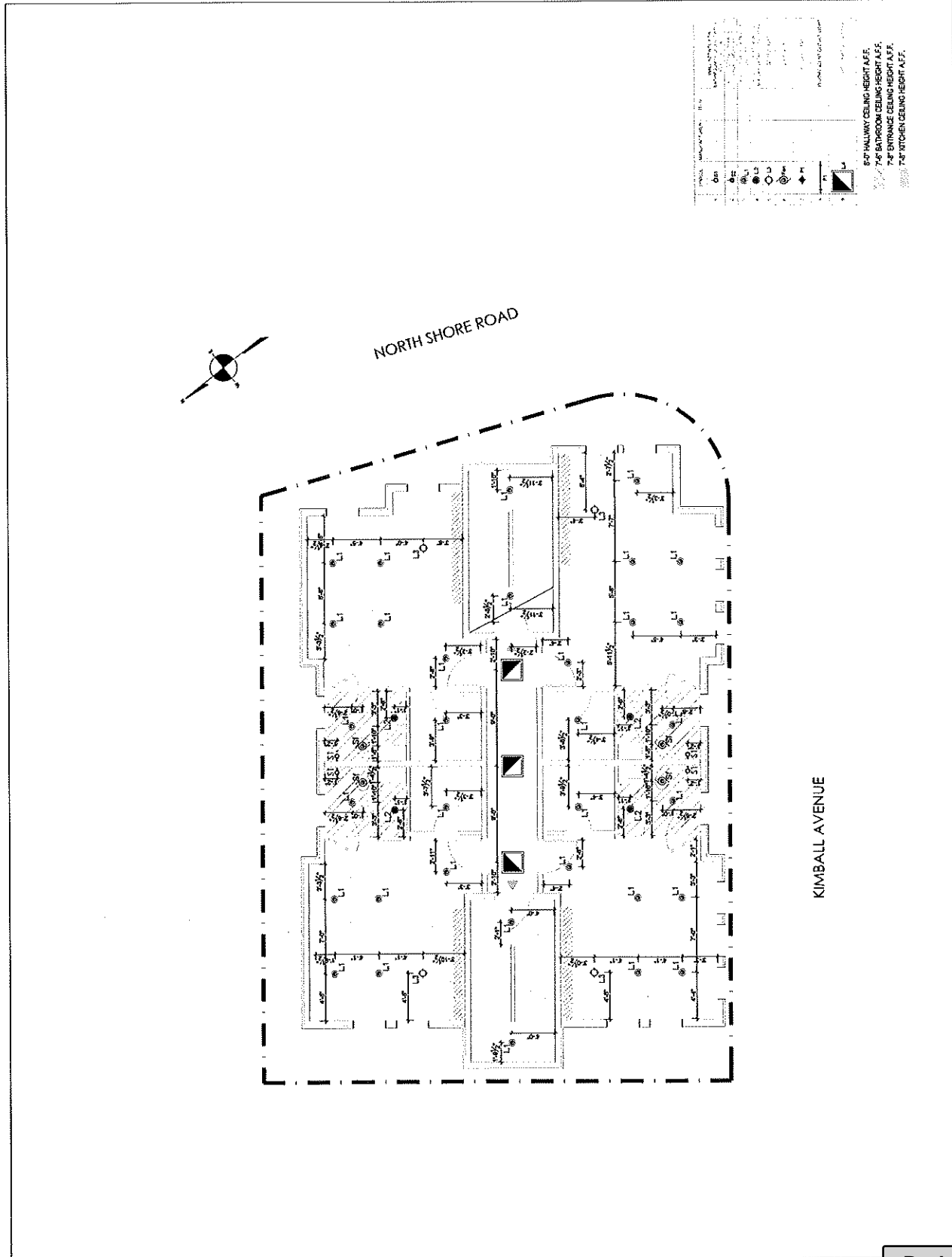
Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

02 11.16.2023	ISSUED FOR REVIEW
04 10.13.2023	ISSUED FOR REVIEW
05 10.5.2023	ISSUED FOR REVIEW
02 09.29.2023	ISSUED FOR REVIEW
01 09.28.2023	ISSUED FOR INFORMATION



	COMMERCIAL RESIDENTIAL HOSPITALITY 300 W. MAIN STREET, REVERE, MA 02151 TEL: 781-965-5225
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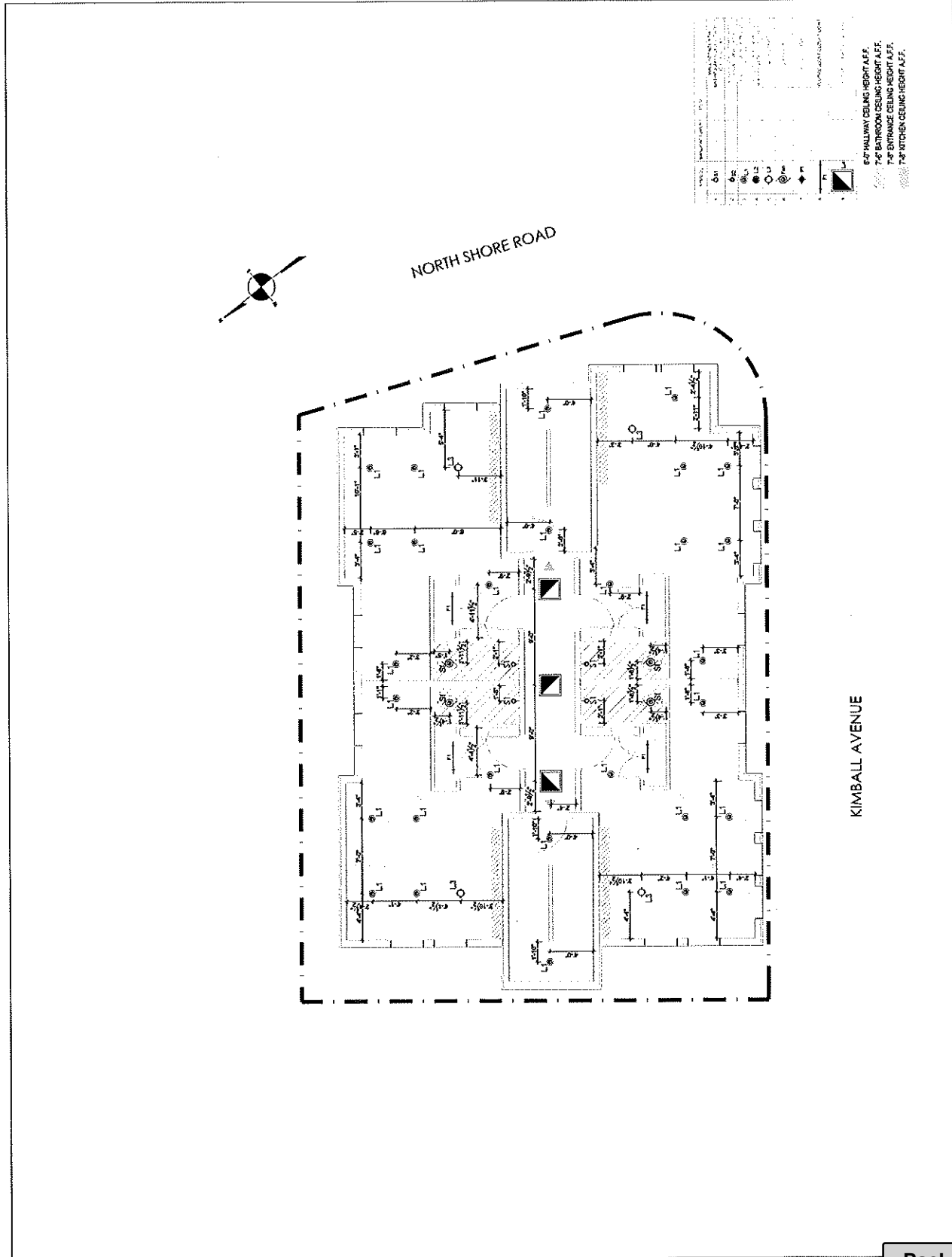
CLIENT INFORMATION Eastern Equity Partners, LLC P.O. Box 365 Revere, MA 02151	PROJECT LOCATION 1473 North Shore Road, Revere, MA 02151, USA
---	--

DRAWING TITLE REFLECTED CEILING PLAN 2ND LEVEL	SCALE 1/4"=1'-0"
DATE SEPTEMBER 2023	PROJECT NO. 24-028
REVISION NO. A	DRAWN BY [Name]
DRAWING NO. A-202	VERIFIED BY [Name]



Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)


05	11.18.2023	ISSUED FOR REVIEW
04	10.13.2023	ISSUED FOR REVIEW
03	10.13.2023	ISSUED FOR REVIEW
02	09.28.2023	ISSUED FOR REVIEW
01	09.28.2023	ISSUED FOR INFORMATION
ARCHITECT'S SEAL:		
		
 COMMERCIAL RESIDENTIAL HOSPITALITY 345 SOUTH STREET, WILMINGTON, MA 01897		
CLIENT INFORMATION Eastern Equity Partners, LLC P.O. Box 365 Revere, MA 02151		
PROJECT LOCATION 1473 North Shore Road, Revere, MA 02151, USA		
DRAWING TITLE REFLECTED CEILING PLAN 3RD LEVEL		
SCALE	1/4"=1'-0"	DATE
PROJECT NO.		REVISION NO.
DRAWN BY		DRAWING NO.
VERIFIED BY		A-203



Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

05 11.16.2023	ISSUED FOR REVIEW
04 10.13.2023	ISSUED FOR REVIEW
03 10.2.2023	ISSUED FOR REVIEW
02 09.29.2023	ISSUED FOR REVIEW
01 08.24.2023	ISSUED FOR INFORMATION

ARCHITECT'S SEAL:



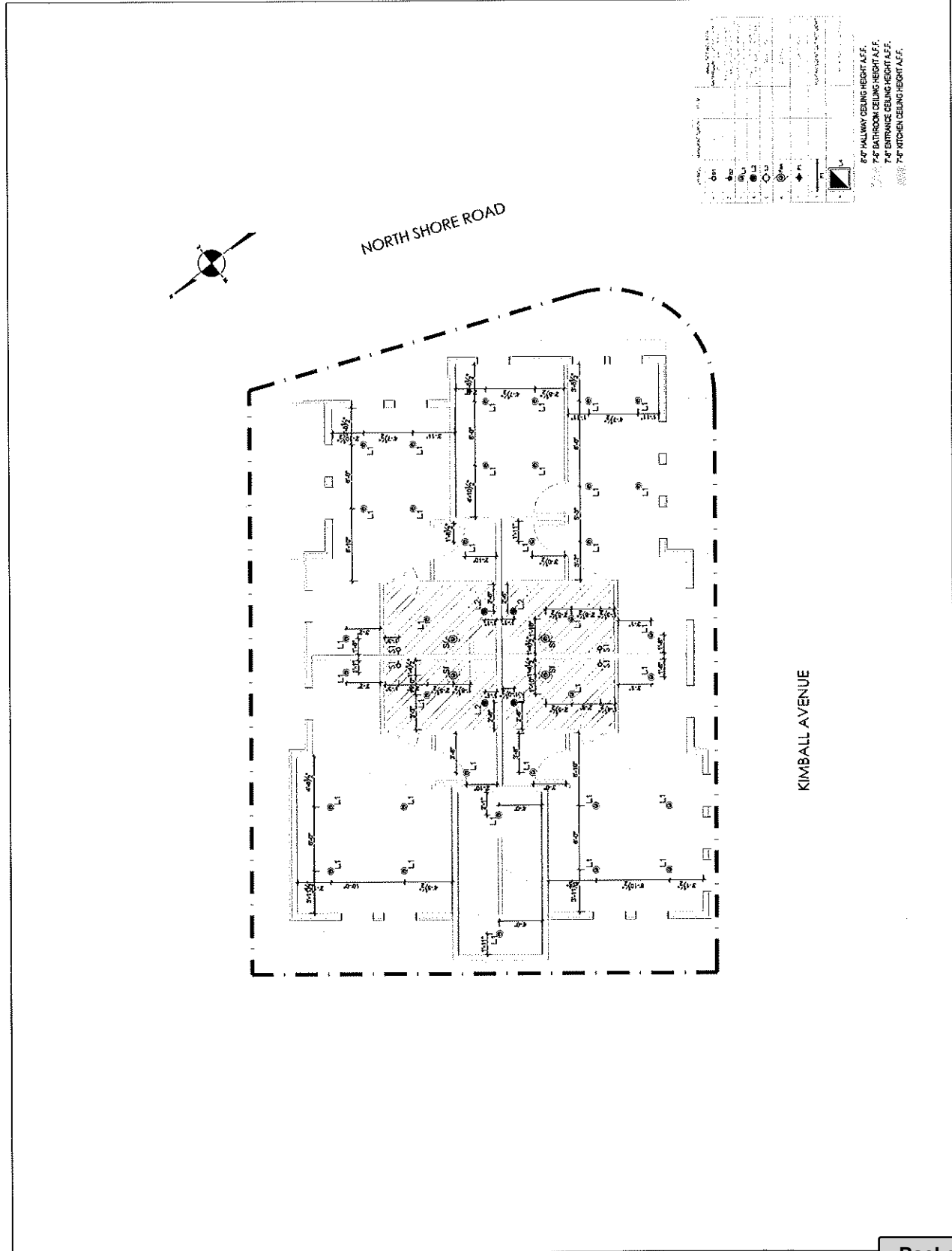
COMMERCIAL RESIDENTIAL HOSPITALITY
 200 WESTON STREET,
 WESTON, MA 02458

CLIENT INFORMATION
 Eastern Equity Partners, LLC
 P.O. Box 365
 Revere, MA 02151

PROJECT LOCATION
 1473 North Shore Road,
 Revere, MA 02151, USA

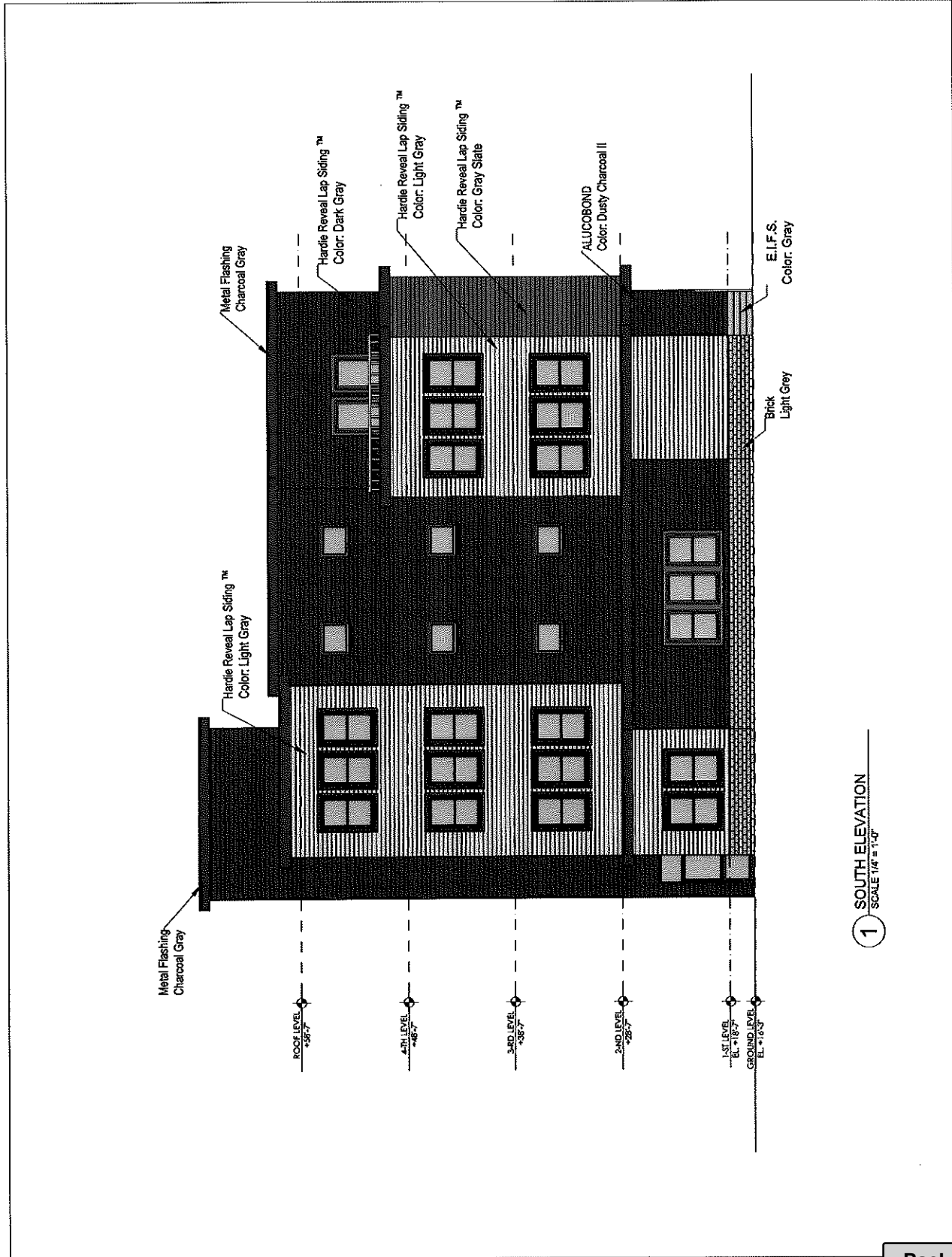
DRAWING TITLE
 REFLECTED
 CEILING PLAN
 4TH LEVEL

SCALE 1/4"=1'-0"
DATE September 2023
PROJECT NO.
REVISION NO.
DRAWN BY
VERIFIED BY A-204



05 11-18-2023	ISSUED FOR REVIEW
04 10-13-2023	ISSUED FOR REVIEW
03 10-04-2023	ISSUED FOR REVIEW
02 09-29-2023	ISSUED FOR REVIEW
01 09-28-2023	ISSUED FOR INFORMATION

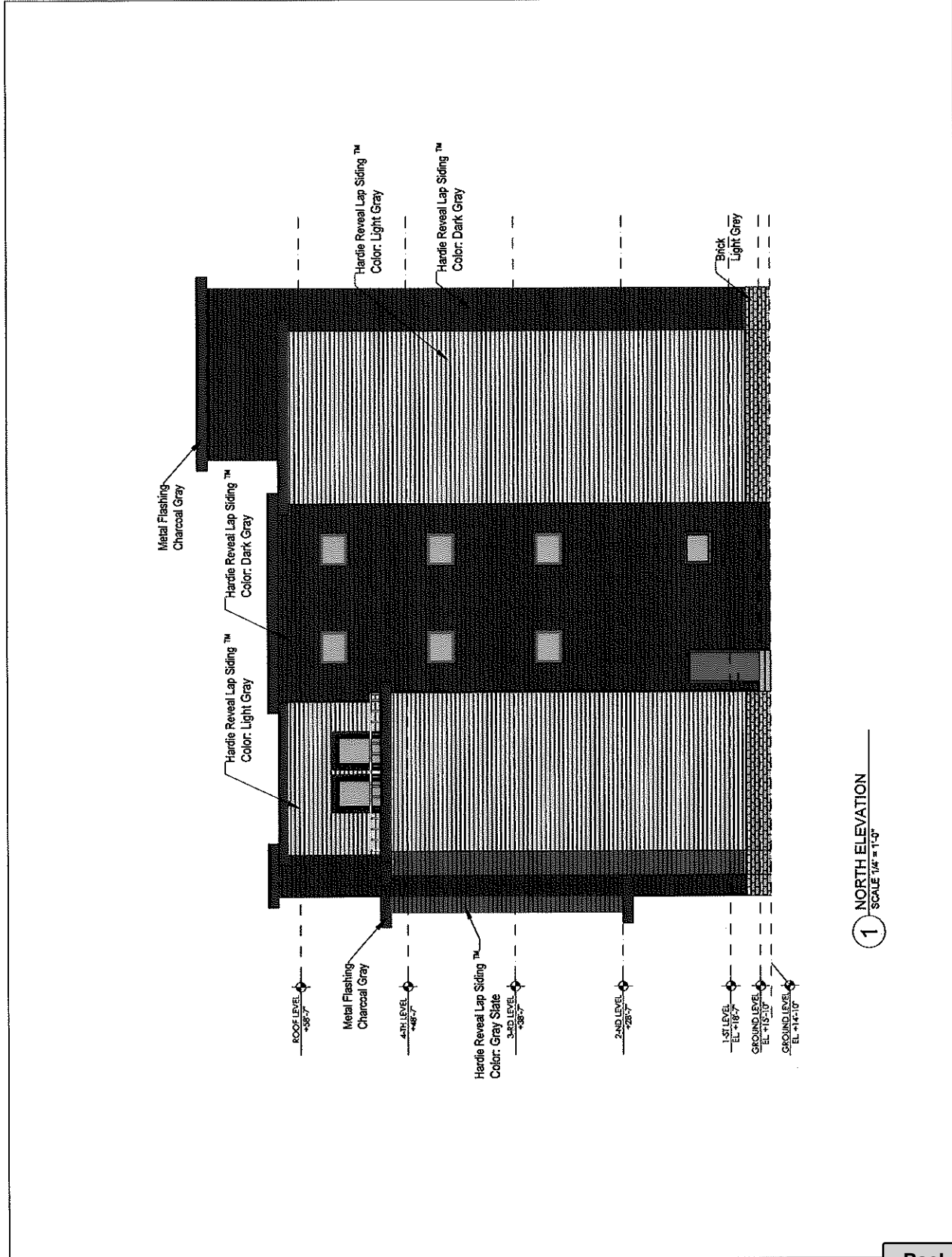
	COMMERCIAL RESIDENTIAL HOSPITALITY Eastern Equity Partners, LLC P.O. Box 365 Revere, MA 02151
ARCHITECT'S SEAL:	CLIENT INFORMATION PROJECT LOCATION 1473 North Shore Road, Revere, MA 02151, USA
DRAWING TITLE SOUTH ELEVATION	
SCALE 1/8" = 1'-0"	DATE September 2023
PROJECT NO.	REVISION NO.
DRAWN BY	CHECKED BY
VERIFIED BY	A-300



Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)


02 11.16.2023	ISSUED FOR REVIEW
04 10.13.2023	ISSUED FOR REVIEW
02 10.13.2023	ISSUED FOR REVIEW
02 08.29.2023	ISSUED FOR INFORMATION
01 08.29.2023	ISSUED FOR INFORMATION

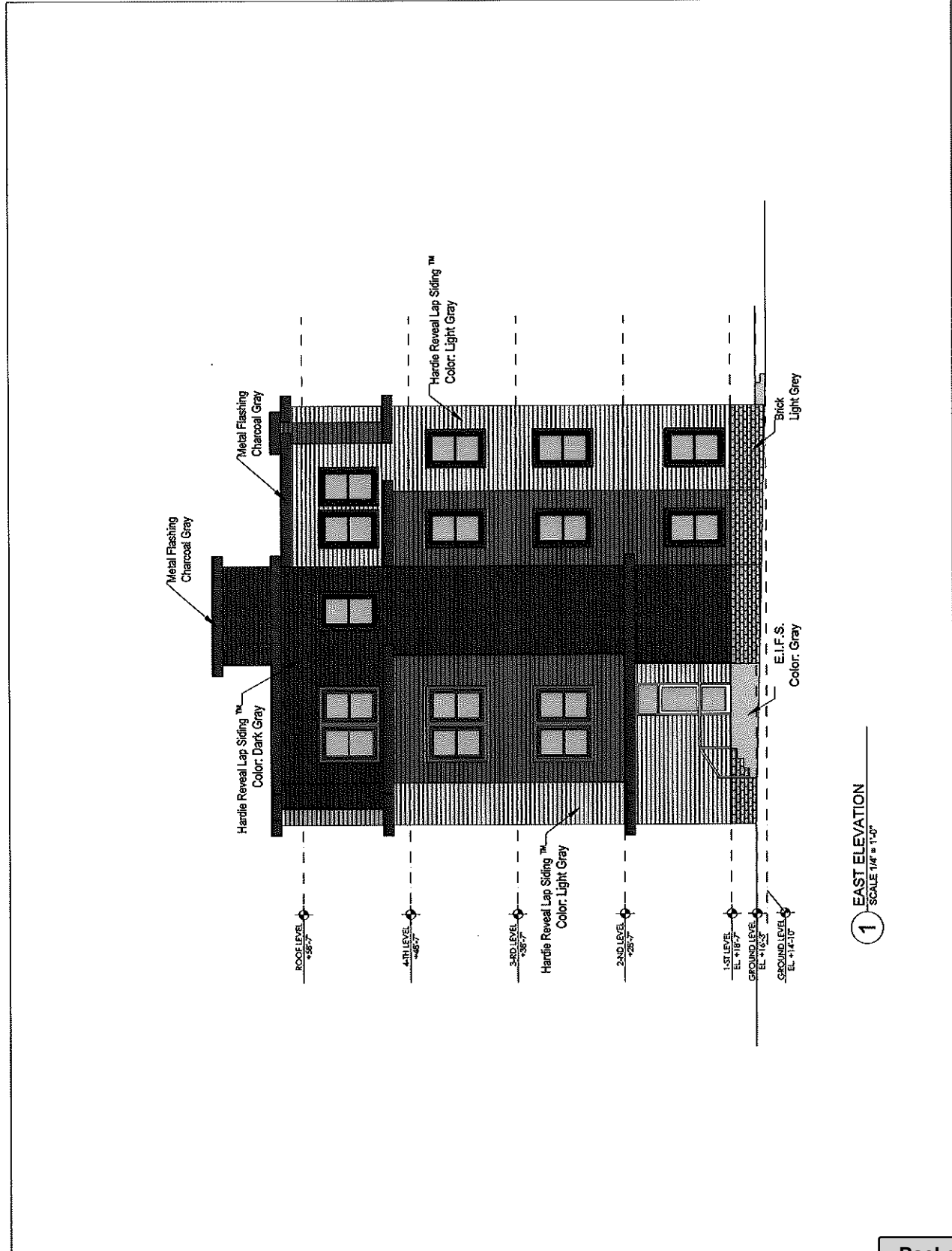
COMMERCIAL RESIDENTIAL HOSPITALITY 1473 NORTH SHORE ROAD REVERE, MA 02151 TEL: 781.326.5275
CLIENT INFORMATION Eastern Equity Partners, LLC P.O. Box 365 Revere, MA 02151
PROJECT LOCATION 1473 North Shore Road, Revere, MA 02151, USA
DRAWING TITLE NORTH ELEVATION
SCALE 1/4"=1'-0" DATE SEPTEMBER 2023 REVISION NO. /A/
DRAWN BY VERIFIED BY A-301





1 NORTH ELEVATION
SCALE 1/4" = 1'-0"

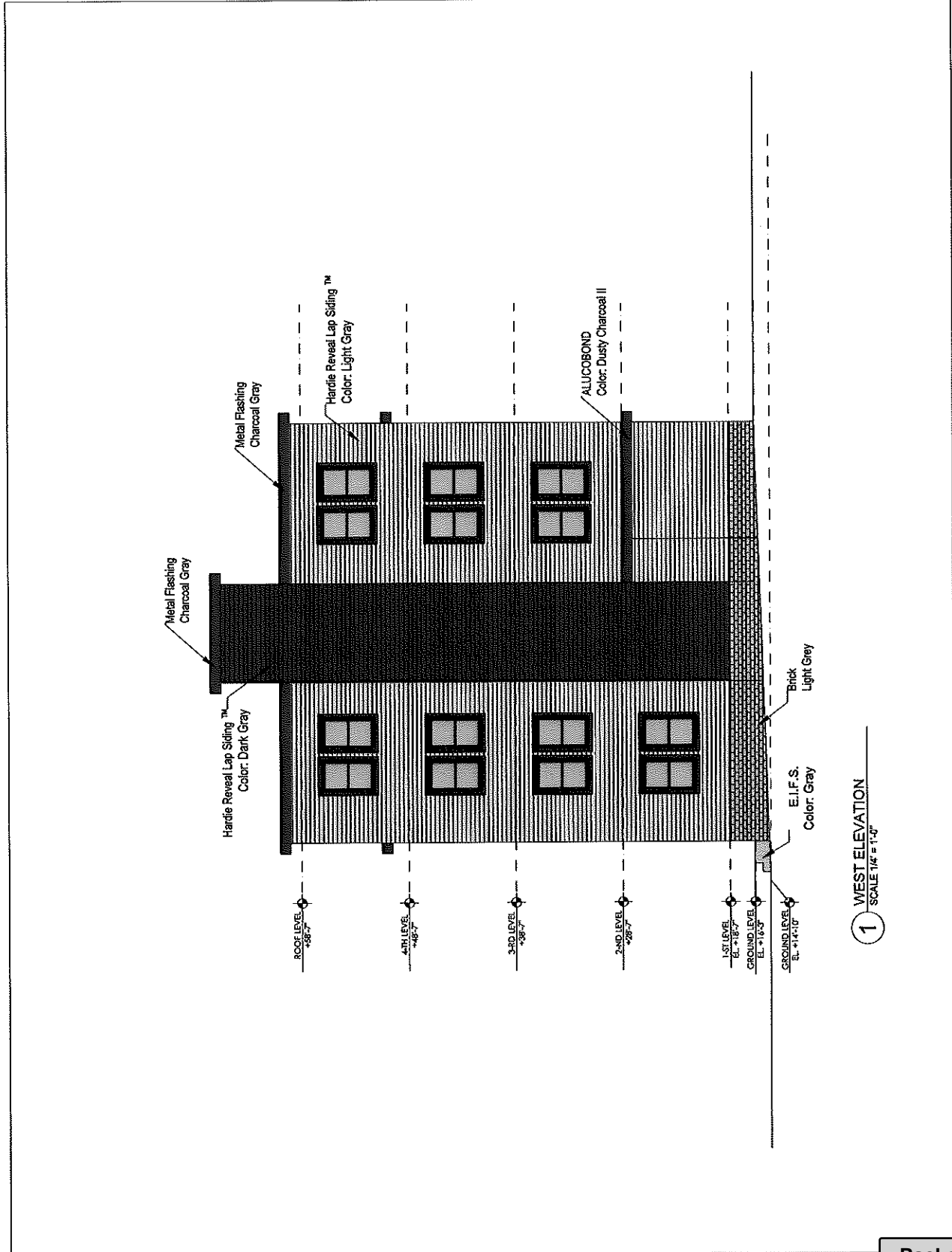
Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

05	11.16.2023	ISSUED FOR REVIEW
04	10.13.2023	ISSUED FOR REVIEW
03	10.2.2023	ISSUED FOR REVIEW
02	9.29.2023	ISSUED FOR REVIEW
01	8.28.2023	ISSUED FOR INFORMATION
ARCHITECT'S SEAL: 		
CLIENT INFORMATION COMMERCIAL RESIDENTIAL HOSPITALITY 330 NORTON STREET, REVERE, MA 02151 COMMUNICATIONS DEPARTMENT		
PROJECT INFORMATION Eastern Equity Partners, LLC P.O. Box 365 Revere, MA 02151 1473 North Shore Road, Revere, MA 02151, USA		
DRAWING TITLE EAST ELEVATION		
SCALE	DATE	REVISION NO.
1/4" = 1'-0"	September 2023	
DRAWN BY	DRAWING NO.	VERIFIED BY
	A-302	





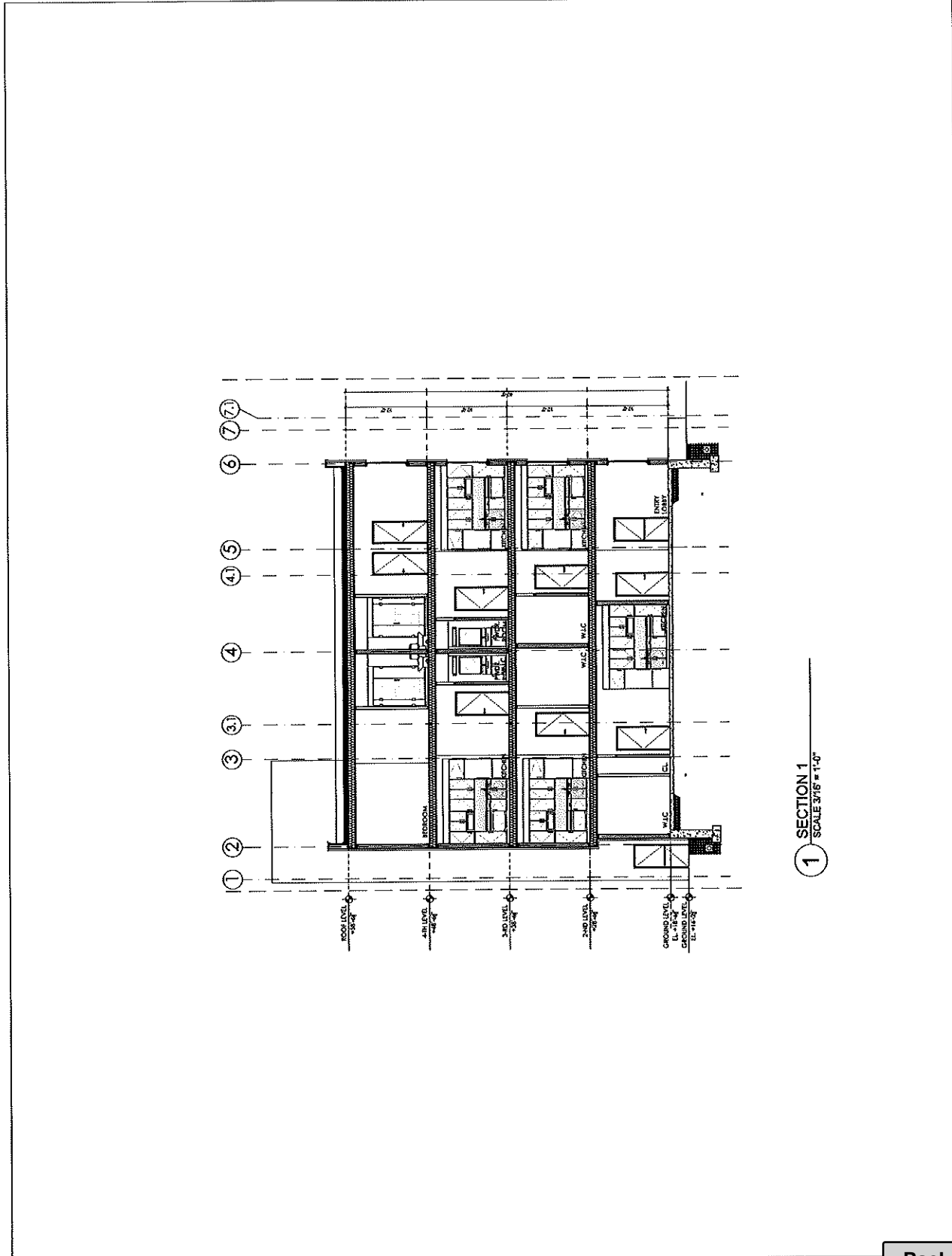
Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

01 11.16.2023	ISSUED FOR REVIEW
04 10.13.2023	ISSUED FOR REVIEW
03 10.13.2023	ISSUED FOR REVIEW
02 09.29.2023	ISSUED FOR REVIEW
01 09.29.2023	ISSUED FOR INFORMATION
DATE	DESCRIPTION
ARCHITECT'S SEAL:	
	
 COMMERCIAL RESIDENTIAL HOSPITALITY 200 WEST BROAD STREET, REVERE, MA 02151 TEL: 781.271.4600	
CLIENT INFORMATION: Eastern Equity Partners, LLC P.O. Box 365 Revere, MA 02151	
PROJECT LOCATION: 1473 North Shore Road, Revere, MA 02151, USA	
DRAWING TITLE: WEST ELEVATION	
SCALE 1/4" = 1'-0"	DATE September 2023
PROJECT NO.	REVISION NO.
DRAWN BY	DRAWING NO.
VERIFIED BY	A-303




Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

05	11.18.2023	ISSUED FOR REVIEW
04	10.13.2023	ISSUED FOR REVIEW
03	10.5.2023	ISSUED FOR REVIEW
02	09.29.2023	ISSUED FOR REVIEW
01	09.28.2023	ISSUED FOR INFORMATION
ARCHITECT'S SEAL:		
		
 COMMERCIAL RESIDENTIAL HOSPITALITY EASTERN EQUITY PARTNERS, LLC P.O. Box 365 REVERE, MA 02151		
CLIENT INFORMATION Eastern Equity Partners, LLC P.O. Box 365 Revere, MA 02151		
PROJECT LOCATION 1473 North Shore Road, Revere, MA 02151, USA		
DRAWING TITLE		
BUILDING SECTION		
SCALE	DATE	REVISION NO.
3/16" = 1'-0"	September 2023	
PROJECT NO.	DRAWN BY	DRAWING NO.
		A-400
VERIFIED BY		



03	11.18.2023	ISSUED FOR REVIEW
04	10.13.2023	ISSUED FOR REVIEW
05	11.5.2023	ISSUED FOR REVIEW
02	9.29.2023	ISSUED FOR REVIEW
01	9.29.2023	ISSUED FOR INFORMATION

ARCHITECT'S SEAL:



COMMERCIAL RESIDENTIAL HOSPITALITY
 3400 NORTH SHORE ROAD, SUITE 200, REVERE, MA 02151, USA
 TEL: 617-489-5875

CLIENT INFORMATION
COMMERCIAL RESIDENTIAL HOSPITALITY
 Eastern Equity Partners, LLC
 P.O. Box 365
 Revere, MA 02151

PROJECT LOCATION
 1473 North Shore Road,
 Revere, MA 02151, USA

DRAWING TITLE
BUILDING SECTION

SCALE
 3/16" = 1'-0"

DATE
 September 2023

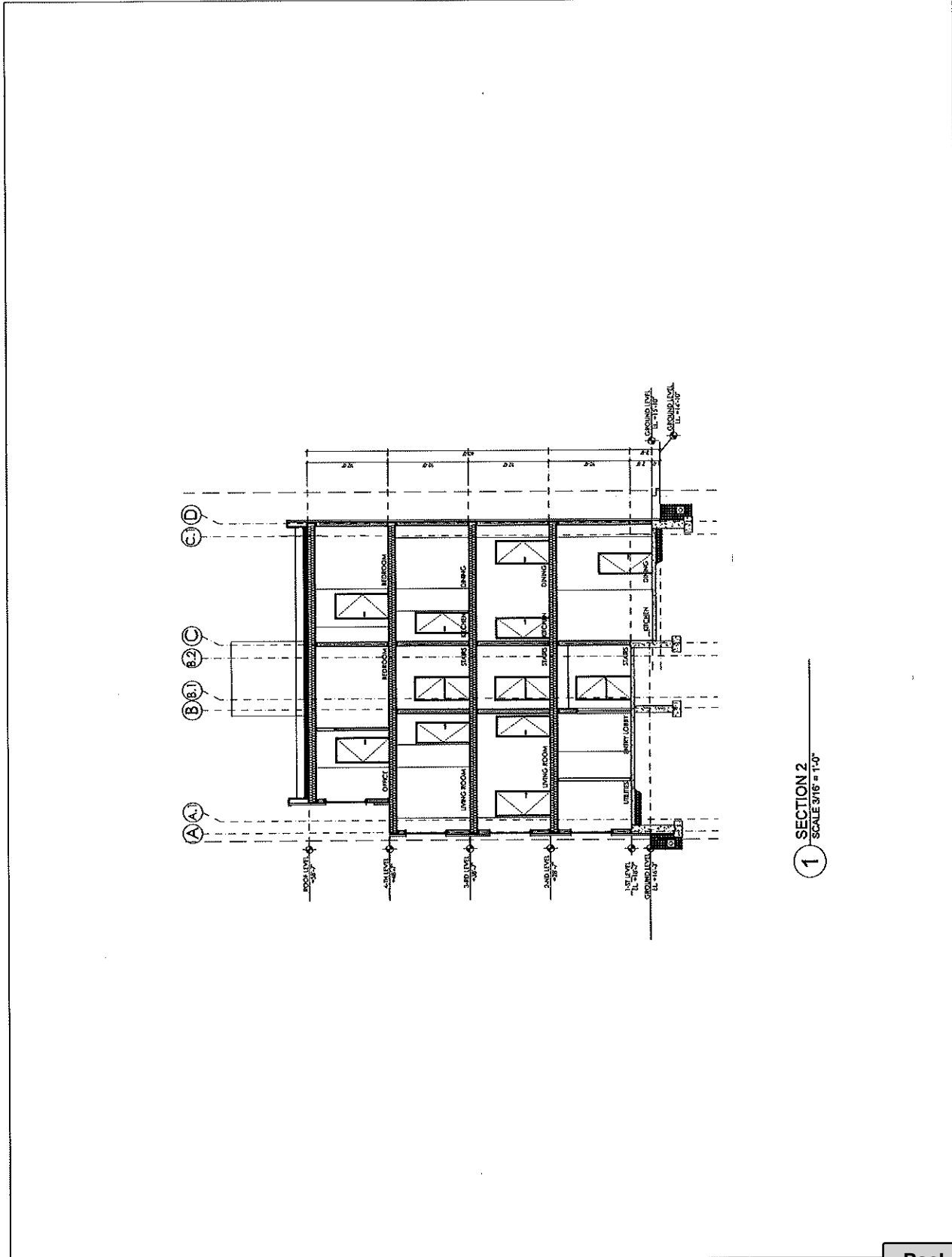
PROJECT NO.
 24-028

REVISION NO.
 A

DRAWN BY

DESIGNED BY


VERIFIED BY
 A.401



Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

05 11.14.2023	ISSUED FOR REVIEW
04 10.13.2023	ISSUED FOR REVIEW
03 10.12.2023	ISSUED FOR REVIEW
02 09.29.2023	ISSUED FOR REVIEW
01 09.29.2023	ISSUED FOR INFORMATION

ARCHITECT'S SEAL:

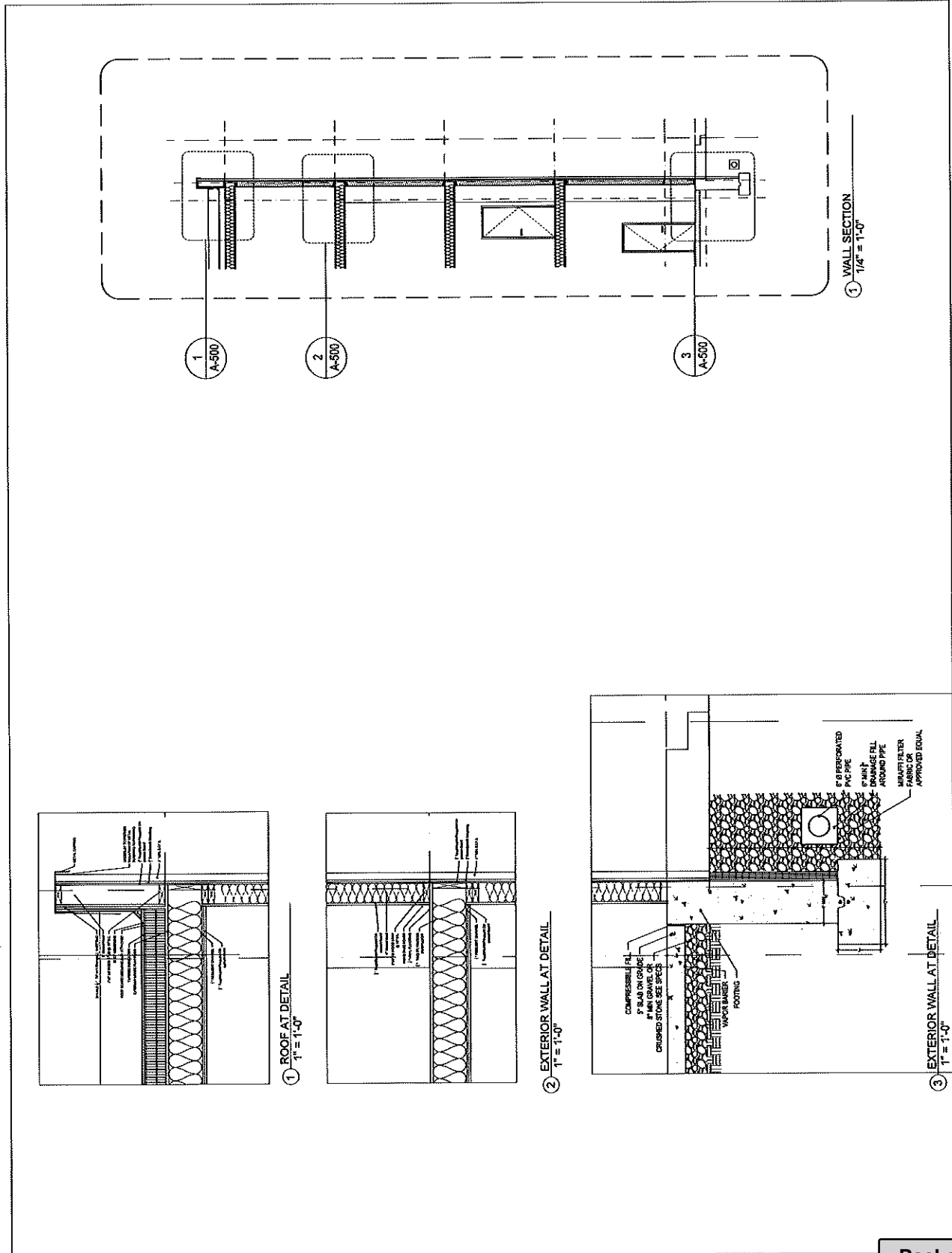


COMMERCIAL RESIDENTIAL HOSPITALITY
 Eastern Equity Partners, LLC
 P.O. Box 365
 Revere, MA 02151

CLIENT INFORMATION:
 PROJECT LOCATION:
 1473 North Shore Road,
 Revere, MA 02151, USA

DRAWING TITLE:
SECTION DETAILS

SCALE	DATE
PROJECT NO.	SMR001/2023
DRAWN BY	REVISION NO.
VERIFIED BY	DRAWING NO.
	A.500



05 11.8.2023	ISSUED FOR REVIEW
04 10.13.2023	ISSUED FOR REVIEW
03 10.6.2023	ISSUED FOR REVIEW
02 9.29.2023	ISSUED FOR REVIEW
01 9.28.2023	ISSUED FOR INFORMATION

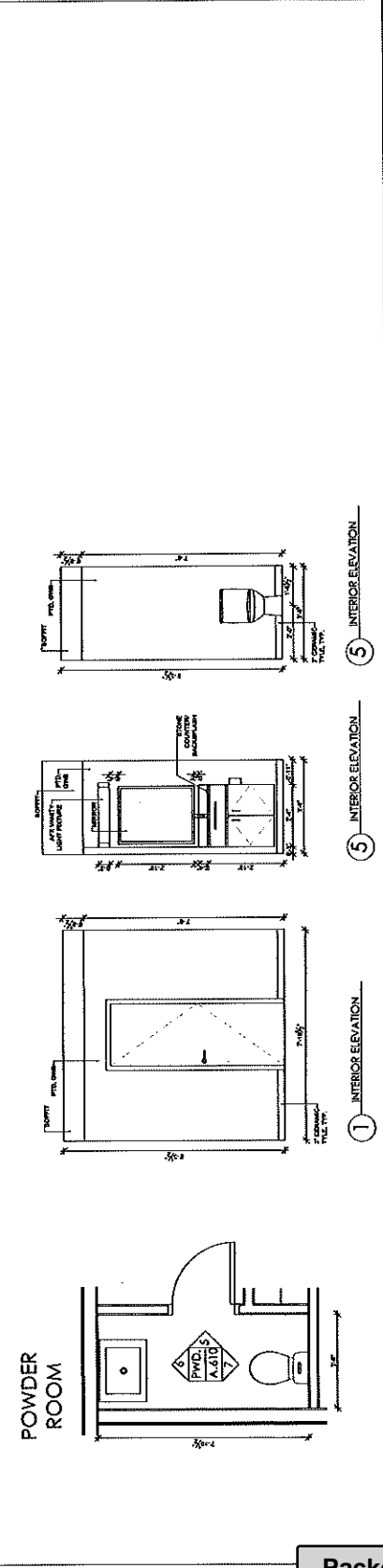
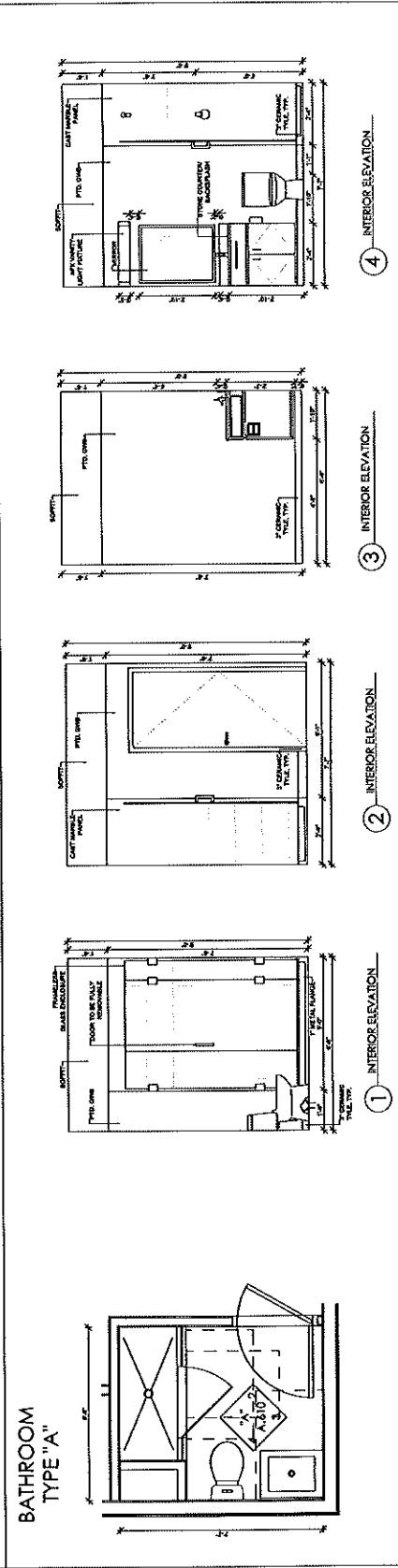
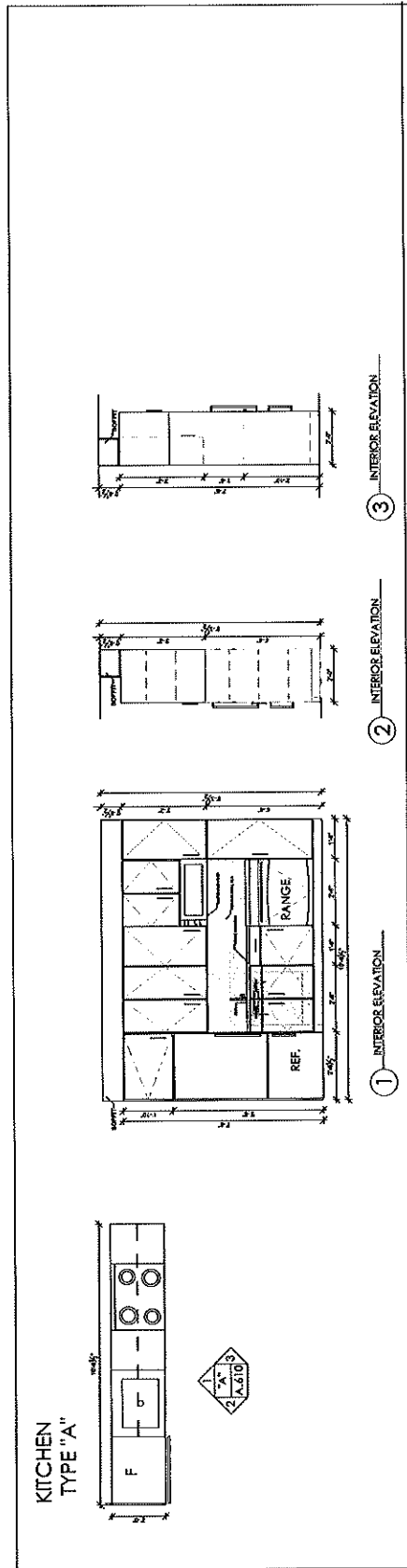
ARCHITECT'S SEAL:

COMMERCIAL RESIDENTIAL HOSPITALITY
 Eastern Equity Partners, LLC
 P.O. Box 365
 Revere, MA 02151

PROJECT LOCATION
 1473 North Shore Road,
 Revere, MA 02151, USA


DRAWING TITLE
 ENLARGED
 KITCHEN TYPES

SCALE 1/2"=1'-0"
DATE September 2023
PROJECT NO. 24-028
REVISION NO. A
DRAWN BY
VERIFIED BY A-610



05 11.03.2023	ISSUED FOR REVIEW
04 10.03.2023	ISSUED FOR REVIEW
03 10.03.2023	ISSUED FOR REVIEW
02 09.29.2023	ISSUED FOR REVIEW
01 09.28.2023	ISSUED FOR INFORMATION

ARCHITECT'S SEAL

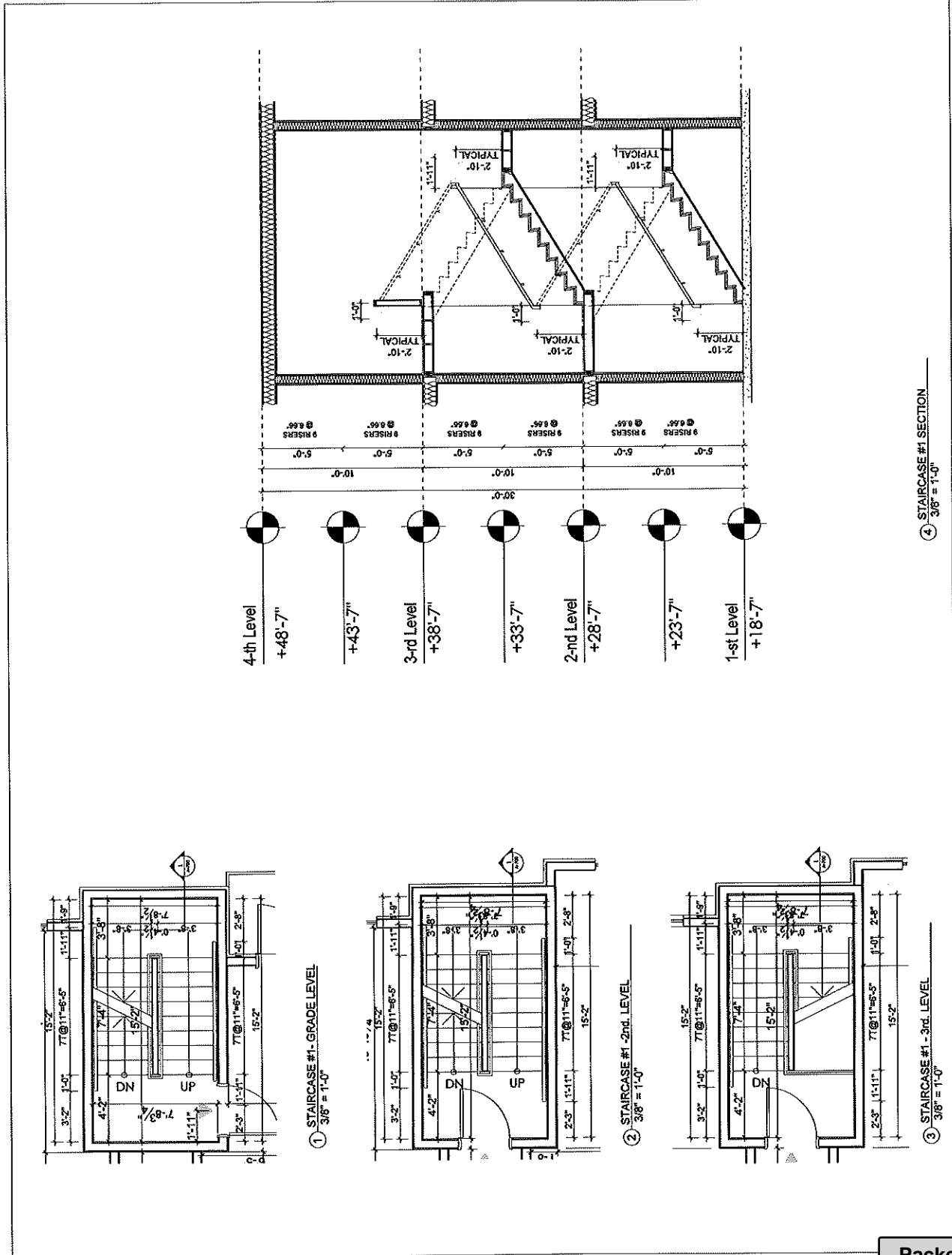


COMMERCIAL RESIDENTIAL HOSPITALITY
 Eastern Equity Partners, LLC
 P.O. Box 365
 Revere, MA 02151

PROJECT LOCATION
 1473 North Shore Road,
 Revere, MA 02151, USA

DRAWING TITLE
STAIRCASE #1

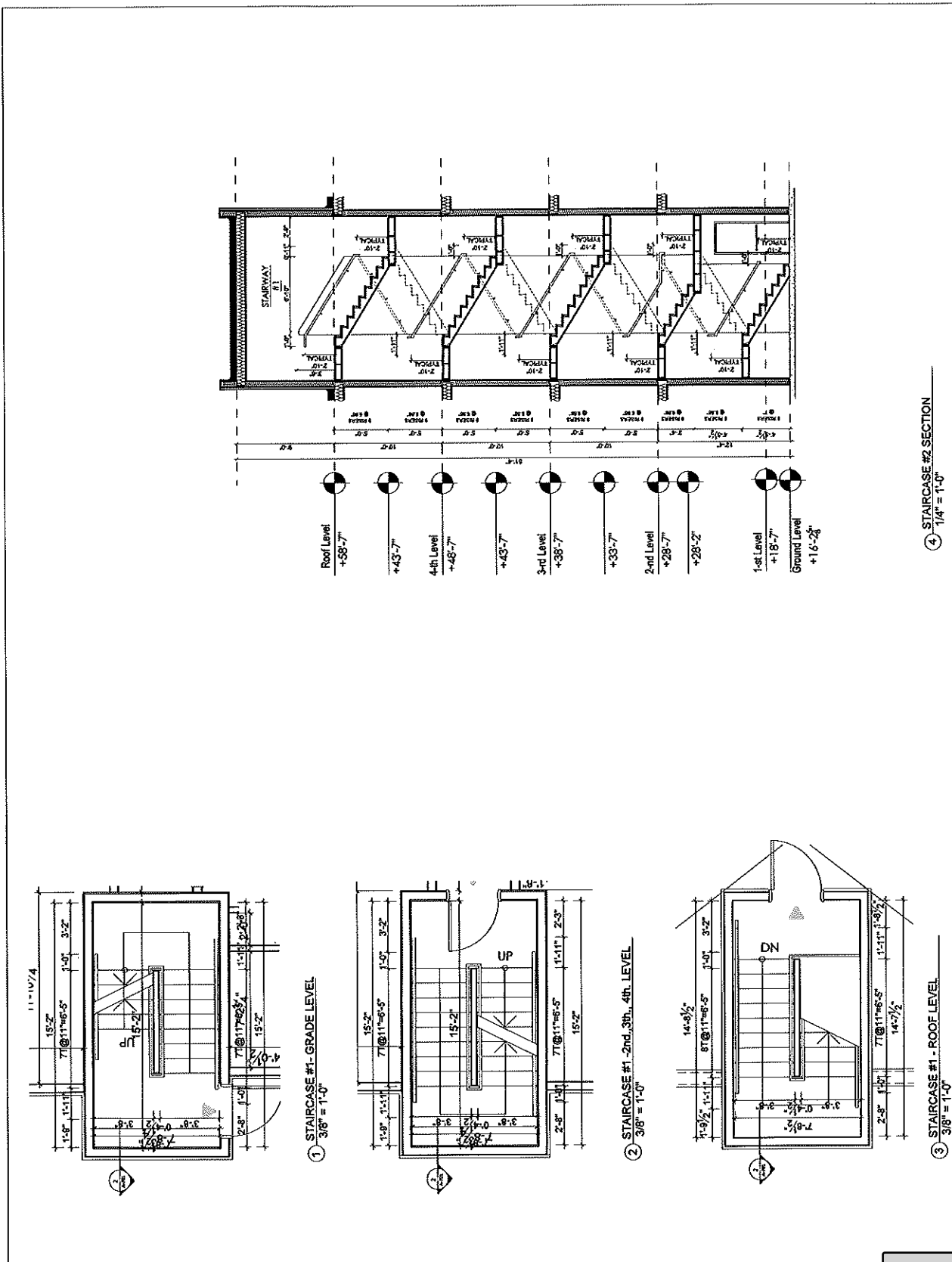
SCALE 3/8" = 1'-0"
 DATE September 2023
 PROJECT NO.
 DRAWN BY
 VERIFIED BY **A.700**



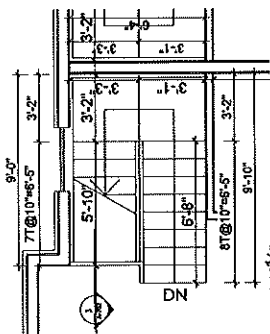
Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

05 11.16.2023	ISSUED FOR REVIEW
04 10.13.2023	ISSUED FOR REVIEW
03 10.2.2023	ISSUED FOR REVIEW
02 9.28.2023	ISSUED FOR REVIEW
01 9.28.2023	ISSUED FOR INFORMATION
ARCHITECT'S SEAL:	

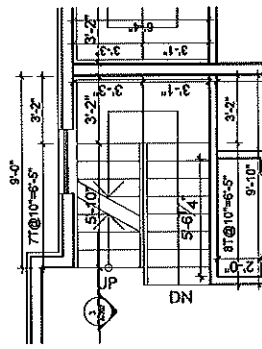
CLIENT INFORMATION	COMMERCIAL RESIDENTIAL HOSPITALITY Eastern Equity Partners, LLC P.O. Box 365 Revere, MA 02151
PROJECT LOCATION	1473 North Shore Road, Revere, MA 02151, USA
DRAWING TITLE	STAIRCASE #2
SCALE 1/4" = 1'-0"	DATE September 2023
PROJECT NO.	REVISION NO.
DRAWN BY	DRAWING NO.
VERIFIED BY	A.701



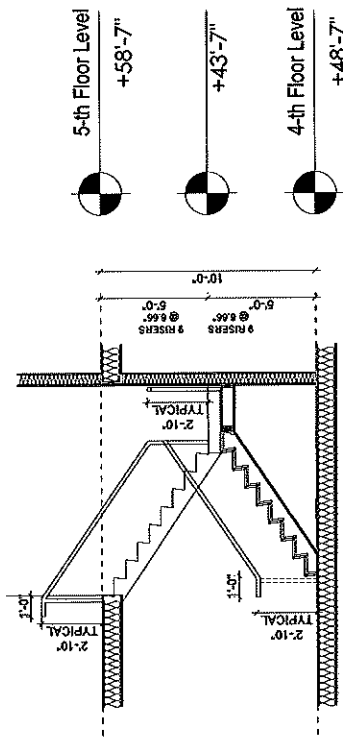
Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)



① STAIRCASE #1-4th LEVEL
3/8" = 1'-0"



② STAIRCASE #1-3th LEVEL
3/8" = 1'-0"



④ STAIRCASE #2 SECTION
1/4" = 1'-0"

06/11/2023	ISSUED FOR REVIEW
04/10/2023	ISSUED FOR REVIEW
03/10/2023	ISSUED FOR REVIEW
02/09/2023	ISSUED FOR REVIEW
01/03/2023	ISSUED FOR INFORMATION
01/03/2023	ISSUED FOR INFORMATION

ARCHITECT'S SEAL:



COMMERCIAL RESIDENTIAL HOSPITALITY
3300 NORTH SHORE STREET,
REVERE, MA 02151
TEL: 781.962.2222

CLIENT INFORMATION
Eastern Equity Partners, LLC
P.O. Box 365
Revere, MA 02151


PROJECT LOCATION
1473 North Shore Road,
Revere, MA 02151, USA

DRAWING TITLE
STAIRCASE #3

SCALE	1/4" = 1'-0"
DATE	September 2023
PROJECT NO.	
REVISION NO.	A
DRAWN BY	
VERIFIED BY	A.702

05	11.16.2023	ISSUED FOR REVIEW
04	10.13.2023	ISSUED FOR REVIEW
03	10.12.2023	ISSUED FOR REVIEW
02	9.29.2023	ISSUED FOR REVIEW
01	9.28.2023	ISSUED FOR INFORMATION

ARCHITECT'S SEAL:

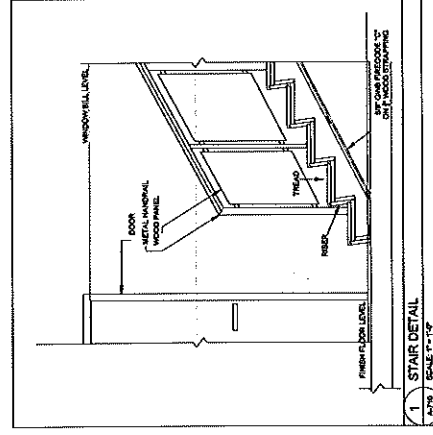
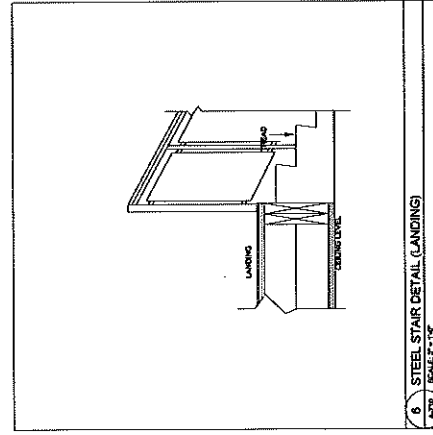
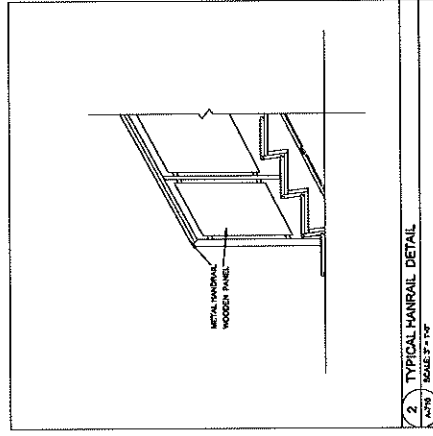
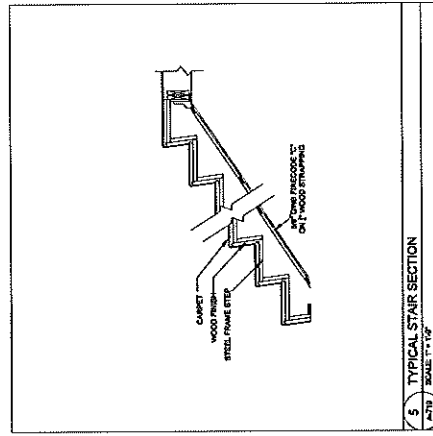
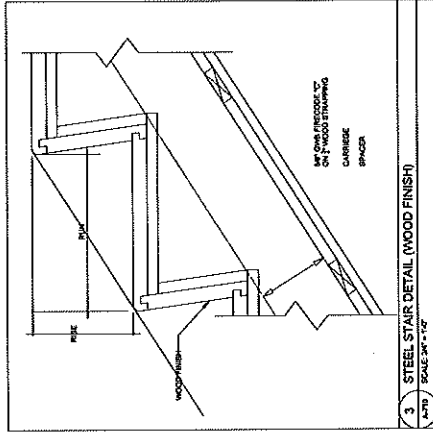
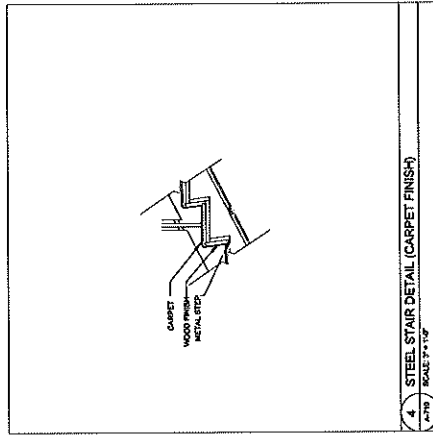


COMMERCIAL RESIDENTIAL HOSPITALITY
 EASTERN EQUITY PARTNERS, LLC
 P.O. Box 365
 REVERE, MA 02151

PROJECT LOCATION:
 1473 North Shore Road,
 Revere, MA 02151, USA

DRAWING TITLE:
STAIR DETAILS

SCALE: 3/4" = 1'-0"
 DATE: September 2023
 PROJECT NO.:
 DRAWN BY:
 CHECKED BY:
 VERIFIED BY: **A.703**



WALL TYPE	CONSTRUCTION DETAIL	DESCRIPTION	ACQUISITION PERFORMANCE	FIRE PERFORMANCE	INDEX
			STC	RATING	TEST NUMBER
1		RESIDENTIAL INTERIOR PARTITION: • 5/8" TYPE X GIB • 2x4 TO WOOD STUD @ 16" O.C. • 2x4 TO WOOD STUD @ 16" O.C. • 2x4 TO WOOD STUD @ 16" O.C. • 5/8" TYPE X GIB • 5/8" TYPE X GIB	91	1 HR	UL One LIST A42
2		INTERIOR PARTITION: • 5/8" TYPE X GIB • 2x4 TO WOOD STUD @ 16" O.C. • 2x4 TO WOOD STUD @ 16" O.C. • 2x4 TO WOOD STUD @ 16" O.C. • 5/8" TYPE X GIB • 5/8" TYPE X GIB	95	1 HR	UL One LIST A42
3		INTERIOR PARTITION: • 5/8" TYPE X GIB • 2x4 TO WOOD STUD @ 16" O.C. • 2x4 TO WOOD STUD @ 16" O.C. • 2x4 TO WOOD STUD @ 16" O.C. • 5/8" TYPE X GIB • 5/8" TYPE X GIB	98	2 HR	UL One LIST A43
4		INTERIOR PARTITION: • 5/8" TYPE X GIB • 2x4 TO WOOD STUD @ 16" O.C. • 2x4 TO WOOD STUD @ 16" O.C. • 2x4 TO WOOD STUD @ 16" O.C. • 5/8" TYPE X GIB • 5/8" TYPE X GIB	32	1 HR	UL One LIST A46
5		INTERIOR PARTITION: • 5/8" TYPE X GIB • 2x4 TO WOOD STUD @ 16" O.C. • 2x4 TO WOOD STUD @ 16" O.C. • 2x4 TO WOOD STUD @ 16" O.C. • 5/8" TYPE X GIB • 5/8" TYPE X GIB	32	1 HR	UL One LIST A46
6		EXTERIOR WALL - EXTERIOR: • 5/8" TYPE X GIB • 2x4 TO WOOD STUD @ 16" O.C. • 2x4 TO WOOD STUD @ 16" O.C. • 2x4 TO WOOD STUD @ 16" O.C. • 5/8" TYPE X GIB • 5/8" TYPE X GIB			
7		EXTERIOR WALL - EXTERIOR: • 5/8" TYPE X GIB • 2x4 TO WOOD STUD @ 16" O.C. • 2x4 TO WOOD STUD @ 16" O.C. • 2x4 TO WOOD STUD @ 16" O.C. • 5/8" TYPE X GIB • 5/8" TYPE X GIB			
8		EXTERIOR WALL - EXTERIOR: • 5/8" TYPE X GIB • 2x4 TO WOOD STUD @ 16" O.C. • 2x4 TO WOOD STUD @ 16" O.C. • 2x4 TO WOOD STUD @ 16" O.C. • 5/8" TYPE X GIB • 5/8" TYPE X GIB			
9		EXTERIOR WALL - EXTERIOR: • 5/8" TYPE X GIB • 2x4 TO WOOD STUD @ 16" O.C. • 2x4 TO WOOD STUD @ 16" O.C. • 2x4 TO WOOD STUD @ 16" O.C. • 5/8" TYPE X GIB • 5/8" TYPE X GIB			
10		EXTERIOR WALL - EXTERIOR: • 5/8" TYPE X GIB • 2x4 TO WOOD STUD @ 16" O.C. • 2x4 TO WOOD STUD @ 16" O.C. • 2x4 TO WOOD STUD @ 16" O.C. • 5/8" TYPE X GIB • 5/8" TYPE X GIB			

03	11.16.2023	ISSUED FOR REVIEW
04	10.13.2023	ISSUED FOR REVIEW
05	10.2.2023	ISSUED FOR REVIEW
02	9.29.2023	ISSUED FOR REVIEW
01	8.24.2023	ISSUED FOR INFORMATION

ARCHITECT'S SEAL:

COMMERCIAL RESIDENTIAL HOSPITALITY
 171 W. NORTH SHORE STREET,
 REVERE, MA 02151

CLIENT INFORMATION
 Eastern Equity Partners, LLC
 P.O. Box 365
 Revere, MA 02151

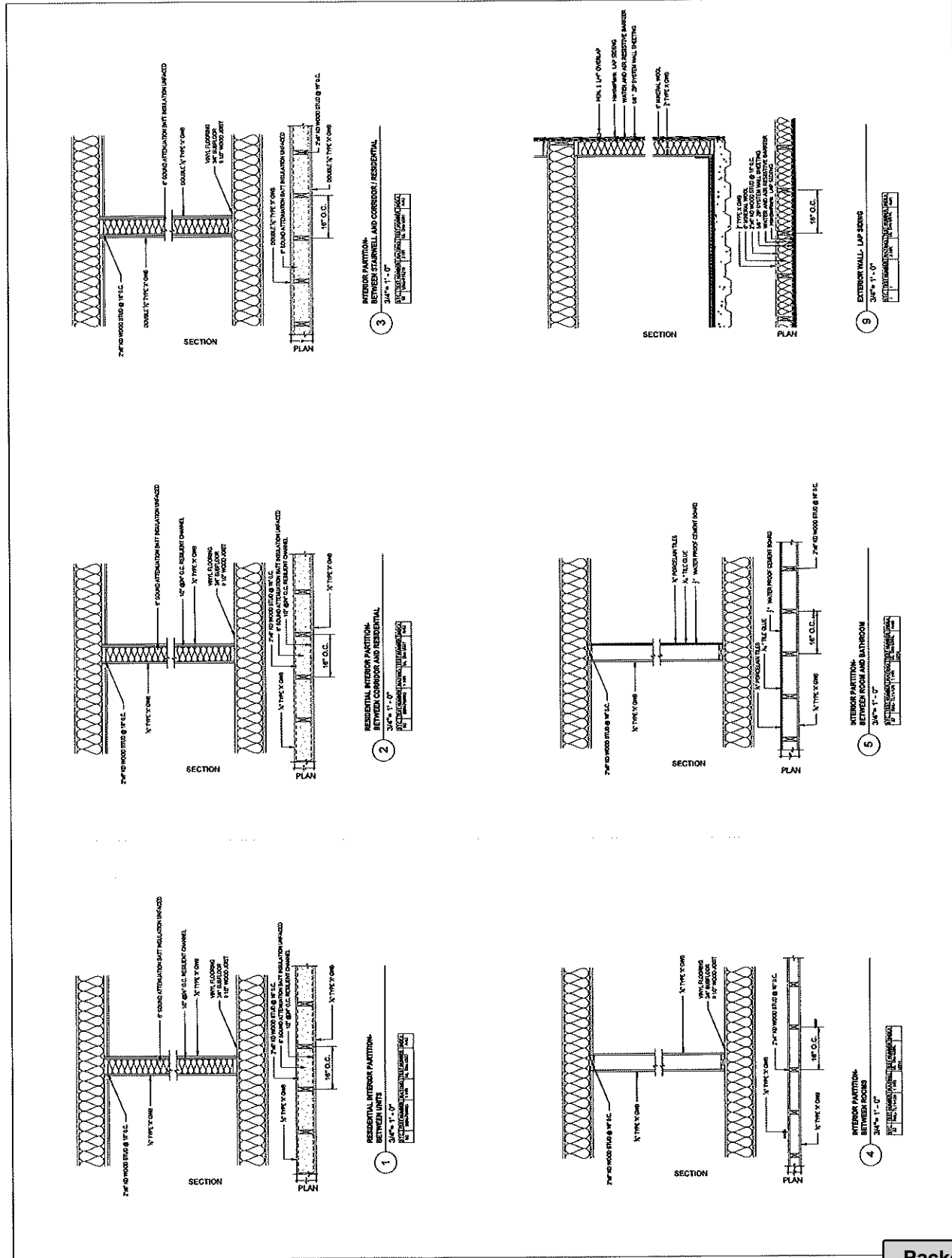
PROJECT LOCATION
 1473 North Shore Road,
 Revere, MA 02151, USA

DRAWING TITLE
 PARTITION TYPES

SCALE: 3/4" = 1'-0"
 DATE: September 2023
 PROJECT NO.:
 DRAWN BY:
 VERIFIED BY: **A_810**

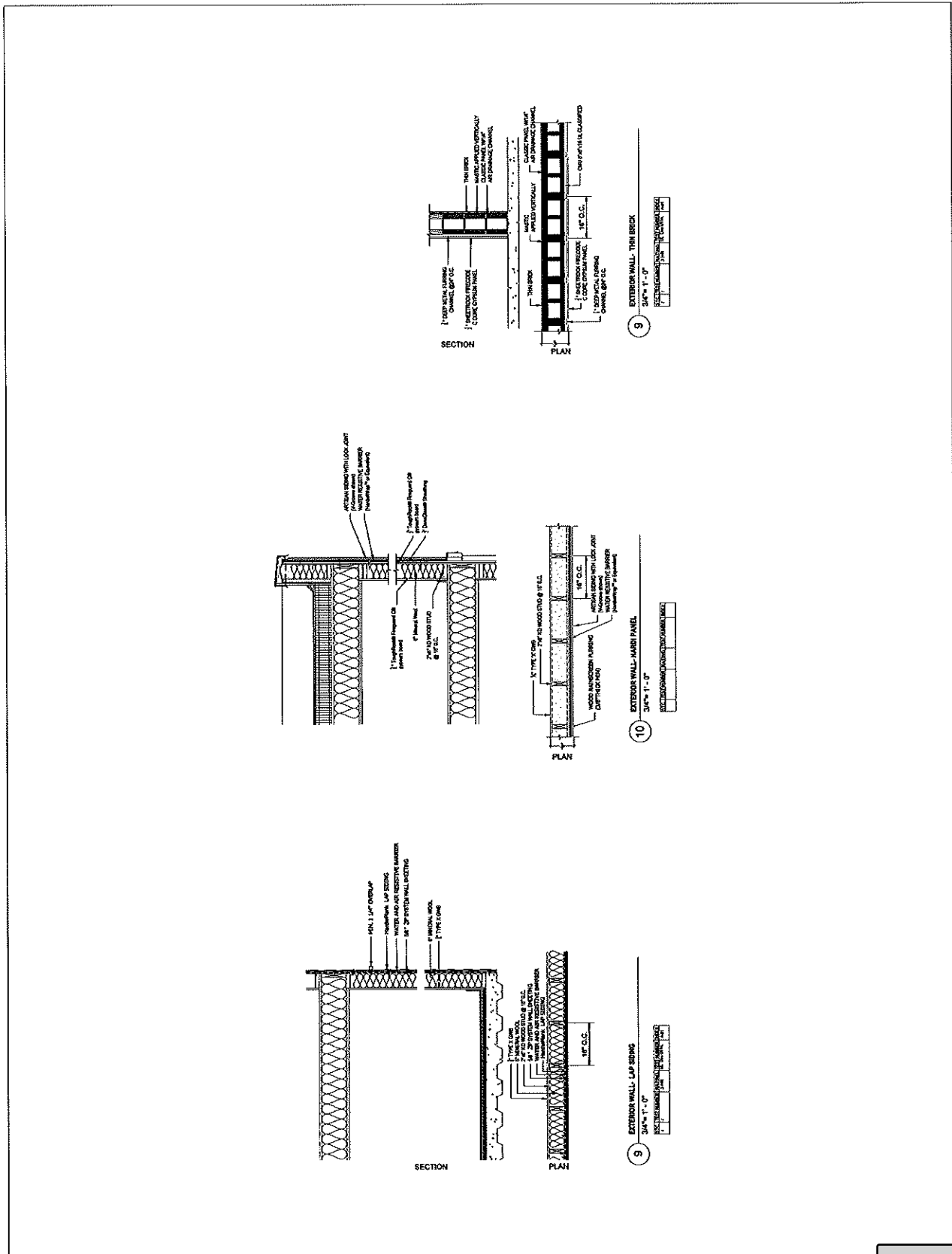
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02	09.29.2023	ISSUED FOR REVIEW
01	09.29.2023	ISSUED FOR INFORMATION

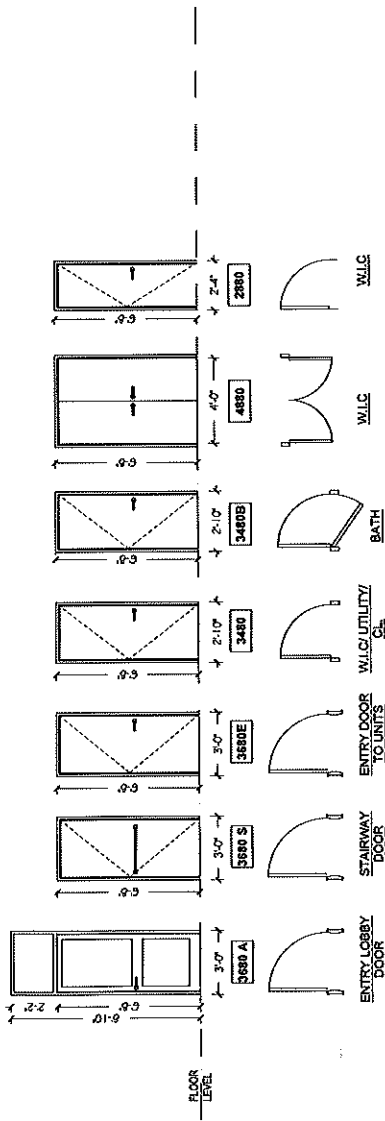
	COMMERCIAL RESIDENTIAL HOSPITALITY Eastern Equity Partners, LLC P.O. Box 365 Revere, MA 02151 PROJECT LOCATION 1473 North Shore Road, Revere, MA 02151, USA DRAWING TITLE PARTITION TYPES
CLIENT INFORMATION SCALE 3/4" = 1'-0" PROJECT NO. DRAWN BY CHECKED BY DATE September 2023 REVISION NO. / DRAWING NO. A_811 VERIFIED BY	ARCHITECT'S SEAL:



Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

05	11.16.2023	ISSUED FOR REVIEW
04	10.13.2023	ISSUED FOR REVIEW
03	10.12.2023	ISSUED FOR REVIEW
02	09.29.2023	ISSUED FOR REVIEW
01	09.28.2023	ISSUED FOR INFORMATION
MASS ARCHITECTURAL BOARD	NO. 2023-0000000000	REVISION NO.
ARCHITECT'S SEAL:		
COMMERCIAL RESIDENTIAL HOSPITALITY 330 NEEDHAM AVENUE NEEDHAM, MA 02450 TEL: 781-441-0875		
CLIENT INFORMATION Eastern Equity Partners, LLC P.O. Box 365 Revere, MA 02151		
PROJECT LOCATION 1473 North Shore Road, Revere, MA 02151, USA		
DRAWING TITLE PARTITION TYPES		
SCALE	DATE	REVISION NO.
3/4" = 1'-0"	September 2023	
DRAWN BY	DATE	VERIFIED BY
		A_812





DOOR SCHEDULE

LOCATION		DOOR				FRAME			HARDWARE SET	REMARKS	TOTAL NUMBER		
FLOOR	ROOM NO.	ROOM NAME	DOOR WIDTH	DOOR HEIGHT	THICK	FINISH	MATL	FINISH				FRAME	DETAILS
										JAMB			
1ST/2ND/3RD/4TH FLOOR	3685S	STAIRWAY DOOR	3'-0"	6'-3"	0'-1 3/4"	METAL	METAL	FACTORY	HM	FACTORY	JAMB.SIM	JAMB.SIM	8
1ST/2ND/3RD/4TH FLOOR	3488B	BATH	2'-10"	6'-5"	0'-1 3/4"	WOOD	WOOD	FACTORY	HM	FACTORY	JAMB.SIM	JAMB.SIM	6
1ST/2ND/3RD/4TH FLOOR	3480	W/LC/UTILITY/CL.	2'-10"	6'-5"	0'-1 3/4"	WOOD	WOOD	FACTORY	HM	FACTORY	JAMB.SIM	JAMB.SIM	7
1ST FLOOR	3688A	ENTRY LOBBY DOOR	3'-0"	6'-3"	0'-1 3/4"	METAL	METAL	FACTORY	HM	FACTORY	JAMB.SIM	JAMB.SIM	2
1ST/2ND/3RD/4TH FLOOR	3688E	ENTRY DOOR TO UNITS	3'-0"	6'-3"	0'-1 3/4"	METAL	METAL	FACTORY	HM	FACTORY	JAMB.SIM	JAMB.SIM	8
1ST & 3RD FLOOR	4880	W/LC	4'-0"	6'-5"	0'-1 3/4"	WOOD	WOOD	FACTORY	HM	FACTORY	JAMB.SIM	JAMB.SIM	5
1ST/2ND & 3RD FLOOR	2880	W/LC	2'-4"	6'-5"	0'-1 3/4"	WOOD	WOOD	FACTORY	HM	FACTORY	JAMB.SIM	JAMB.SIM	10

05	11.10.2023	ISSUED FOR REVIEW
04	10.13.2023	ISSUED FOR REVIEW
03	10.6.2023	ISSUED FOR REVIEW
02	9.29.2023	ISSUED FOR REVIEW
01	9.26.2023	ISSUED FOR INFORMATION



COMMERCIAL RESIDENTIAL HOSPITALITY
 320 NEWANA STREET,
 NEWTON, MA 02459
 TEL: 781-465-3872

CLIENT INFORMATION:
 Eastern Equity Partners, LLC
 P.O. Box 366
 Revere, MA 02151

PROJECT LOCATION
 1473 North Shore Road,
 Revere, MA 02151, USA

DOOR SCHEDULE

SCALE	DATE	September 2023
PROJECT NO.	REVISION NO.	
DRAWN BY	DRAWING NO.	
VERIFIED BY		A_900

02 11.14.2023	ISSUED FOR REVIEW
04 10.13.2023	ISSUED FOR REVIEW
03 10.03.2023	ISSUED FOR REVIEW
02 09.29.2023	ISSUED FOR REVIEW
01 09.28.2023	ISSUED FOR INFORMATION

ARCHITECT'S SEAL:

COMMERCIAL RESIDENTIAL HOSPITALITY
 Eastern Equity Partners, LLC
 P.O. Box 365
 Revere, MA 02151

PROJECT LOCATION
 1473 North Shore Road,
 Revere, MA 02151, USA

DRAWING TITLE
 WINDOW SCHEDULE

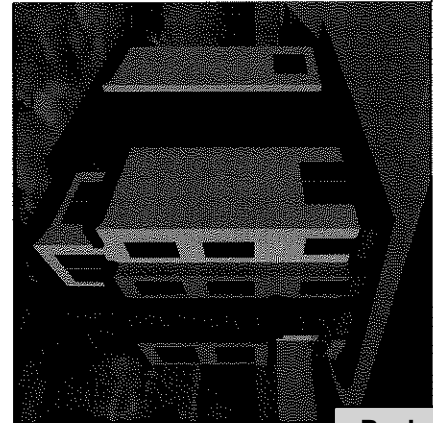
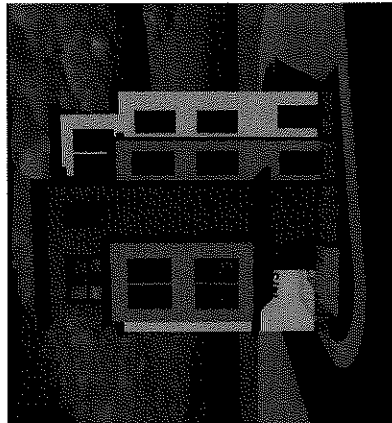
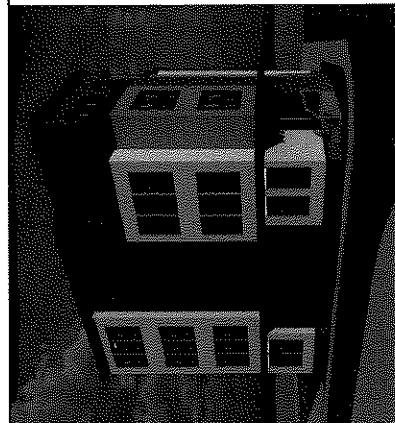
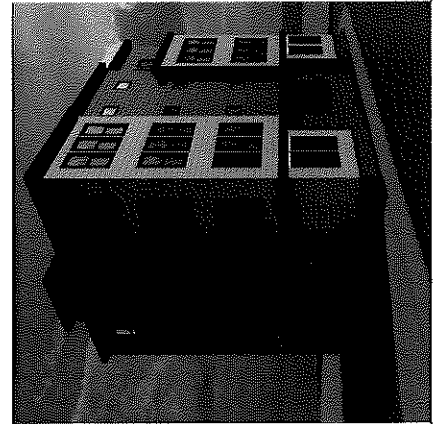
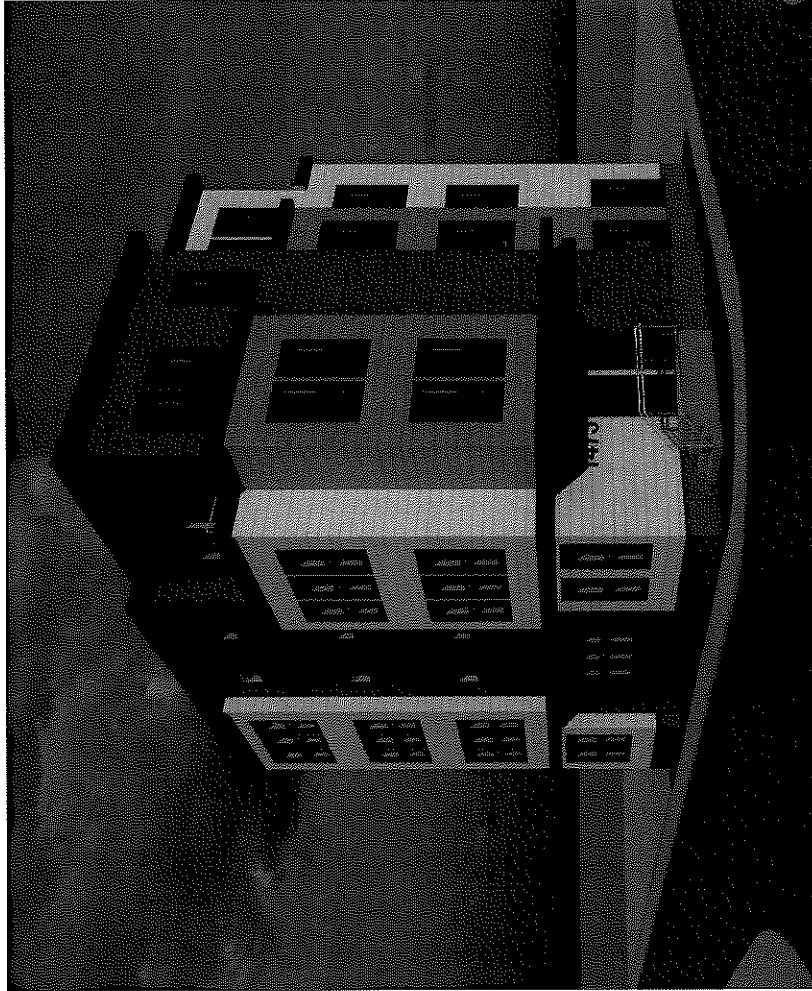
SCALE	3/8"=1'-0"	DATE	September 2023
PROJECT NO.		REVISION NO.	A
DRAWN BY		DRAWING NO.	A_901
VERIFIED BY			

WINDOW SCHEDULE

TYPE	DESCRIPTION	WIDTH	HEIGHT	LEVEL	HEAD	JAMB	SILL	COMMENTS	TOTAL NUMBER
A	SINGLE HUNG	3'-0"	5'-0"	1ST, 2ND, 3RD, 4TH LVL	ALUMINUM	ALUMINUM	MTL		48
B	CASEMENT	3'-0"	8'-0"	4TH LVL	ALUMINUM	ALUMINUM	MTL		5
C	CASEMENT	3'-0"	3'-0"	1ST, 2ND, 3RD, 4TH LVL	ALUMINUM	ALUMINUM	MTL		13

NOTES:

- ALL GLAZING TO BE LOW-E DUAL GLAZED GLASS - EXTERIOR FLOOR TO CEILING WINDOWS AND DOORS TO BE TEMPERED
- WINDOWS LOCATED IN SHOWERS SHALL BE TEMPERED AND SPECIFIED FOR USE IN SHOWER (WET RATED). CONTRACTOR TO INSTALL SHOWER WATERPROOFING MEMBRANE OVER WINDOW JAMB AND CAULK COMPLETELY AROUND WINDOW/TILE JOINT
- EXTERIOR WINDOWS AND DOORS SHALL HAVE A U-FACTOR OF 0.20 AND AN SHGC OF 0.36
- DOOR AND WINDOW OPENINGS ON EAST AND WEST EXTERIOR WALLS MUST BE WITH 3/4-HOUR FIRE ASSEMBLIES.



05 11.18.2022	ISSUED FOR REVIEW
04 10.13.2022	ISSUED FOR REVIEW
03 10.5.2022	ISSUED FOR REVIEW
02 09.29.2022	ISSUED FOR REVIEW
01 08.28.2022	ISSUED FOR INFORMATION
DATE	
DESCRIPTION	

ARCHITECT'S SEAL:



COMMERCIAL RESIDENTIAL HOSPITALITY
 350 WASHINGTON STREET,
 NEWTON, MA 02459
 TEL: 781.552.3300
 WWW.COMMERCIALRESIDENTIALHOSPITALITY.COM

CLIENT INFORMATION
Eastern Equity Partners, LLC
 P.O. Box 385
 Revere, MA 02151

PROJECT LOCATION
**1473 North Shore Road,
 Revere, MA 02151, USA**

DRAWING TITLE
AV

SCALE	DATE	BY
3/16"=1'-0"	3/16/2023	AV
PROJECT NO.	REVISION NO.	
DRAWN BY	DRAWING NO.	
VERIFIED BY		AV

EXHIBIT C

Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

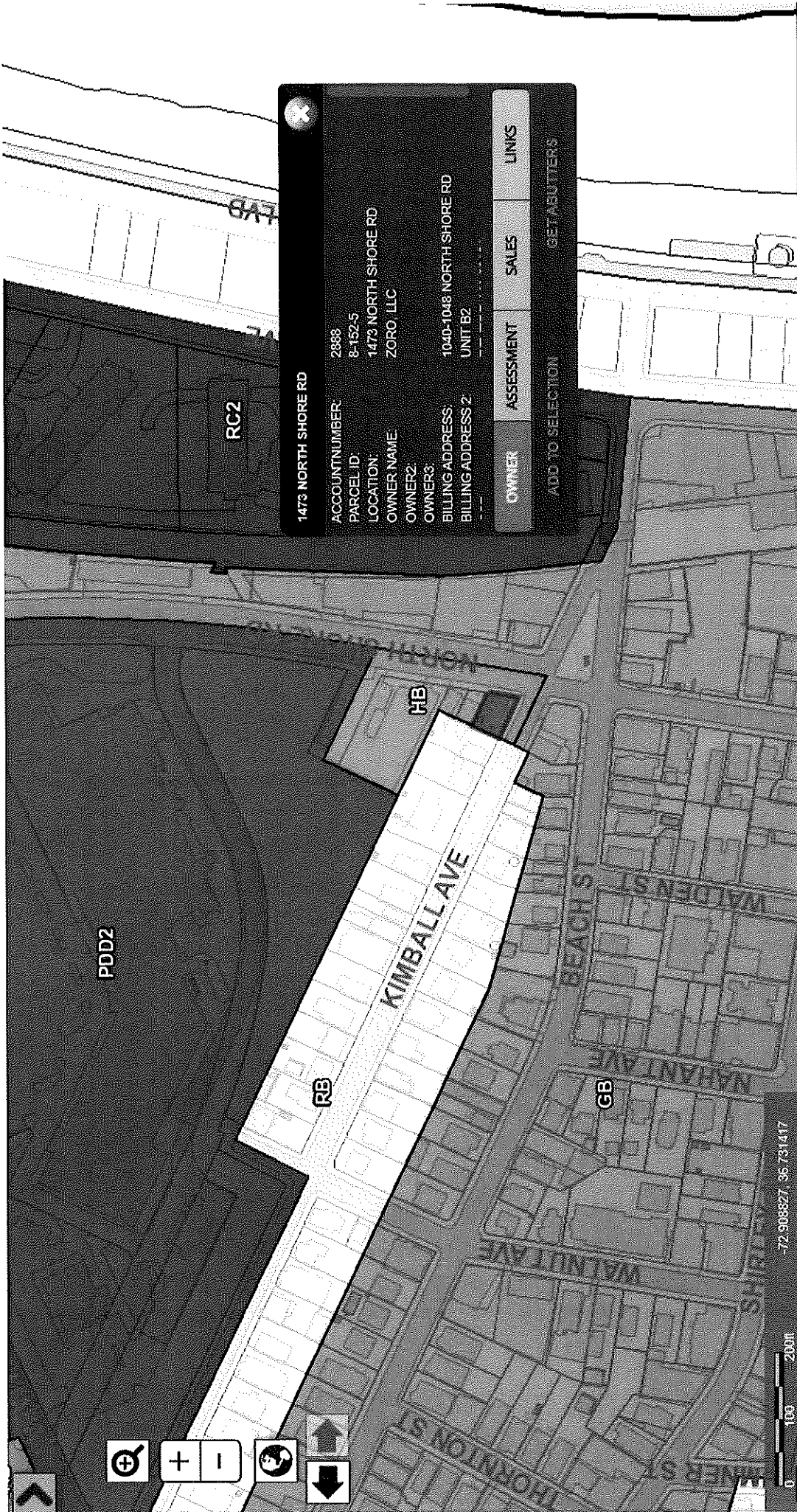
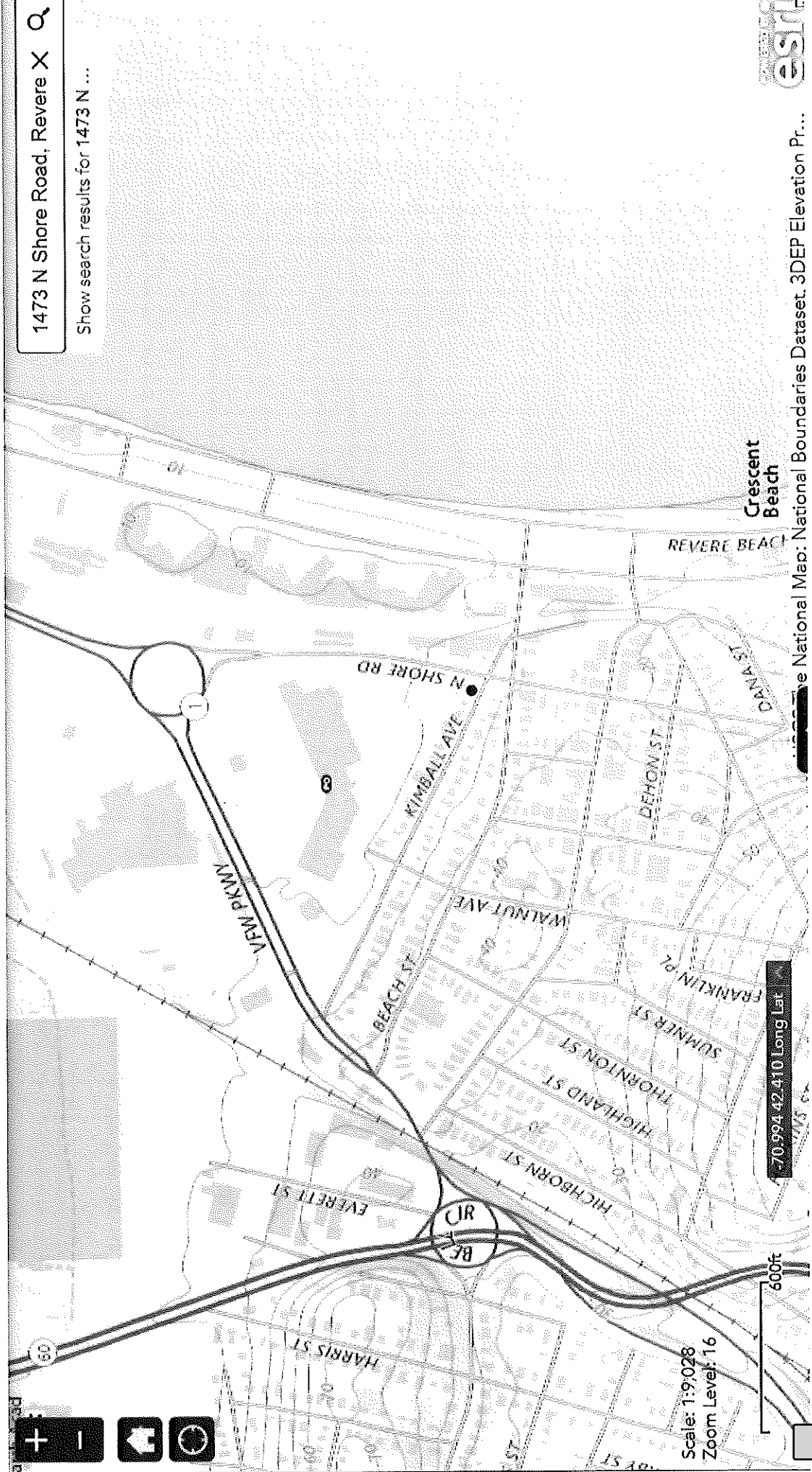


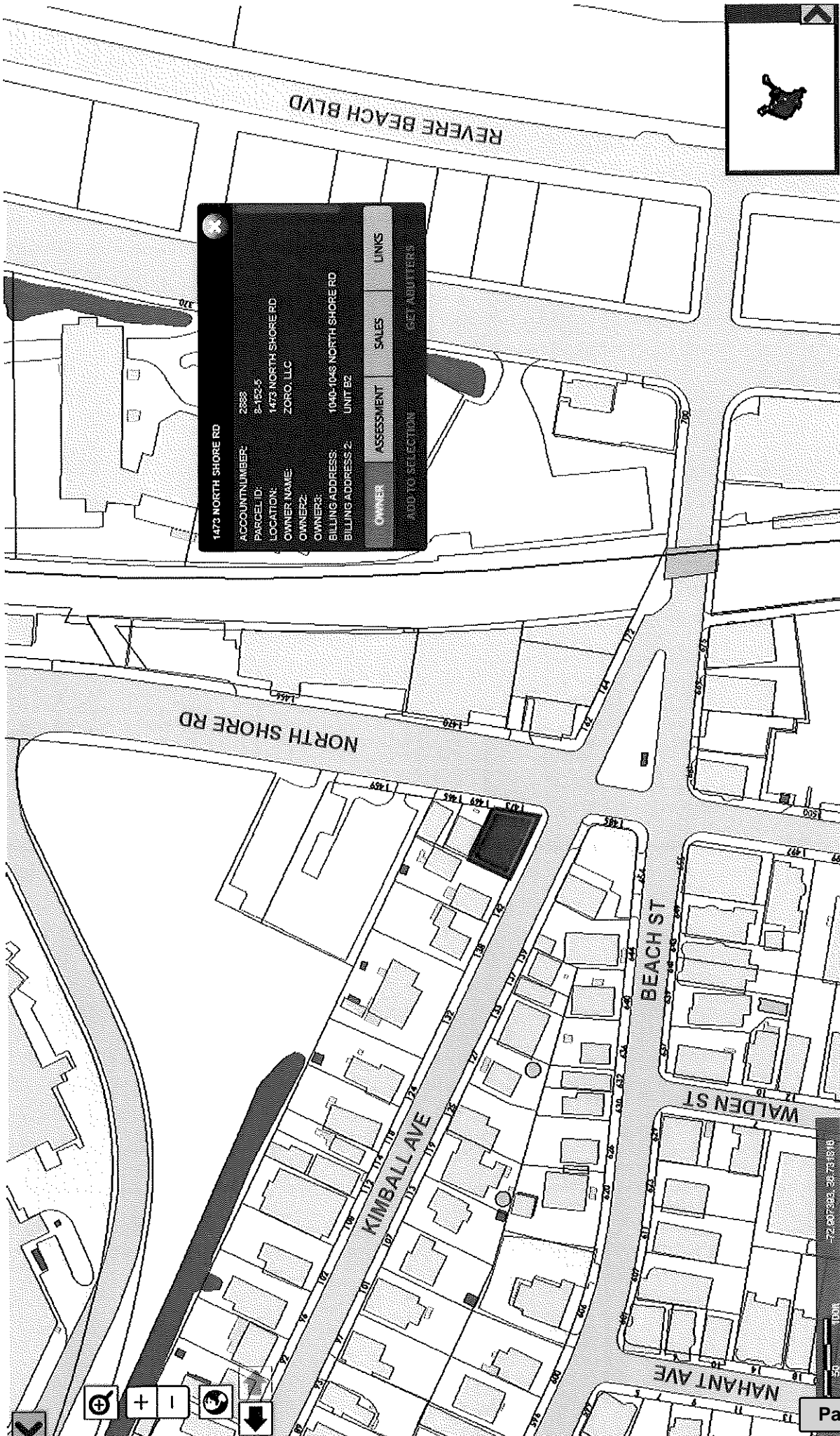
EXHIBIT D

1473 N Shore Road, Revere X

Show search results for 1473 N ...



National Map: National Boundaries Dataset. 3DEP Elevation Pr...



1473 NORTH SHORE RD

ACCOUNTNUMBER:	2888
PARCEL ID:	8-152-5
LOCATION:	1473 NORTH SHORE RD
OWNER NAME:	ZORO, LLC
OWNER2:	
BILLING ADDRESS:	1040-1043 NORTH SHORE RD
BILLING ADDRESS 2:	UNIT B2

OWNER ASSESSMENT SALES LINKS

ADD TO SELECTION GET ADDRESS

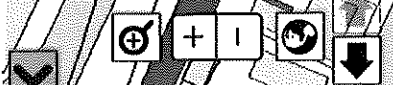


EXHIBIT E

Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)





1473 N Shore Rd
 Revere, Massachusetts
 Google Street View
 Oct 2021 See more dates

Water
 Kimball Ave
 Beach St
 Revere Beach
 Revere Beach

Image capture: Oct 2021 © 2023 Google United States Terms Privacy

Google

11.a

Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

Packet Pg. 177

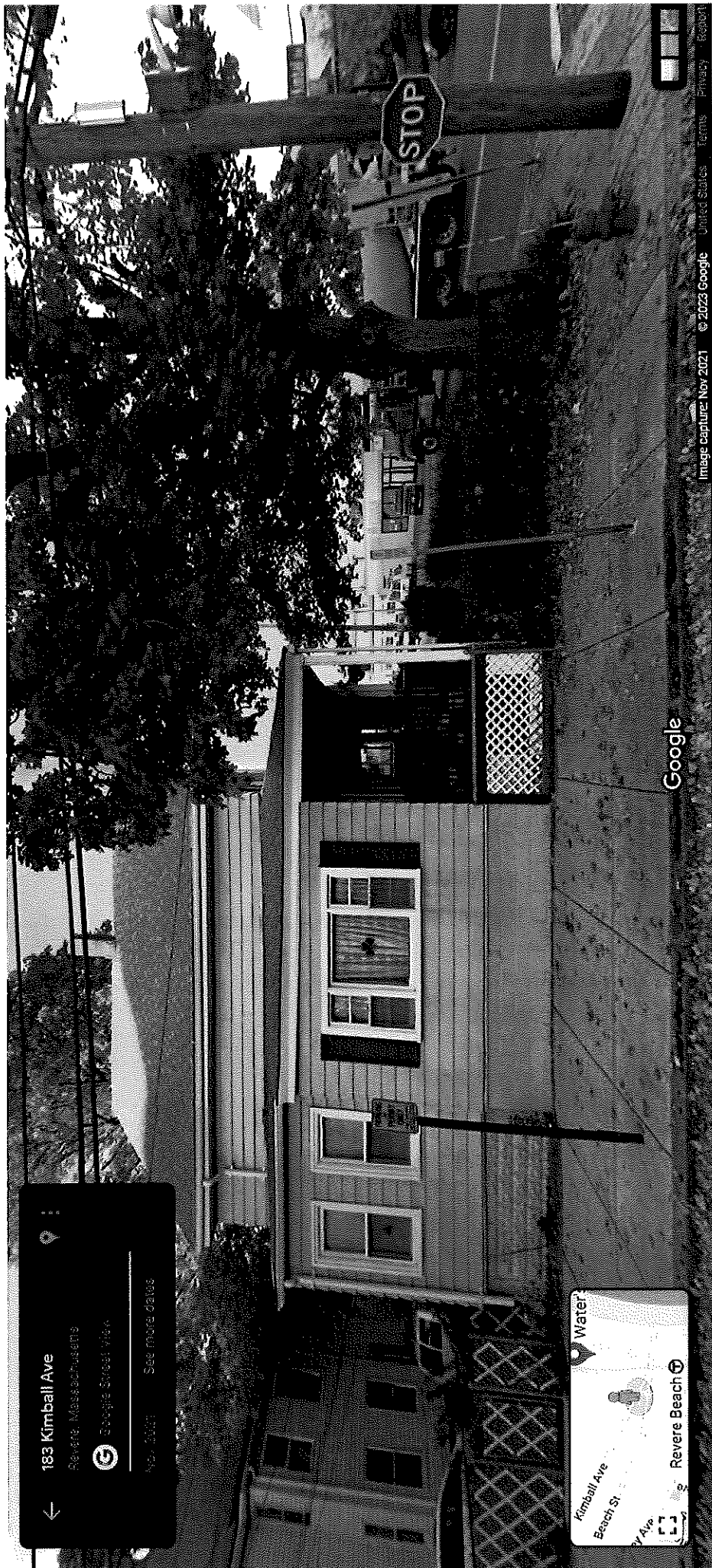


EXHIBIT F

From: fstringi@revere.org
Sent: 01/02/2024 - 12:13 PM
To: amelnik@revere.org,lcavagnaro@revere.org,noneil@dambrosiollp.com
CC:
Subject: Application Review Comments

CITY OF REVERE APPLICATION REVIEW

City of Revere Site Plan Review Review Comments

From: Frank Stringi
Date: January 02, 2024
Application #: SPR23-000163
Address: 1473 NORTH SHORE RD
Description: Proposed Multifamily Residential Building
Review Status: Denied

Thank you for your recent permit application for Proposed Multifamily Residential Building. I have completed my initial review and my comments are listed below, you can view marked up plans on our [CLICK HERE TO VIEW YOUR APPLICATION](#). Please note that you may receive additional comments from other city departments as your application is reviewed. You can follow the progress of your application by clicking on the link to the online portal above and signing into your account.

Reviewer: Frank Stringi, Community Development, Denied

1. This plan has been denied for the following reasons: Even though the applicant has received variance relief from the ZBA, In accordance with Section 17.40.020, the reconstruction and expansion of an existing nonconforming use (residential within the HB District) may only be allowed by special permit of the City Council.

NOTE: If your application is marked "Resubmittal Required", you do not need to submit a new application. Log back into your account and edit either your Registration or Permit as requested in the comments.

Please do not reply to this automated email. All resubmittals should be done using our online portal at www.citizenserve.com/revere re-review. Furnishing the above requested information will help expedite the approval of your application.



Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)



Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

EXHIBIT G

Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

The City of Revere, Massachusetts



City Hall

281 Broadway
Revere, MA 02151
(781) 286-8160
(781) 286-8206 FAX

Ashley E. Melnik
City Clerk

Office of the City Clerk

Application Number: A-23-38


Date: JANUARY 2, 2024

FILED
2024 JAN - 3 AM 9:46
OFFICE CITY CLERK
REVERE MASS

CERTIFICATE

Pursuant to the provisions of Section 11, Chapter 40A of Massachusetts General Law I, Ashley E. Melnik, City Clerk of the City of Revere, Massachusetts hereby certify that twenty days have elapsed since the filing of this decision by the City of Revere Board of Appeals with the Office of the City Clerk and no appeal has been filed, or an appeal has been filed and denied or dismissed.

Attest:


Ashley E. Melnik
City Clerk

Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

A-23-38

DECISION OF THE CITY OF REVERE ZONING BOARD OF APPEALS

Date: November 29, 2023

Decision of the City of Revere Zoning Board of Appeals (the "ZBA") on the application of Zoro, LLC, with a principal office address of 1040-1048 North Shore Road, Unit B2, Revere, Massachusetts (the "Applicant") requesting variances of Title 17 of the Revised Ordinances of the City of Revere, specifically to enable the Applicant to construct a four-story residential building (the "Project") on the property known and numbered as 1473 North Shore Road, Revere, Massachusetts (collectively hereinafter the "Parcel" or "Property").

A copy of the Applicant's Plans, Application and supporting documents (A-23-38) have been filed with the ZBA and the City Clerk of the City of Revere and are incorporated and made a part of this decision.

A public hearing was conducted by the ZBA on this application on November 29, 2023. A record of the proceedings of the public hearing has been filed with the City Clerk's Office of the City of Revere and is incorporated and made a part of this decision. The Applicant's hearing presentation and filed documents shall be hereinafter collectively referred to as the "Application."

Following the public hearing, the ZBA made the following findings:

I. INTRODUCTION

1. The Applicant requests variance relief in order to construct a four-story residential development on the Parcel. Specifically, the Applicant requests relief from the Revere Zoning Ordinances (the "Zoning Ordinances"), relative to the standards applicable to the Highway Business zoning district, by way of variance to permit construction and utilization of the proposed structure and facilities as follows:
 - a. Reduction in the minimum front yard setback required by § 17.24.010 to two and two-tenths (2.2) feet.
 - b. Reduction in the minimum side yard setback required by § 17.24.010 to three and one-half feet (3.5) feet for its North Side Yard and one-half (0.5) foot for its South Side Yard.
 - c. Reduction in the minimum rear yard setback required by § 17.24.010 to one (1) foot.
 - d. Increase in the maximum allowable Floor Area Ratio permitted by § 17.24.010 to 3.0.

- e. Reduction in the minimum lot area required by § 17.24.010 to two thousand, five hundred and sixty-seven (2,567) square feet.
- f. Reduction in the minimum number of parking spaces required by § 17.28.020 for this Project's residential apartment use to zero (0) parking spaces.
- g. Any such other relief as may be necessary to construct and utilize the Project in accordance with the Application or Plans.

II. UNIQUE CIRCUMSTANCES RELATING TO THE PARCEL

- 2. The Parcel is an approximately two thousand, five hundred and sixty-seven (2,567) square foot, irregularly shaped lot. The lot has a curved corner frontage along Kimball Avenue and North Shore Road, an angled frontage along North Shore Road, and a square shape along its northeastern and northwestern property lines.
- 3. The Parcel currently contains a preexisting, nonconforming residential building constructed around 1900 and appurtenant parking facilities. Due to the age of the existing building on the Parcel, the Parcel is likely to contain contaminated soils and/or hazardous building materials, which will result in special containment and removal measures before the development can proceed.
- 4. The Parcel is also burdened by several complex soil conditions including a high groundwater table, fill soils, fine till soils, and non-uniform subgrade materials, all of which must be remediated and/or removed at great cost in order for development to occur. Specifically, these conditions complicate construction and require special foundation and waterproofing measures so as to ensure the structural integrity of a building on the Property.
- 5. The constrained nature of the lot, coupled with the Parcel's various frontages and uneven property lines, limit the configuration of a building on the Parcel. Accordingly, due to these factors, any building on the lot must be designed in a manner that would maximize lot coverage and limit the provision of parking facilities. Specifically, these factors do not allow for compliance with zoning requirements.

III. THE PROPOSED DEVELOPMENT

- 6. As depicted in the Applicant's Plans, the proposal is to construct a new, modern building containing residential apartments. The proposed residential apartment use conforms with the character of the surrounding area.
- 7. The Project is similar to other residential apartment buildings along North Shore Road and will provide a new building to further the ongoing economic revitalization of the Shirley Avenue neighborhood.

8. The Project will demolish the dilapidated structure on the Parcel and replace it with a newly constructed, high-quality building that will encourage economic activity within this walkable area oriented towards the nearby Revere Beach MBTA station.

IV. THE REQUESTED RELIEF WILL NOT CAUSE SUBSTANTIAL DETRIMENT TO THE PUBLIC GOOD OR SUBSTANTIAL DEROGATION OF THE ZONING ORDINANCES

9. Without the relief being requested by the Applicant, the dimensional and parking controls currently in place and the constraints of this particular Parcel render construction of the Project nearly impossible, if not entirely unfeasible.
10. The Project represents a significant improvement over the Parcel's current condition and is in harmony with neighboring properties.
11. The requested dimensional relief and parking relief is reasonable and necessary given the complications associated with the Parcel. As noted above, the Project maximizes lot coverage and minimizes parking facilities due to the constraints of the Parcel. Moreover, the current housing crisis facing the Commonwealth makes development such as this even more necessary.
12. The proposed reduction in parking spaces for the residential units is more than sufficient given the Parcel's close proximity to the Revere Beach and Wonderland MBTA stations as well as several MBTA bus lines (110, 117, 411, 119, 116, 424, 426, 439, 441, 442, and 445). The easy access to public transportation makes this a highly accessible property and negates the need to provide the parking spaces required by strict application of the Zoning Ordinances. Furthermore, the Project is not expected to burden the on-street parking of the surrounding neighborhood as the Applicant has agreed to the condition in Paragraph 19(d) hereof: that the Parcel shall be excluded from the City of Revere residential and visitor on-street permit parking program. As such, the Project will not have an impact on neighborhood traffic and parking.
13. As a result of the preceding, the relief requested herein fits within the intent of the Zoning Ordinances and is warranted given the constraints of this property.

V. LITERAL ENFORCEMENT OF THE ZONING ORDINANCES WOULD CAUSE SUBSTANTIAL HARDSHIP TO THE PETITIONER

14. The Applicant proposes to make a significant investment in order to complete the Project.
15. The Applicant may also incur significant costs in remediating and constructing on the challenging soils of the Parcel. Future sale of the Parcel would be complicated by the presence of such soils, construction upon which may only be possible in conjunction with the relief granted to the Applicant.
16. Given the irregular shape, slope, soil, topography and current conditions affecting the Parcel, the Project would not be possible or economically feasible without the requested zoning relief.

17. Literal enforcement of these requirements would result in severe financial hardship for the Applicant, making the Project economically unfeasible.

VI. CONCLUSION

18. Based on the Applicant's Plans, Application, hearing presentation, and related materials, and after due consideration of the points raised by the opponents and proponents of this project, the Board finds the following:

- a. The Board finds that the Applicant faces a substantial hardship relating to the shape, topography, soil and current conditions affecting the Parcel.
- b. The Board finds that said shape, topography, soil and current conditions affecting the Parcel do not generally affect the zoning district in which the Parcel is located.
- c. The Board finds that a literal enforcement of the provisions of the Zoning Ordinances would create substantial hardship for the Applicant, both financial and otherwise.
- d. The Board finds that the relief requested by the Applicant will not cause substantial detriment to the public good and will not nullify or substantially derogate from the intent or purposes of the Zoning Ordinances.
- e. Conversely, the Board finds that granting the relief requested, and thereby enabling the Project to go forward, will substantially *benefit* the public good by providing much-needed housing and economic development in the Shirley Avenue neighborhood, and result in increased property values for the neighborhood.
- f. The Board finds that granting the variance relief will indeed serve the purposes underlying the enactment of the Revere Zoning Ordinances, including:
 - To encourage housing for persons of all income levels;
 - To conserve the value of land and buildings;
 - To prevent blight and pollution of the environment;
 - To encourage the most appropriate use of land throughout the City; and,
 - To preserve and increase amenities.

See Zoning Ordinances, Section 17.04.010.

19. Accordingly, the Board grants each of the above-mentioned variances detailed herein, with the following conditions:
- a. If the rights authorized by the variance are not exercised within one (1) year of the date of the grant of this variance, the rights shall lapse.

- b. The variance shall not be valid until the appellant has recorded the variance and the plan at the Suffolk County Registry of Deeds, and submits documents, recording numbers, and dates to the City Clerk and Building Inspector of the City of Revere.
- c. The appellant must receive Site Plan Review approval prior to applying for a Building Permit.
- d. The Parcel shall be excluded from the City of Revere residential and visitor on-street permit parking program.

Based upon its findings and this discussion, the ZBA took up the Applicant's request for variances from the requirements of the Zoning Ordinances of the City of Revere (A-23-38) to construct and utilize the structure, facilities and appurtenances as proposed in the Applicant's submitted Plans, application, supporting materials, and hearing presentation.

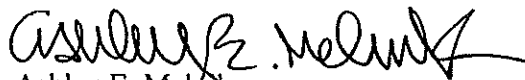
Roll Call: Voting to grant the variance requested: Mr. Limeneh, Mr. Lopes, Mr. Pelton, Mr. O'Brien, and Chairman Tucker.

Voting against granting the variance requested: None.

Recused and absent: None.

VARIANCE GRANTED

Attest:



Ashley E. Melnik
Clerk, Zoning Board of Appeals

Decision Filed: December 5, 2023

IMPORTANT

Any appeal from the decision of the Revere Zoning Board of Appeals can be made only to the court and must be made pursuant to Massachusetts General Laws, Chapter 40A, Section 17, as amended, and must be filed within twenty (20) days after the date of filing of the decision with the City Clerk of the City of Revere.



Brian M. Arrigo
Mayor

The City of REVERE, MASSACHUSETTS

BOARD OF ASSESSORS
Dana E. Brangiforte
John J. Verrengia
Mathew M. McGrath

Handwritten: Paid
mm

Request for Abutters List

Date: January 2, 2024

Property Location: 1473 North Shore Road

Map: 8 Block: 152 Parcel: 5

Property Owner: Zoro LLC

Is request for special permit or variance? YES NO

If yes than 300ft is required distance. If no, than please indicate requested distance below.

Requested Distance:

_____ FT

Fee: \$80.00

Please make checks payable to City of Revere

Requester Information:

Name: Nancy O'Neil, D'Ambrosio LLP

Address: 14 Proctor Avenue
Revere MA, 02151

Telephone: 617-720-5657

1500 NORTH SHORE RD 8-143-11A LUC: 337 STEARNS TERRACE TRUST DICESARE VINCENT TRUSTEE 1605 NORTH SHORE RD REVERE, MA 02151	650 BEACH ST 8-151-1 LUC: 326 KIMBALL, LLC PO Box 365 REVERE, MA 02151	172 KIMBALL AVE 2A 8-159-1A-2A LUC: 102 REVERE BEACH WATERFRONT REALTY GROUP, LLC 80 GROVE ST HOPKINTON, MA 01748
661 BEACH ST 8-143-13 LUC: 111 MANAZIL REALTY TRUST ESHLAGA AHMED M TRUSTEE 661-663 BEACH ST REVERE, MA 02151	644 BEACH ST 8-151-2 LUC: 111 FABIANO ELENA 644 BEACH ST REVERE, MA 02151	172 KIMBALL AVE 2B 8-159-1A-2B LUC: 102 CASPARI MATTHEW CASNAVE LAUREN 172 KIMBALL AVE UNIT 2B REVERE, MA 02151 172 KIMBALL AVE 3A 8-159-1A-3A LUC: 102
BEACH ST 8-143-14 LUC: 337 CHEA REALTY TRUST CHEA SOPHEAK TRUSTEE 164 KIMBALL AVE REVERE, MA 02151	640 BEACH ST 8-151-3 LUC: 105 SOLA JOSE M 640 BEACH ST Revere, MA 02151	ADAMS CHARLES ADAMS RHONDA 172 KIMBALL AVE UNIT 3A REVERE, MA 02151 172 KIMBALL AVE 3B 8-159-1A-3B LUC: 102
669 BEACH ST 8-143-15 LUC: 112 OHARA PROPERTIES THREE LLC 24 LARCHMONT RD MELROSE, MA 02176	139 KIMBALL AVE 8-151-31 LUC: 101 BAKKAL AMEUR TAZAGHAGHT FATIMA 139 KIMBALL AVE REVERE, MA 02151	CARDIN CHRISTINE R GALLAGHER JANIESE L 56 TANGLEWOOD DR NASHUA, NH 03062
675 BEACH ST 8-143-16 LUC: 121 RHOUSE2, LLC 301 NEWBURY ST #313 DANVERS, MA 01923	1459 NORTH SHORE RD 8-152-2 LUC: 337 IAN REALTY TRUST DICESARE GAIL TRUSTEE 1605 NORTH SHORE RD REVERE, MA 02151	172 KIMBALL AVE 4A 8-159-1A-4A LUC: 102 WU WING TEK VENISSE PANDEY AAYUSH 172 KIMBALL AVE UNIT 4A REVERE, MA 02151 172 KIMBALL AVE 4B 8-159-1A-4B LUC: 102
641 BEACH ST 8-144-10A LUC: 105 GHANA REALTY LLC 343 WASHINGTON ST SUITE 201 NEWTON, MA 02458	1465 NORTH SHORE RD 8-152-3 LUC: 101 MIRANDA ALEX E REYES EMERSON A MIRANDA 1465 NORTH SHORE RD REVERE, MA 02151	JERNIGAN DAVID H DETABLAN DANTE M 172 KIMBALL AVE UNIT 4B REVERE, MA 02151 164 KIMBALL AVE 8-159-2 LUC: 332
643 BEACH ST 8-144-10B LUC: 105 GHANA REALTY LLC 343 WASHINGTON ST SUITE 201 NEWTON, MA 02458	1469 NORTH SHORE RD 8-152-4 LUC: 104 CHAVARRIA LUISA F LOPERA 1469 NORTH SHORE RD Revere, MA 02151	CHEA REALTY TRUST CHEA SOPHEAK TRUSTEE 164 KIMBALL AVE REVERE, MA 02151
649 BEACH ST 8-144-11A LUC: 105 BEACH 649, LLC P.O. BOX 365 REVERE, MA 02151	1473 NORTH SHORE RD 8-152-5 LUC: 101 ZORO, LLC P.O. Box 365 REVERE, MA 02151	162 KIMBALL AVE 8-159-3 LUC: 101 PHERMPOONPANICH VINMOLWAN JIRAPONGMED AREEYA 45 SPRAGUE ST MALDEN, MA 02148
655 BEACH ST 8-144-11B LUC: 013 BEACH NORTH, LLC P.O. BOX 365 REVERE, MA 02151	142 KIMBALL AVE 8-152-6 LUC: 109 RIVAS NANCY B 142-144 KIMBALL AVE REVERE, MA 02151	1470 NORTH SHORE RD 8-159-4 LUC: 325 BIG BLUE REALTY, LLC 152 LYNNWAY SUITE 2B LYNN, MA 01902
639 BEACH ST 8-144-9 LUC: 105 639 BEACH STREET REALTY TRUST EVANGELISTA TRUSTEE SALVAADOR G POST OFFICE BOX 15 REVERE, MA 02151	138 KIMBALL AVE 8-152-7 LUC: 104 NICKOVIC SRDJAN 114 SPRINGS RD BEDFORD, MA 01730	1456 NORTH SHORE RD 8-159-5 LUC: 332 BUDDYS INC 1456 NORTH SHORE RD REVERE, MA 02151

Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

NORTH SHORE REAR RD 8-159-6

LUC: 337

BUDDYS INC

1456 NORTH SHORE RD
REVERE, MA 02151

RAILROAD LOCATIO 9-166&168-14

LUC: 920

MASS BAY TRANS AUTHORITY

10 PARK PLAZA
BOSTON, MA 02116

THIS IS A TRUE & ATTESTED
COPY OF THE RECORDS OF THE
ASSESSOR'S OFFICE OF THE
CITY OF REVERE

Susan Shaffer

DATE: 1-2-24

Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)



PROPERTY LOCATION
 No 1473 Direction/Street/City NORTH SHORE RD, REVERE
 Unit#
OWNERSHIP
 Owner 1: ZORO, LLC
 Owner 2:
 Owner 3:
 Street 1: P.O. Box 365
 Street 2:
 Turn/City: REVERE
 S/Prov: MA Cntry: Own Occ: Type:
 Postal: 02151

PREVIOUS OWNER
 Owner 1: OKEEFE - CLAIRE M
 Owner 2: C/O THOMAS M BROWN -
 Street 1: 91 WILLOWDEAN AVE
 Turn/City: W. ROXBURY
 S/Prov: MA Cntry:
 Postal: 02132

NARRATIVE DESCRIPTION
 This parcel contains .061 Acres of land mainly classified as ONE FAM with a OLD STYLE Building built about 1900, having primarily ALUMINUM Exterior and 1087 Square Feet, with 1 Unit, 1 Bath, 0 3/4 Bath, 1 HalfBath, 6 Rooms, and 3 Bdrms.

OTHER ASSESSMENTS
 Code Description Amount Com. Int

PROPERTY FACTORS
 Item Code Description % Item Code Description
 Z water
 o Sewer
 n Electr
 Census: Exempt
 Flood Haz: Topo
 D Street
 S Gas
 t

LAND SECTION (First 7 lines only)
 Use LUC No of Units Depth/ Price/Units
 Code Description Fact
 101 ONE FAM 2636 SITE

IN PROCESS APPRAISAL SUMMARY
 Use Code Land Size Building Value Yard Items Land Value Total Value
 101 0.061 190,500 400 234,600 425,500
 Total Card 0.061 190,500 400 234,600 425,500
 Total Parcel 0.061 190,500 400 234,600 425,500
 Source: Market Adj Cost Total Value per SQ unit /Card: 391.53 /Parcel: 391.53

PREVIOUS ASSESSMENT
 Tax Yr Use Cat Bldg Value Yrd Items Land Size Land Value Total Value Asses'd Value Notes Date
 2024 101 FV 190,500 400 .061 234,600 425,500 425,500 Year End Roll 12/26/2023
 2023 101 NC 190,500 400 .061 234,600 425,500 425,500 Year End Roll 11/20/2023
 2023 101 FV 171,500 400 .061 204,900 376,800 Year end 1/6/2023
 2023 101 NC 171,500 400 .061 204,900 376,800 Year End Roll 10/21/2022
 2022 101 FV 117,500 500 .061 195,500 313,500 Year End Roll 12/30/2021
 2022 101 NC 117,500 500 .061 195,500 313,500 Year End Roll 11/9/2021
 2021 101 FV 109,300 500 .061 179,900 289,700 Year End Roll 12/15/2020
 2021 101 PTCH 109,300 500 .061 172,100 281,900 Year End Roll 8/19/2020

SALES INFORMATION
 Grantor Legal Ref Type Date Sale Price V Tst Verif Notes
 OKEEFE, CLAIRE 695-9 9/27/2023 515,000 No No
 UNKNOWN 397-89 1/1/1900 No No

TAX DISTRICT
 Sale Code Sale Price V Tst Verif Notes
 PAT ACCT. 2888

ASR Map: 8
 Fact Dist:
 Reval Dist:
 Year:
 Land Reason:
 Bid Reason:
 Civil District:
 Ratio:

BUILDING PERMITS
 Date Number Descrp Amount C/O Last Visit Fed Code F. Descrp Comment
 5/18/2009 6945 GENL RE 1,000 C 8/5/2009 REPLACE WOOD STAIR
 12/29/2006 4863 ROOF 5,000 C REROOF

ACTIVITY INFORMATION
 Date Result By Name
 8/22/2023 FIELD REVIEW 336 MATT MCGRATH
 3/16/2022 MEASURED 336 MATT MCGRATH
 11/1/2007 PERMIT 197 MIKE CASSIDY
 10/17/2007 No change 294 JIM HARRIS
 6/19/2007 INSPECTED 294 DENNIS M
 3/3/2006 MEASURED 335 JONATHAN D
 11/24/2005 INFO AT DOOR 427 DEREK
 11/22/2004 Change - H 114 SM
 12/16/2001 Change - H AH

VERIFICATION OF VISIT HOT DATA
 Sign: / / /

USER DEFINED
 Prior Id # 1: IRC
 Prior Id # 2:
 Prior Id # 3:
 PRINT
 Date Time
 01/02/24 15:59:26
 LAST REV
 Date Time
 11/28/23 08:05:52
 Prior Id # 1:
 Prior Id # 2:
 Prior Id # 3:

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EXTERIOR INFORMATION

Table with exterior details: Type: 15 - OLD STYLE, SY HT: 1T - 1.75 STORIES, (Liv) Units: 1 - Total: 1, Foundation: 3 - BRK/STONE, Frame: 1 - WOOD, Prime Wall: 3 - ALUMINUM, Sec Wall: %, Roof Struct: 1 - GABLE, Roof Cover: 1 - ASPHALT, Color: BLUE, View / Desir: %

GENERAL INFORMATION

Table with general details: Grade: C - AVERAGE, Year Bld: 1900, Eff Yr Bld: %, Alt LUC: %, Jurisdic: %, Const Mod: %, Lump Sum Adj: %

INTERIOR INFORMATION

Table with interior details: Avg Ht/Ft: STD, Prim Int Wall: 2 - PLASTER, Sec Int Wall: %, Partition: T - TYPICAL, Prim Floors: 3 - HARDWOOD, Sec Floors: 6 - CERAMIC T 20%, Bsmnt Flr: 12 - CONCRETE

BATH FEATURES

Table with bath details: Full Bath: 1 Rating: FAIR, A Bath: Rating: %, 3/4 Bath: Rating: %, A 3/4 Bath: Rating: FAIR, 1/2 Bath: 1 Rating: FAIR, A HBth: Rating: %, Othr Fix: 1 Rating: FAIR

OTHER FEATURES

Table with other features: Kls: 1 Rating: FAIR, A Kls: Rating: %, Frl: Rating: %, WSLFlue: Rating: %

COMMENTS

OF=EX TOILET IN BMT.

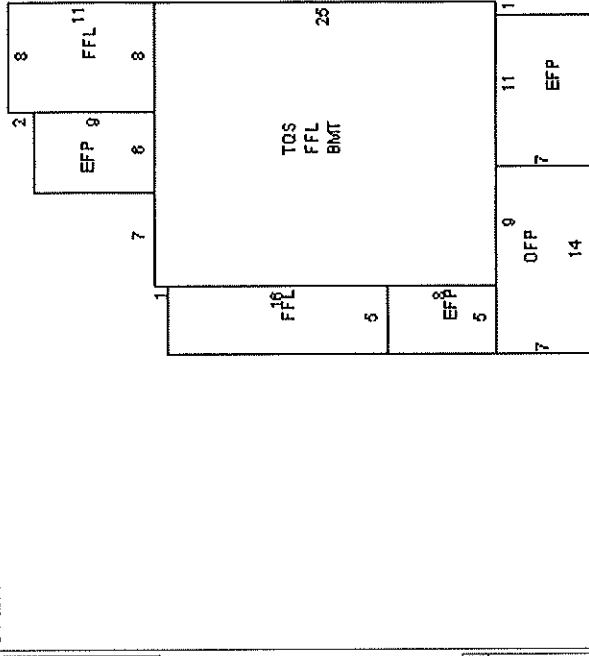
RESIDENTIAL GRID

Table with residential grid details: 1st Res Grid Desc: Line 1, Level FY LR DR D K FR RR BR FB HB L O, Other, Upper, Lvl 2, Lvl 1, Lower, Totals RMS: 6 BRS: 3 Baths: 1 HB: 1

REMODELING

Table with remodeling details: Exterior, Interior, Additions, Kitchen, Baths, Plumbing, Electric, Heating, General, No Unit RMS BRS FL, 1 6 3 M, Totals 1 6 3

SKETCH



CALC SUMMARY

Table with calculation summary: Basic \$ / SQ: 170.00, Size Adj: 1.33000004, Const Adj: 10.98184246, Adj \$ / SQ: 221.995, Other Features: 47750, Grade Factor: 1.00, NBHD Inf: 1.00000000, NBHD Mod: %, LUC Factor: 1.00, Adj Total: 325496, Depreciation: 135016, Depreciated Total: 190480

COMPARABLE SALES

Table with comparable sales: Rate, Parcel ID, Typ, Date, Sale Price, WFA\$/SQ, AvRate, Ind.Val, Jurts. Factor, Before Depr: 221.99, Special Features: 0, Val/Su Net: 101.28, Final Total: 190500, Val/Su SzAd: 175.29

SUB AREA

Table with sub area details: Code, Description, Area - SQ, Rate - AV, Undepr Value, Sub Area, Usbl, % Descr, % Type, Qu # Ten, FFL FIRST FLOOR 693 221.990 153,842, BMT BASEMENT 525 55.500 29,137, TOS 3/4 STORY 394 221.990 87,410, EFP ENCL PRCH 171 30.020 5,134, OFF OPEN FRM PRC 98 22.680 2,223

SUB AREA DETAIL

Table with sub area detail: Net Sketched Area: 1,881, Total: 277,746, Size Adj: 1086.75, Gross Area: 2012, Fin Area: 1087

MOBILE HOME

Make: Model: Year: Color:

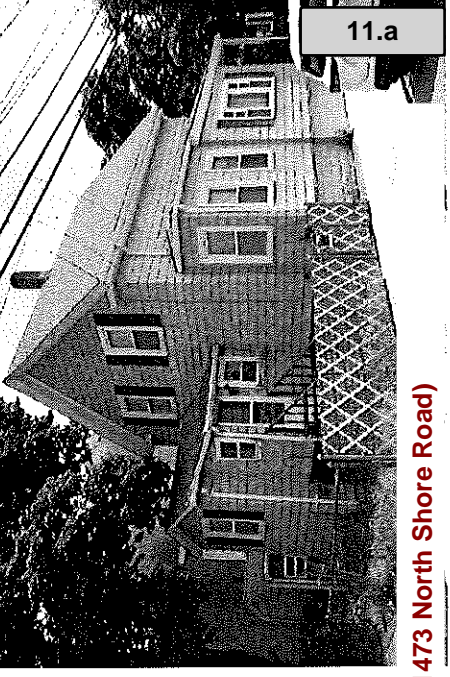
SPEC FEATURES/YARD ITEMS

Table with spec features: Code, Description, A Y/S Qty, Size/Dim, Qual, Cont, Year, Unit Price, D/S, Dep, LUC, Fact, NB, Fa, Appr, Value, JCod, Fact, Jurts. Value, 2 SHED/FR D Y 1.8X10 A AV 2010 8.50 T 40 101 400

PARCEL ID

8-152-5

IMAGE



AssessPro Patriot Properties, Inc

11.a

Attachment: PH.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

Ashley Melnik

From: fstringi@revere.org
Sent: Wednesday, February 7, 2024 11:18 AM
To: Ashley Melnik; Louis Cavagnaro; noneil@dambrosiollp.com
Subject: Application Review Comments

Follow Up Flag: Follow up
Flag Status: Flagged

CITY OF REVERE APPLICATION REVIEW

City of Revere Site Plan Review Review Comments

From: Frank Stringi
Date: February 07, 2024
Application #: SPR23-000163
Address: 1473 NORTH SHORE RD
Description: Proposed Multifamily Residential Building
Review Status: Pending

Please be advised that the following findings and conditions have been made with respect to the special permit request for 11 residential units at 1473 North Shore Road..

Reviewer: Frank Stringi, Community Development

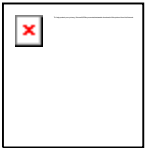
1. A sewer connection and water connection permit must be obtained from the DPW for all new construction. The City Engineer and DPW Superintendent must review and approve the proposed sewer service and water service plan as well as storm water management plan and erosion control plan..
2. The plans must be reviewed and approved by the Fire Dept.
3. Hydrant flow tests shall be conducted to determine the adequacy of both domestic and fire flow and for the proper sizing of domestic and fire flow service lines to the proposed project. Plans for the location of additional hydrants shall be approved by the Revere Fire Dept.
4. The project proponent must pay a sewer mitigation fee, which is based on 10 times 110 gallons/bedroom times \$1.30/gallon. Based on the proposed 8 additional bedrooms, the sewer mitigation fee shall be \$\$11,440. The sewer mitigation fee shall be utilized to remove inflow and infiltration from entering the sewer system and shall be paid to the City of Revere in two installments, 50% prior to issuance of building permit and 50% prior to issuance of occupancy permit.
5. Concrete sidewalks with granite curbing shall be installed along the full frontage of the property and two street trees (minimum caliper of 2 1/2") shall be planted along the North Shore Road frontage.
6. All existing drains, water lines and sewer lines within the site shall be abandoned and shall be capped at the main and removed.

Attachment: Conditions.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

- 7. The building design and materials plan as well as the landscaping and streetscape plan shall be approved by the Site Plan Review Committee.
- 8. All rooftop mechanical units shall be set back from building's perimeter in a manner that limits visibility from the street level and include acoustical mitigation and/or noise baffle devises.
- 9. The developer shall establish a Transportation Demand Management (TDM) Program for the proposed project to be approved by the Site Plan Review Committee. The elements of the TDM program shall include: (a) off street parking shall be limited by leasehold agreements with tenants to the number of off-street parking spaces approved with the project (note that this development shall not be eligible for residential parking stickers); (b) Prior to leasing, building management will commit to exploring available T-pass programs for residents without vehicles; (c) the project shall provide for bicycle parking at no additional charge to the tenants.
- 10. In accordance with Chapter 17.47, the Capital Improvement Trust Fund is applicable to this project. Under the Community Improvement Trust Fund, the developer must contribute 3% of the cost of construction above and beyond what is allowed as of right towards the fund, which must be spent exclusively towards capital improvement projects within the impacted area. For the purpose of the special permit, 3% of the construction costs shall be based on the increased density of the project as a result of the FAR of 3. Therefore, the CIT fee for this development is calculated at \$31, 428.

*NOTE: If your application is marked "Resubmittal Required", you do not need to submit a new application.
Log back into your account and edit either your Registration or Permit as requested in the comments.*

Please do not reply to this automated email. All resubmittals should be done using our online portal at www.citizenserve.com/revere re-review. Furnishing the above requested information will help expedite the approval of your application.



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Attachment: Conditions.C2401.1473NorthShoreRoad (24-028 : Special Permit, C-24-01, 1473 North Shore Road)

AN ORDINANCE FURTHER AMENDING TITLE 17, ZONING: REVERE FAMILY HOME-BASED
CHILDCARE ZONING ORDINANCE

SECTION 1. Title 17, Chapter 17.08, Section 17.08.150 of the revised ordinances of the City of Revere is hereby amended by removing this section in its entirety.

SECTION 2. Title 17, Chapter 17.08.146 of the revised ordinances of the City of Revere is hereby created by inserting the following new section:

17.08.146 - Cellar

“Cellar” means a story, partly or entirely underground, having more than one-half of its clear height below the average level of the finished outside grade of the lot.

(C.O.83-3 § 17-2(B)(12))

SECTION 3. Title 17, Chapter 17.08, Section 17.08.195 of the revised ordinances of the City of Revere is hereby amended by removing this section in its entirety.

SECTION 4. Title 17, Chapter 17.08, Section 17.08.150 of the revised ordinances of the City of Revere is hereby created by inserting the following new section:

17.08.150 - Child care center.

"Child care center" means any facility operated on a regular basis by an entity licensed by the Massachusetts Department of Early Education and Care under M.G.L c. 15D, § 1A, which may be known as a child nursery, nursery school, kindergarten, child play school, progressive school, child development center, or preschool, or known under any other name, which receives children not of common parentage under 7 years of age, or under 16 years of age if those children have special needs, for nonresidential custody and care during part or all of the day separate from their parents.

Child care center shall not include: any part of a public school system; any part of a private, organized educational system, unless the services of that system are primarily limited to kindergarten, nursery or related preschool services; a Sunday school conducted by a religious institution; a facility operated by a religious organization in which children are cared for during short periods of time while persons responsible for the children are attending religious services; a family child care home; an informal cooperative arrangement among neighbors or relatives; or the occasional care of children with or without compensation.

(C.O.93-30 § 2)

SECTION 5. Title 17, Chapter 17.08, Section 17.08.151 of the revised ordinances of the City of Revere is hereby created by inserting the following new section:

17.08.151- Child care center, Large Group and School Age Child Care

“Large Group and School Age Child Care” means any program that receives on a regular basis more than ten children who are unrelated to their caregivers and are younger than 14 years old, or 16 years, if such children have special needs, during all or part of the day for non-residential care and education outside their own homes. Such programs shall include, but not be limited to, those commonly

known as child care centers, day care centers, preschools, nursery schools, child development programs, school age child care programs and before and after school programs, regardless of their location. Such programs shall not include any part of a public school system; any part of a private organized educational system, unless the services of such a system are primarily limited to kindergarten, nursery or related pre-school services; any part of a program operated by an organized educational system for the children enrolled in that particular system, unless the services of such system are primarily limited to a school age child care program; Sunday schools or classes for religious instruction conducted by a religious institution; a facility operated by a religious organization where children are cared for during short periods of time while persons responsible for such children are attending religious services; an informal cooperative arrangement among neighbors or relatives; or the occasional care of children with or without compensation therefore.

SECTION 6. Title 17, Chapter 17.08, Section 17.08.152 of the revised ordinances of the City of Revere is hereby created by inserting the following new section:

17.08.152 - Child care center, Small Group and School Age Child Care

“Small Group and School Age Child Care” means any program that receives on a regular basis ten or fewer children who are unrelated to their caregivers and are younger than 14 years old, or 16 years, if such children have special needs, during all or part of the day for non-residential care and education outside their own homes, when such services are not provided in a private residence. Such programs shall include, but not be limited to, those commonly known as child care centers, preschools, nursery schools, child development programs, school age child care programs and before and after school programs. Such programs shall not include any part of a public school system; any part of a private organized educational system, unless the services of such a system are primarily limited to kindergarten, nursery or related pre-school services; a Sunday school conducted by a religious institution; a facility operated by a religious organization where children are cared for during short periods of time while persons responsible for such children are attending religious services; a family child care home; an informal cooperative arrangement among neighbors or relatives; or the occasional care of children with or without compensation therefore.

SECTION 7. Title 17, Chapter 17.08, Section 17.08.275 of the revised ordinances of the City of Revere is hereby amended by removing this section in its entirety and inserting the following new section:

17.08.275 - Family child care home.

"Family child care home" means any private residence which is licensed by the Massachusetts Department of Early Childhood Education and Care and which, on a regular basis, receives for temporary custody and care during part or all of the day, children under 7 years of age, or children under 16 years of age if those children have special needs, and receives for temporary custody and care for a limited number of hours children of school age under regulations adopted by the board. The total number of children under 16 in a family child care home shall not exceed 6, including participating children living in the residence. Family child care home shall not mean a private residence used for an informal cooperative arrangement among neighbors or relatives, or the occasional care of children with or without compensation.

(C.O.03-298 § 3)

SECTION 8. Title 17, Chapter 17.08, Section 17.08.276 of the revised ordinances of the City of Revere is

ZONING DISTRICT																			
USE	RA	RA1	RB	RB1	RC	RC1	RC2	RC3	PDD1	PDD2	NB	GB	GB1	CB	HB	TED	LI	IP	
A. RESIDENTIAL USES:																			
Child care center	yes*	yes*	yes*	yes*	yes*	yes*	yes*	yes*	yes*	yes*	yes*	yes*	yes*	yes*	yes*	yes*	yes*	yes*	yes
Family child care home	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	no	no	no	no	
Large family child care home	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	no	no	no	no	

hereby created;

17.08.276 - Family child care home, Large

"Large family child care home" means any private residence which is licensed by the Massachusetts Department of Early Childhood Education and Care and which, on a regular basis, receives for temporary custody and care during part, or all of the day, children under 7 years of age, or children under 16 years of age if such children have special needs, and receives for temporary custody and care for a limited number of hours children of school age under regulations promulgated by the board, but the number of children under the age of 16 in a large family child care home shall not exceed 10, including participating children living in the residence. A large family child care home shall have at least 1 approved assistant when the total number of children participating in child care exceeds 6. Large family child care home shall not mean a private residence used for an informal cooperative arrangement among neighbors or relatives, or the occasional care of children with or without compensation.

SECTION 9. Title 17, Chapter 17.08, Section 17.08.277 of the revised ordinances of the City of Revere is hereby created;

17.08.277 - Family child care system.

"Family child care system" means a person who, through contractual arrangement, provides to family child care homes, which have been approved as members of that system, central administrative functions including, but not limited to: training of operators of family child care homes; technical assistance and consultation to operators of family child care homes; inspection, supervision, monitoring and evaluation of family child care homes; referral of children to available family child care homes; and referral of children to available health and social services. Family child care system shall not mean a placement agency or a child care center.

SECTION 10. Title 17, Chapter 17.16, Section 17.16.040 of the revised ordinances of the City of Revere is hereby amended by removing the rows between "A. RESIDENTIAL USES" and "B. INSTITUTIONAL (EXCEPTING PRISONS AND UTILITY USES)" in their entirety and inserting the following new rows:

Attachment: Home-Based Childcare Amendments (24-022 : Home-Based Childcare Zoning Ordinance)

SECTION 11.4 Title 17, Chapter 17.16, Section 17.16.080 of the revised ordinances of the City of Revere is hereby amended by removing this section in its entirety and inserting the following new section:

17.16.080 - Child Care Center.

A child care center may be allowed in the RA, RA1, RB, RB1, RC, RC1, RC2, RC3, NB, GB, GBI, HB, TED, CB, LI, IP, PDD1 and PDD2 districts in conformance with the following criteria:

- A. A child care center shall comply in all respects with the standards for licensure and approval in accordance with Regulation 102 CMF 7.00 of the Office for Children.
- B. A child care center located in a residential district shall have outdoor play areas which are fenced on all sides and include screening where such areas abut a residential use. Minimum screening for outdoor play areas which abut a residential use shall include an appropriate landscaping screen and/or stockade fencing.

A child care center located in commercial or industrial districts which have outdoor play areas, shall provide fencing and screening on all sides. Screening areas shall include a five foot landscaped buffer zone where such play areas abut a commercial or industrial district or use.
- C. If the child care center is located within a residential district, there shall be no parking allowed within the front yard. If the day nursery is located in a residential structure and/or district, the facility must provide one off-street parking space per two hundred gross square feet of nursery space in addition to the residential requirements.
- D. If the child care center is located in a commercial structure and/or district, the facility will be required to provide one off-street parking space per two hundred gross square feet of nursery space in addition to the commercial parking requirements.
- E. No swimming pools located on the premises of a family child care home will be allowed unless they comply with all applicable requirements and standards established in 17.24.170 - swimming pool enclosures and 606 CMR 7.00

SECTION 12. Title 17, Chapter 17.16, Section 17.16.085 of the revised ordinances of the City of Revere is hereby amended by removing this section in its entirety and inserting the following new section:

17.16.085 - Family child care home.

A family child care home may be allowed in the RA, RA1, RB, RB1, RC, RC1, RC2, RC3, NB, GB, GB1, CB, PDD1 and PDD2 districts in conformance with the following minimum criteria:

- A. Separation between family child care homes. Within a residential district, no other large family child care home shall be located and operating within the same building of an existing large family child-care home or child care center.
- B. No swimming pools located on the premises of a family child care home will be allowed unless they comply with all applicable requirements and standards established in 17.24.170 - swimming pool enclosures and 606 CMR 7.00
- C. A family child care home shall register as a business with the city clerk's office.

SECTION 13. Title 17, Chapter 17.26, Section 17.26.040(T) of the revised ordinances of the City of Revere is hereby amended by removing this subsection in its entirety and inserting the following new subsection:

- T. Religious facility; public or private lodge or club; child care center or elderly care center; family child care home; nursing or convalescent home; public, private or nonprofit school; community or adult education center; and other similar uses and facilities.

SECTION 14. Title 17, Chapter 17.28, Section 17.28.020 of the revised ordinances of the City of Revere is hereby amended by removing the row “Day nursery” in its entirety and inserting the following new row in its place:

Use	Minimum Parking Spaces ^(A)	Minimum Loading Bay	Minimum Loading Space
Institutional and utility uses:			
child care center	1 per 200 GSF of child care center area	0	0

SECTION 15. Title 17, Chapter 17.28, Section 17.28.020(Notes)(A) of the revised ordinances of the City of Revere is hereby amended by removing subsection (A) of Notes and inserting in place thereof the following new note:

- (A) In the CB district, commercial parking requirements established by this table shall not apply. In the CB district, parking requirements shall be one space for every one thousand two hundred square feet of commercial space. This requirement shall apply to new construction only. Parking requirements associated with developments in the RC, RC1, RC2, NB, CB, GB, HB, IP, LI and TED districts shall be in accordance with the provisions set forth in this title. However, parking lots separate from the lot accommodating the principal use in the RC, RC1, GB, NB, CB, HB, IP and TED districts, but in common ownership, shall be allowed, provided that the lots are within one hundred feet of the building's principal entrance which fronts on a public right-of-way. Parking lots separate from the lot accommodating the principal use in the RC2 district, shall be allowed, provided that the lots are within three hundred feet of the building's principal entrance which fronts on a public right-of-way. The determination of the distance from the principal entrance of the building to the potential parking lot shall be the responsibility of the building inspector, who shall apply the distance criteria in a straight-line method. An agreement shall be recorded dedicating the parcel to parking use for the reasonable life of the building.

SECTION 16. Title 17, Chapter 17.44, Section 17.44.020 of the revised ordinances of the City of Revere is hereby amended by removing this section in its entirety and inserting the following new section:

17.44.020 - Permitted occupations.

Home occupations shall be limited to the following and similar uses:

- A. Artists, sculptors and photographers;
- B. Authors and composers;
- C. Dressmakers, seamstresses and tailors;
- D. Family child care home or babysitting for not more than six (6) children at a time;
- E. Large family child care home or babysitting for not more than ten (10) children at a time;
- F. Telephone soliciting and mailing services;
- G. Home crafts such as model making, rug weaving, jewelry making and woodworking;

- H. Office facility of a salesperson, sales representative or manufacturer's representative, provided that no retail or wholesale transactions are made on the premises, other than by telephone;
- I. Office facility of an architect, broker, dentist, physician, engineer, insurance agent, land surveyor, lawyer, musician or real estate agent;
- J. School of special education or tutored whose class size does not exceed four pupils at any given time.

AN ORDINANCE AMENDING THE TERM OF THE SUPERINTENDENT OF PUBLIC
WORKS OF THE CITY OF REVERE

Be it ordained by the City of Revere as follows:

Section 1. Section 2.63.020 of the Revised Ordinances of the City of Revere is hereby amended by removing the word “five” and inserting in place thereof the word “three.”



City of Revere

Chief Financial Officer/City Auditor

281 Broadway
 Revere, MA 02151
 Tel: (781) 286-8131

Richard Viscay
 CFO/City Auditor

February 21, 2024

Anthony Cogliandro, City Council President
 Revere City Hall
 281 Broadway
 Revere, MA 02151

Dear Council President Cogliandro,

In 2022, the City Council voted to adopt MGL Chapter 40, section 5B to establish a special purpose stabilization fund for the purpose of funding any debt service related to the construction of the new Revere High School. By earmarking a percentage of free cash and/or other dedicated revenue streams, this fund will help offset the cost of the debt service needed to construct the new high school.

With the recent certification of over \$3 million in free cash, I am requesting a transfer of \$366,597, or ten percent, into the RHS Stabilization Fund.

I will be available at the next Council meeting to answer any questions.

Best regards,

Richard Viscay
 CFO/ City Auditor

Cc: Patrick Keefe, Mayor
 Assunta Newton, Assistant Budget Director

Attachment: RHS Stabilization Fund Transfer (24-087 : Transfer of Free Cash to RHS Stabilization Fund)



City of Revere Chief Financial Officer/City Auditor

281 Broadway
Revere, MA 02151
Tel: (781) 286-8131

Richard Viscay
CFO/City Auditor

MEMORANDUM

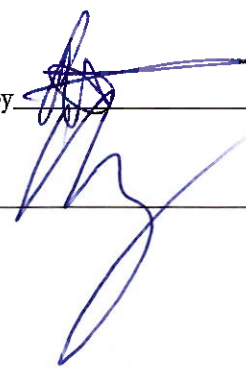
To: Mayor Patrick Keefe
From: Richard Viscay
Cc: Assunta Newton, Assistant Budget Director
Date: February 21, 2024
RE: Verification of Available Funds for Authorization and Transfer

The attached request asks that funds be transferred as follows:

FROM:	General Fund Free Cash (019909-596000)	\$366,597
	<i>Available Balance:</i>	\$3,665,974
TO:	High School Stabilization Fund (84-104000)	\$366,597
	<i>Current Balance:</i>	\$0.00

Based on the amount available as of February 21, 2024, there are sufficient funds to support such a transfer.

Account verified by _____
 Reviewed by _____



For Audit Use Only:
CO# _____ DATE _____ ENTRIES MADE BY _____

Attachment: RHS Stabilization Fund Transfer (24-087 : Transfer of Free Cash to RHS Stabilization Fund)



City of Revere

CFO/City Auditor/Budget Director

281 Broadway
 Revere, MA 02151
 Tel: (781) 286-8131

Richard Viscay
 CFO/City Auditor/Budget Director

February 21, 2024

Anthony Cogliandro, City Council President
 Revere City Hall
 281 Broadway
 Revere, MA 02151

RE: Certification of Free Cash – June 30, 2023

Dear Council President Cogliandro,

I am pleased to inform you that the City has received its annual certification of Free Cash from the Department of Revenue. The General Fund Free Cash has been certified at \$3,665,974 and the Water and Sewer Enterprise Fund has been certified at \$284,320. As you may know, the certification of free cash is a calculation of available funds to the City as a result of FY2023 operations.

Free cash is a revenue source that results from the calculation, as of July 1, of a community's remaining, unrestricted funds from its operations of the previous fiscal year based on the balance sheet as of June 30. It typically includes actual receipts in excess of revenue estimates and unspent amounts in departmental budget line items for the year just ending, plus unexpended free cash from the previous year.


In accordance with ordinances of the City of Revere, I am requesting transfers from free cash to the following accounts.

- Transfer of \$549,896 to the General Fund Stabilization Fund from General Fund Free Cash.
- Transfer of \$733,195 to the Capital Improvement Stabilization Fund from General Fund Free Cash.
- Transfer of \$250,000 to the Other Post Employment Benefit Trust Fund from General Fund Free Cash.
- Transfer of \$366,597 to the Affordable Housing Trust Fund.
- Transfer of \$42,648 to the Water and Sewer Stabilization Fund from Water and Sewer Free Cash.

These transfers will continue to increase the City's Stabilization Funds and OPEB Trust Fund balances. Specifically, the City will have in excess of \$9.8 million in the General Stabilization Fund, \$5.1 million in the Water and Sewer Stabilization Fund, \$1 million in the Capital Improvement Trust Fund, \$1.1 million in the Affordable Housing Trust Fund, and over \$1.9 million in the OPEB Trust Fund.

I will be in attendance at the next City Council meeting to answer any questions on this matter.

Best regards,


 Richard Viscay
 CFO/ City Auditor/ Budget Director

Cc: Patrick Keefe, Mayor
 Assunta Newton, Assistant Budget Director

Attachment: Certification of Free Cash June 30 2023 (24-088 : Certification of Free Cash - June 30th 2023)



City of Revere CFO/City Auditor/Budget Director

281 Broadway
Revere, MA 02151
Tel: (781) 286-8131

Richard Viscay
CFO/City Auditor/Budget Director



MEMORANDUM

To: Mayor Patrick Keefe
From: Richard Viscay
Cc: Assunta Newton, Assistant Budget Director
Date: February 21, 2024
RE: Verification of Available Funds for Authorization and Transfer

The attached request asks that funds be transferred as follows:

FROM:	Certified Water/Sewer free cash (604309-596000) <i>Available Balance: \$ 284,320</i>	\$42,648
TO:	Enterprise Fund Stabilization (84401-497000) <i>Current Balance: \$ 5,146,923</i>	\$42,648

Based on the amount available as of February 21, 2024, there are sufficient funds to support such a transfer.

Account verified by 
Reviewed by 

For Audit Use Only:

CO# _____ DATE _____ ENTRIES MADE BY _____



City of Revere CFO/City Auditor/Budget Director

281 Broadway
Revere, MA 02151
Tel: (781) 286-8131

Richard Viscay
CFO/City Auditor/Budget Director

MEMORANDUM

To: Mayor Patrick Keefe
From: Richard Viscay
Cc: Assunta Newton, Assistant Budget Director
Date: February 21, 2024
RE: Verification of Available Funds for Authorization and Transfer

The attached request asks that funds be transferred as follows:

FROM:	Certified free cash (019909-596000)	\$1,899,688
	<i>Available Balance:</i> \$ 3,665,974	
TO:	General Fund Stabilization (84151-497000)	\$549,896
	<i>Current Balance:</i> \$ 9,291,942	
TO:	Capital Improvement Stabilization (84111-497000)	\$733,195
	<i>Current Balance:</i> \$ 352,325	
TO:	Other Post-Employment Benefits Stabilization (84131-497000)	\$250,000
	<i>Current Balance:</i> \$ 1,673,859	
TO:	Affordable Housing Trust Fund (84201-497000)	\$366,597
	<i>Current Balance:</i> \$ 776,345	

Based on the amount available as of February 21, 2024, there are sufficient funds to support such a transfer.

Account verified by _____
Reviewed by _____

For Audit Use Only:

CO# _____ DATE _____ ENTRIES MADE BY _____

Attachment: Certification of Free Cash June 30 2023 (24-088 : Certification of Free Cash - June 30th 2023)

An Ordinance Further Amending Food Truck Regulations

Be it ordained by the City of Revere as follows:

Section 1. Section 5.10.050A – Areas and hours of operation, limitations of the Revised Ordinances of the City of Revere is hereby amended by striking the following locations: 6. Broadway, east side only, north of Cheever Street and south of Hyde Street, not to exceed two food trucks at this location at any one time. and 7. Broadway, east side only, north of Hyde Street and South of Pleasant Street, not to exceed one food truck at this location at any one time;

Section 2. Section 5.10.050A - Areas and hours of operation, limitations of the Revised Ordinances of the City of Revere is hereby amended by changing number 8 to 6.

Ashley Melnik

From: Julie DeMauro
Sent: Thursday, February 22, 2024 12:12 PM
To: Ashley Melnik
Cc: Tom Skwierawski
Subject: Council Letter of Support
Attachments: LOS RAISE COUNCIL.docx

Follow Up Flag: Follow up
Flag Status: Flagged

Ashley,

Please forward this letter of support request to Council President Cogliandro,

Council President Cogliandro,

The City of Revere was encouraged to apply for federal funding through the US Department of Transportation's Rebuilding American Infrastructure with Sustainability and Equity (RAISE) discretionary grant program. DPCD is requesting a letter of support from you and the City Council for this application.

The purpose of this grant is similar to the Reconnecting Communities and Neighborhood Grant that Revere submitted in September. The main objective will be to address and eliminate or minimize a number of existing barriers to east-west multimodal connections that run through the Revere community. These primarily involve the Routes 1A and 60 highway corridors that currently separate many of our neighborhoods, from each other, transit, employment and educational opportunities, goods and civic services.

The grant will also look at the connections and impacts that a future commuter rail station can have on regional traffic on the local roadways of Revere and Bell Circle. I have edited the LOS that was drafted for the Council in September for the Reconnecting Communities Grant for your review. The letter that was drafted was not returned in time for the grant submission. Please feel free to edit and or add additional content. If you should have any questions please feel to reach out to me or Tom. If we have the Council's support for this grant application, please return a signed LOS to us by Tuesday February 27th, 2024.

Thank you for your consideration of this request
Julie

Attachment: LateCommunicationFromJulieDeMauro02262024 (24-098 : American Infrastructure Grant Program)

Secretary Pete Buttigieg
US Department of Transportation
1200 New Jersey Ave, SE
Washington, DC 20590
United States

Dear Secretary, Buttigieg,

As the President of the Revere City Council, I am writing to you on behalf of my constituents in Revere to express our endorsement of the City of Revere's US Department of Transportation Rebuilding American Infrastructure with Sustainability and Equity (RAISE) discretionary grant program application. As elected officials of this diverse City we strive to provide access and opportunities for all our residents that we serve through advocacy on both the state and local level. One area in which the Council consistently advocates for relief on behalf of its residents is related to traffic congestion and reduction. The City of Revere is a Gateway City, and with its place in the Commonwealth's transportation system, our city is plagued with traffic congestion, noise and air pollution that is increasingly problematic along Route 60 and Route 1A corridors.

As our city's population continues to grow, the demand for better infrastructure for all travel modes is necessary to create an equitable and accessible transportation system that provides cross-town connections, safer roadways and reduces pollution. Routes 60 and 1A's placement within the city has divided neighborhoods from each other and has cut off convenient and assessable access to Revere's educational facilities and other civic offices.

A grant award from the Federal Highway Administration would allow for our city planners to identify local and regional solutions to mitigate the negative impacts that the traffic has had on our residents' mobility, health, and economic vitality. It will also reconnect the city with the removal of the barriers within the transportation network, creating safer and convenient crosstown connections that includes multimodal infrastructure.

In closing, I am in full support of the 'City of Revere's US Department of Transportation Rebuilding American Infrastructure with Sustainability and Equity (RAISE) discretionary grant program application. We thank you and your staff for their consideration of this application.

Sincerely

RHS PROJECT SCHEDULE SUMMARY

SCHEMATIC DESIGN / FEASIBILITY STUDY COMPLETION SEQUENCE

1	CONFIRM REIMBURSEMENT RATE W/ MBSA FOR 4C NOTIFICATION	2/12/2024	2/17/2024	Complete
2	SUBMIT PFA VOTE LANGUAGE TO MSBA	2/12/2024	2/17/2024	In review w/ City
3	SUBMIT SCHEMATIC DESIGN SUBMISSION NOTIFICATION (4C)	2/15/2024	2/15/2024	Complete
4	SUBMIT SCHEMATIC DESIGN TO MSBA	2/29/2024	2/29/2024	
5	MSBA ISSUES REVIEW COMMENTS	3/1/2024	3/22/2024	21 day window
6	MSBA FACILITIES ASSESSMENT SUB-COMMITTEE MEETING ("FAS")	3/13/2024	3/27/2024	
7	PROJECT SCOPE & BUDGET CONFERENCE CALL	TBD		
8	MSBA BOARD MEETING	4/24/2024	4/24/2024	
9	MSBA ISSUES BOARD ACTION LETTER	4/25/2024	4/25/2024	Day after Board approval
10	MSBA ISSUES PROJECT SCOPE & BUDGET AGREEMENT ("PS&B")	4/25/2024	5/2/2024	Within a week of Board approval
11	CITY EXECUTES PS&B	5/6/2024	5/13/2024	
12	SUBMIT VOTE RESULTS TO MSBA	5/7/2024	5/14/2024	
13	MSBA ISSUES PROJECT FUNDING AGREEMENT ("PFA")	5/8/2024	5/22/2024	
14	CITY EXECUTES PROJECT FUNDING AGREEMENT	5/13/2024	5/27/2024	Debt authorization
15	SBC EXECUTES CONTRACT AMENDMENTS / NOTICE TO PROCEED	6/1/2024	6/30/2024	

RHS PROJECT SCHEDULE SUMMARY

DESIGN DEVELOPMENT / CONSTRUCTION DOCUMENTS / CONSTRUCTION / CLOSEOUT

PERMITTING (TO BE EXPANDED)	3/1/2024	3/2/2025	
DESIGN DEVELOPMENT	6/1/2024	1/31/2025	
BID PACKAGE 1: SITE ENABLING, DEMO, ABATEMENT	1/31/2025	3/1/2025	
60% CONSTRUCTION DOCUMENTS	2/1/2025	4/30/2025	
BID PACKAGE 2: SITE, FOUNDATIONS, CONCRETE, STEEL	5/1/2025	5/31/2025	
90% CONSTRUCTION DOCUMENTS	5/1/2025	7/31/2025	
FINAL CONSTRUCTION DOCUMENTS	8/1/2025	10/31/2025	
BID PACKAGE 3: ENVELOPE/MEP/INTERIORS/REMAINING	11/1/2025	1/1/2026	
TARGET: FINAL GMP	1/31/2026	3/15/2026	
CONSTRUCTION			
SITE PREP MOBILIZATION	3/2/2025	5/1/2025	
FULL MOBILIZATION	6/1/2025	5/7/2028	
SUBSTANTIAL COMPLETION	6/16/2028	6/16/2028	
FF&E / TECHNOLOGY INSTALLATIONS	5/16/2028	7/31/2028	
SCHOOL OPENING (FULL OCCUPANCY)	8/1/2028	8/1/2028	Exact date TBD

RHS PROJECT PENDING VOTE LANGUAGE (PFA/DEBT AUTHORIZATION)

ARTICLE

To see if the City will vote to appropriate, borrow or transfer from available funds, an amount of money to be expended under the direction of the Revere High School Building Committee for construction of the new Revere High School at 190 Veterans of Foreign Wars Parkway, [which school facility shall have an anticipated useful life as an educational facility for the instruction of school children of at least 50 years], and for which the City may be eligible for a school construction grant from the Massachusetts School Building Authority (“MSBA”). The City acknowledges that the MSBA’s grant program is a non-entitlement, discretionary program based on need, as determined by the MSBA, and any project costs the City incurs in excess of any grant approved by and received from the MSBA shall be the sole responsibility of the City. Any grant that the City may receive from the MSBA for the Project shall not exceed the lesser of (1) 74.52 percent (%) of eligible, approved project costs, as determined by the MSBA, or (2) the total maximum grant amount determined by the MSBA.

MOTION/VOTE/ORDER

That the City of Revere appropriate the amount of four hundred ninety three million, two hundred seventeen thousand, nine hundred and one (\$493,217,901) Dollars for the purpose of paying costs of construction of the new Revere High School at 190 Veterans of Foreign Wars Parkway, including the payment of all costs incidental or related thereto (the “Project”), [which school facility shall have an anticipated useful life as an educational facility for the instruction of school children for at least 50 years], and for which the City of Revere may be eligible for a grant from the Massachusetts School Building Authority (“MSBA”), said amount to be expended under the direction of the Revere High School Building Committee. To meet this appropriation the City of Revere, is authorized to borrow said amount under M.G.L. Chapter 44, or pursuant to any other enabling authority. The City of Revere acknowledges that the MSBA’s grant program is a non-entitlement, discretionary program based on need, as determined by the MSBA, and any project costs the City of Revere incurs in excess of any grant approved by and received from the MSBA shall be the sole responsibility of the City of Revere; provided further that any grant that City of Revere may receive from the MSBA for the Project shall not exceed the lesser of (1) 74.52 percent (%) of eligible, approved project costs, as determined by the MSBA, or (2) the total maximum grant amount determined by the MSBA; [provided that any appropriation hereunder shall be subject to and contingent upon an affirmative vote of the City to exempt the amounts required for the payment of interest and principal on said borrowing from the limitations on taxes imposed by M.G.L. 59, Section 21C (Proposition 2½)]; and that the amount of borrowing authorized pursuant to this vote shall be reduced by any grant amount set forth in the Project Funding Agreement that may be executed between the City of Revere and the MSBA.