



CITY COUNCIL  
Regular Meeting

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City Councillor Joseph A. DelGrosso  
City Council Chamber – Revere City Hall  
281 Broadway, Revere, Massachusetts 02151  
Calendar  
Monday, November 22, 2021, 6:00 PM

**5:00PM Zoning Sub-Committee Meeting**

**Salute to the Flag**

1. **Roll Call of Members**
2. Approval of the Journal of the Regular Meeting of November 15, 2021

**Public Hearings**

3. **21-401** Hearing called as ordered on a joint petition submitted by National Grid and Verizon, to relocate 1 JO Pole #2222 on Albert Avenue, 15' southwest along Albert Avenue and install an anchor to the northeast.
4. **21-383** Hearing called as ordered on the Parity Salary Ordinance.
5. **21-384** Hearing called as ordered for the purpose of establishing the Minimum Residential Factor for adoption of the Fiscal Year 2022 tax rate.
6. **21-388** Hearing called as ordered on, An Ordinance Repealing Section 2.03.050(E) of the Revised Ordinances of the City of Revere Relative to Meeting Times of Governmental Bodies.
7. **21-402** Hearing called as ordered on the application of 465 Revere Beach Boulevard Realty Trust, 24 Bellingham Ave., Revere, MA 02151 seeking permission from the Revere City Council to modify and alter an existing nonconforming five (5) unit apartment structure by establishing an additional nine (9) units to enable the appellant to develop a fourteen (14) unit apartment structure with seventeen (17) off-street parking spaces on Lots 5, A, and B at 465 Revere Beach Boulevard, Revere, MA 02151.
8. **21-403** Hearing called as ordered on the application of Marie Telfort, 23 Hyde Street, Revere, MA 02151 seeking permission from the Revere City Council to alter and extend a nonconforming use and structure to enable the appellant to reconstruct the existing nonconforming three-family structure which was destroyed by a fire in June 2021 on Lot 5B at 23 Hyde Street, Revere, MA 02151.

**Committee of the Whole Report - Reprecincting Map**

9. **21-385** Communication from the Mayor relative to the 2021 Proposed Ward and Precinct Map

**Zoning Sub-Committee Report**

10. **21-351** Danny S. Smith, Vertuccio & Smith Funeral Home, 773 Broadway, Revere, MA 02151 requesting a special permit from the Revere City Council to raze the existing non-conforming residential structure and permit the operation and construction of a brand new funeral home at the corner of Mountain Avenue and School Street at 9 Mountain Avenue, Revere, MA 02151.
11. **21-352** Danny S. Smith, Vertuccio & Smith Funeral Home, 773 Broadway, Revere, MA 02151 requesting a special permit from the Revere City Council to raze the existing residential structure and construct a private parking lot on Lot D at 100 School Street, Revere, MA 02151 to enable the appellant to meet the require parking needs for a proposed funeral home at 9 Mountain Avenue, Revere, MA 02151.
12. **21-392** T-Mobile Northeast, LLC, 15 Commerce Way, Norton, MA 02766 seeking permission from the Revere City Council to install a wireless communications facility to include nine (9) roof mounted antennas and related equipment at 385 Broadway, Revere, MA 02151.
13. **21-393** Wellness Connection of Massachusetts Inc., 44 Railroad Street, Revere, MA 02151 and Gunnar Holding LLC, 30 Railroad Street, Revere, MA 02151, seeking permission from the Revere City Council to revise and change the original site plan and the special permit conditions in the Notice of Decision, Application No. C-15-12/15-258 granted on December 7, 2015 and seeking permission to operate a commercial parking lot for the purpose of storing or parking automobiles, buses or trucks available to the public generally on a daily basis at 44 Railroad Street, Revere, MA 02151.
14. **21-332** Proposed amendment to the Revised Ordinances of the City of Revere requested by the applicant, Enterprise Rent-A-Car Company of Boston, LLC, 50 Tomahawk Drive, Building #49, East Boston, MA 02128: An Ordinance Providing for Automotive/Truck Rental Office and Storage Use by Special Permit in the HB District Section 1. Section 17.16.040(D) Business Uses and Consumer Services, Generally – Table of Uses of the Revised Ordinances of the City of Revere is hereby amended by allowing Automotive/truck rental office and storage use by Special Permit<sup>^^</sup> in the HB District. Section 2. Section 17.16.040 Generally – Table of Uses of the Revised Ordinances of the City of Revere is hereby amended by inserting the following new footnote <sup>^^</sup>: 1. Allowed vehicles as part of the “Automotive/truck rental office and storage” shall be limited to no more than a GVW 10,500 lb limit. 2. Vehicle capacity shall be limited to up to 50 rental vehicles on site at any one time. 3. There shall be a minimum lot size of ½ acre for any property seeking such a use by Special Permit. 4. No stacking of vehicles will be allowed on site. 5. No repair, maintenance, or body work shall be allowed on site. 6. Applicants must agree to install and provide substantive screening and buffering on site.
15. **21-380** 128 Revere Street Realty Trust, Revere, MA 02151 requesting an amendment to the Zoning Map of the City of Revere as follows: Section 1. The Zoning Map of the City of Revere is hereby amended by changing the zoning district designation of Map Block and Parcels 17-281-1, 17-280-1, 17-280-2, and 17-280-3 from the Residential B District to the General Business District.

**Communications**

16. **21-404** Communication from the Election Commissioner requesting approval of the Warrant for the Special State Primary, on Tuesday, December 14, 2021.
17. **21-405** Communication from the City Auditor relative to the re-purposing of the McKinley School Bond Authorization for DPW and Fire Station Projects.
18. **21-406** Communication from the Mayor relative to the Appointment of Paul J. Fahey as Election Commissioner
19. **21-407** Communication from the Mayor relative to the Appointment of Robert Brown to Commission on Disabilities
20. **21-408** Communication from the Mayor relative to a Request for Special Municipal Employee status for ADA Coordinator/Chair of the Commission on Disabilities



CITY COUNCIL  
Regular Meeting

City Councillor  
Joseph A. DelGrosso  
City Council Chamber  
Journal  
Monday, November 15, 2021

Regular Meeting of the City Council was called to order at 6:00 PM. Council President Anthony T. Zambuto presiding.

**Salute to the Flag**

1 Roll Call of Members

| Attendee Name       | Title             | Status  | Arrived |
|---------------------|-------------------|---------|---------|
| Jessica A. Giannino | Councillor        | Present |         |
| Arthur F. Guinasso  | Councillor        | Present |         |
| Patrick M. Keefe    | Councillor        | Present |         |
| Joanne McKenna      | Councillor        | Present |         |
| Steven Morabito     | Councillor        | Present |         |
| Ira Novoselsky      | Councillor        | Present |         |
| John F. Powers      | Councillor        | Present |         |
| Richard J. Serino   | Councillor        | Present |         |
| George J. Rotondo   | Councillor        | Present |         |
| Gerry Visconti      | Councillor        | Present |         |
| Anthony T. Zambuto  | Council President | Present |         |

2 Approval of the Journal of the Regular Meeting of November 8, 2021

**RESULT: ACCEPTED**

**Public Hearings**

- 3 21-392 Hearing called as ordered on the application of T-Mobile Northeast, LLC, 15 Commerce Way, Norton, MA 02766 seeking permission from the Revere City Council to install a wireless communications facility to include nine (9) roof mounted antennas and related equipment at 385 Broadway, Revere, MA 02151.

**Proponents**

Adam Braillard, Applicant's Attorney  
Ryan Ramos  
Mark Cheachon  
Peter Cook

**Opponents**

Eleanor Raffa, 20 Central Avenue, Revere, MA



Ms. Raffa indicated that she was opposed to the installation due to the potential noise created by the generator. The generator will add to the noise of the existing conditions on Central Avenue which includes traffic, fire engine sirens, and the existing generator at 385 Broadway. Mr. Ramos for the applicant stated that the generator will go on approximately once per month as a self-test and emits a sound around 85 decibels.

Councillor McKenna expressed concern relative to radio frequency emissions. Mr. Ramos for the applicant stated that the facility does not exceed FCC emissions standards.

**RESULT: REFERRED TO ZONING**

- 4      21-393      Hearing called as ordered on the application of Wellness Connection of Massachusetts Inc., 44 Railroad Street, Revere, MA 02151 and Gunnar Holding LLC, 30 Railroad Street, Revere, MA 02151, seeking permission from the Revere City Council to revise and change the original site plan and the special permit conditions in the Notice of Decision, Application No. C-15-12/15-258 granted on December 7, 2015 and seeking permission to operate a commercial parking lot for the purpose of storing or parking automobiles, buses or trucks available to the public generally on a daily basis at 44 Railroad Street, Revere, MA 02151.

**Proponents**

Lawrence Simeone, Attorney for the Applicant

**Opponents**

Bradley Croft, Attorney for Durant Performance Coatings, 112 Railroad Street, Revere, MA

Attorney Simeone presented the updated site plan. His client is requesting an amended special permit relative to the medical marijuana use in that the already approved cultivation center does not need to be as large due to the technological advances in growing cannabis. Additionally, his client is requesting that the condition of the perimeter security gate be removed in that the anticipated criminal activities surrounding the legalization of marijuana in Massachusetts never came to fruition. The parking requirements for both the medical marijuana facility and the proposed parking lot use will be met in accordance with the site plan dated September 27, 2021 by Engineering Alliance, Inc.

Attorney Croft stated that the property is currently being used as a park-and-fly business. Vehicles are currently being parked on an easement during unloading while awaiting access to the lot, preventing access of 18-wheelers to 112 Railroad Street. A traffic study performed by his clients indicates that there are 520 car trips per day and that he is requesting that the applicant also provide a traffic study.

**RESULT: REFERRED TO ZONING**

**Committee of the Whole Report**

Minutes Acceptance: Minutes of Nov 15, 2021 6:00 PM (Salute to the Flag)

The Committee of the Whole met on Monday afternoon, November 15, 2021 at 4:00PM in the City Councillor Joseph A. DelGrosso City Council Chamber regarding the proposed new Ward and Precinct Maps for the City of Revere. Councillors present were Giannino, Keefe, Morabito, Novoselsky, Visconti, and President Zambuto. Councillors absent were Guinasso, McKenna, and Powers. Councillors Serino and Rotondo arrived late.

Reuben Kantor, Chief of Data and Innovation addressed the Council and gave a presentation on the proposed maps. Also available were Attorney Kate Cook and James Klugh, GIS Specialist.

Councillor Novoselsky brought to the attention of the City Council and the members of the Redrawing Committee who were present that certain data pertaining to Ward 2 does not appear to be accurate - 67 people were counted as living in single block that only contains an auto body shop. This information is allegedly inaccurate because there are no residents residing within the auto body shop.

In response to this discussion and very serious allegations, Councillor Rotondo offered a motion to request an audit of the census data by the State Auditor.

The Committee of the Whole will hold a second hearing on this matter scheduled for Thursday evening, November 18, 2021 at 6:00PM in the Council Chambers.

- 5        21-385        Communication from the Mayor relative to the 2021 Proposed Ward and Precinct Map

**RESULT:**            **REFERRED TO COMMITTEE OF THE WHOLE**

- 6        21-400        Motion presented by Councillor Rotondo: That the Mayor request the State Auditor to investigate the vendors, process, and those involved with conducting the US Census in the City of Revere, contingent upon any clarification regarding the population count in Ward 2 presented at the Committee of the Whole meeting scheduled for November 18, 2021.

In light of the questionable data presented during the Committee of the Whole Reprecincting Map hearing today, November 15, 2021 at 4:00PM concerning 67 people allegedly counted as living at Atlas Auto Body, Councillor Rotondo offered this verbal motion.

**RESULT:**            **ORDERED - ROLL CALL [10 TO 0]**  
**AYES:**              Guinasso, Keefe, McKenna, Morabito, Novoselsky, Powers, Serino, Rotondo, Visconti, Zambuto  
**RECUSED:**        Giannino

### **Legislative Affairs Sub-Committee Report**

The Legislative Affairs Sub-Committee met on Monday evening, November 15, 2021 in the City Councillor Joseph A. DelGrosso City Council Chamber. Committee members present were Councillors Keefe, Novoselsky, Visconti, Zambuto (ex-officio), and Chairman Morabito. Councillor Powers was absent. There were three matters before the committee for discussion:

**21-368** An Ordinance Establishing Regulations for Sustainable Food Ware and Packaging.

The word “straws” is hereby deleted from Section 8.04.100(A)(3) definition of “Disposable Food Service Ware”. This amendment was approved by the sub-committee and the ordinance as amended received a unanimous favorable recommendation.

**21-306** Motion presented by Councillor Rotondo: That the Mayor request the City Solicitor to draft an ordinance and fee schedule for the following: That any autonomous driven vehicle, operated by a Revere resident, and housed in Revere must pay excise tax to the City of Revere and a use fee of \$5 dollars and a \$1 dollar per mile while operating in Revere. Said vehicle will follow all state, federal laws and be assigned to the City of Revere Hackney Division for oversight.

Solicitor Paul Capizzi addressed the committee. On October 20, 2016, Govern Baker signed Executive Order 572 to promote the testing and deployment of highly automated driving technologies. Currently, MassDOT has a process to facilitate testing etc., throughout Massachusetts. Beyond testing, there is proposed legislation (e.g., House Bill 1829, to “promote the safe integration of autonomous vehicles into the transportation system of the Commonwealth”) intending to regulate and establish safety guidelines for autonomous vehicles. Accordingly, there are a number of proposals that incorporate driverless vehicles into a comprehensive state statutory scheme, the end result of which will dictate any fees or taxes that may be imposed on automated vehicles. Accordingly, my recommendation is that the City wait until the legislature has completed its studies and ultimately adopts the rules and regulations for the use of autonomously driven vehicles.

Based on the opinion of the City Solicitor, Councillor Rotondo is withdrawing his motion.

**21-364** Motion presented by Councillor Rotondo: That every public meeting conducted by a board, council, commission, and/or any group meeting in the Revere City Council Chambers begin all meetings with the Pledge of Allegiance.

Solicitor Paul Capizzi addressed the committee. First, there is no law that requires all municipal government meetings/hearings begin with the Pledge of Allegiance. Second, if there were such a law it would have by now been challenged by the ACLU or some group or someone, the grounds for which is that it violates the First Amendment free speech rights of individuals who choose not to say the Pledge of Allegiance (freedom of speech means not to speak too!). Third, it is generally left to the individual or chairman who is running the meeting. A person can choose to remain seated and not participate, as is their right, and thus cannot be treated adversely for doing so, but I caution against any rule or law that mandates the Pledge out of concern for legal challenges, which if successful would be extremely costly to the taxpayers.

Based on the opinion of the City Solicitor, Councillor Rotondo is withdrawing his motion.

Councillor Serino offered an alternative motion: That the City Council go on record in that it is recommended in best practice that all boards and commissions begin each meeting with the Pledge of Allegiance.

This motion received a unanimous favorable recommendation to be presented at the City Council meeting. Councillor Rotondo was absent from the roll call.

Janine Grillo-Marra, Chair, Human Rights Commission addressed the sub-committee on this motion. She indicated that not reciting the Pledge of Allegiance does not make anyone less patriotic. Because the word God is in the Pledge of Allegiance, there is no separation of church and state. There are some people who do not believe in God or believe in something other than God or may be spiritual, and therefore the Pledge of Allegiance does not express a sense of inclusion.

Councillor Rotondo agreed that anyone does have a right to not recite the Pledge of Allegiance. However, when becoming a citizen of the United States the Pledge is recited and the mention of God is also included in the Oath of Office.

- 7            21-368            An Ordinance Establishing Regulations for Sustainable Food Ware and Packaging. (language attached)

*Be it ordained by the City of Revere as follows:*

**AN ORDINANCE ESTABLISHING REGULATIONS FOR SUSTAINABLE FOOD  
WARE AND PACKAGING**

**Section 1.** The Revised Ordinances of the City of Revere are hereby amended by inserting the following new section.

Section 8.04.100 Sustainable Food Ware and Packaging Regulations

- A. DEFINITIONS. The following words and phrases shall, unless context clearly indicates otherwise, have the following meanings:
1. BIODEGRADABLE Entirely made of organic materials such as wood, paper, bagasse or cellulose; or bioplastics that meet the American Society for Testing and Materials (ASTM) D7081 standard for Biodegradable Plastics in the Marine Environment or any other standard that may be developed specifically for an aquatic environment and are clearly labeled with the applicable standard.
  2. COMPOSTABLE Refers to bioplastic materials certified to meet the American Society for Testing and Materials International Standards D6400 or D6868, as those standards may be amended. ASTM D6400 is the specification for plastics designed for compostability in municipal or industrial aerobic composting facilities. D6868 is the specification for aerobic compostability of plastics used as coatings on a compostable substrate. Compostable materials shall also include products that conform to ASTM or other third-party standards (such as Vinçotte) for home composting. Any compostable product must be clearly labeled with the applicable

standard on the product.

3. **DISPOSABLE FOOD SERVICE WARE** All food and beverage containers, bowls, plates, trays, cartons, cups, lids, stirrers, forks, spoons, knives, film wrap, and other items designed for one-time or non-durable uses on or in which any food vendor directly places or packages prepared foods or which are used to consume foods. This includes, but is not limited to, service ware for takeout foods and leftover food from partially consumed meals prepared at food establishments.
4. **DIRECTOR** refers to the Director of Municipal Inspections or the Director's designee.
5. **FOOD ESTABLISHMENT** An operation that stores, prepares, packages, serves, vends, or otherwise provides food for human consumption. This includes, without limitation, restaurants and food trucks.
6. **PACKING MATERIAL** Polystyrene foam used to hold, cushion, or protect items packed in a container for shipping, transport, or storage. This includes, without limitation, packing "peanuts"; and shipping boxes, coolers, ice chests, or similar containers made, in whole or in part, from polystyrene foam that is not wholly encapsulated or encased within a more durable material.
7. **POLYSTYRENE** There are two basic forms, Foam and Rigid Polystyrene. Foam includes without limitation blown, expanded (EPS), and extruded foams such as "Styrofoam," a Dow Chemical Co. trademarked form of insulation. Foam Polystyrene is generally used to make opaque cups, bowls, plates, trays, clamshell containers, meat trays and egg cartons. Rigid oriented polystyrene is generally used to make clear clamshell containers, cups, plates, lids, and utensils.
8. **PREPARED FOOD** Food or beverages, which are served, packaged, cooked, chopped, sliced, mixed, bottled, frozen, squeezed or otherwise prepared on the food establishment's premises within the City, regardless of whether it is consumed on or off the premises.
9. **RECYCLABLE** Material that can be sorted, cleansed, and reconstituted using the City's curbside municipal collection programs for the purpose of using the altered form in the manufacture of a new product. "Recycling" does not include burning, incinerating, converting, or otherwise thermally destroying solid waste.
10. **RETAIL ESTABLISHMENT** Any commercial business facility that sells goods directly to the consumer including but not limited to grocery stores, pharmacies, liquor stores, convenience stores, restaurants, retail stores and vendors selling clothing, food, and personal items, and dry-cleaning services.
11. **REUSABLE** Products that will be used more than once in its same form by a food establishment. Reusable also includes cleanable durable containers, packages, or trays used on-premises or returnable containers such as soft drink bottles and milk containers that are designed to be returned to the distributor and supplier for reuse as

the same food or beverage container.

#### B. PROHIBITED USE AND DISTRIBUTION OF FOOD WARE AND PACKAGING

1. Food establishments are prohibited from providing prepared food to customers using polystyrene, polyvinyl chloride or polyethylene terephthalate food service ware.
2. Food establishments using any disposable food service ware shall use biodegradable, compostable, reusable or recyclable food service ware. All food establishments are strongly encouraged to use reusable food service ware in place of using disposable food service ware for all food served on premises.
3. Retail establishments are prohibited from selling or distributing polystyrene food service ware to customers.
4. Retail establishments are prohibited from selling or distributing polystyrene foam packing material to customers.

#### C. EXEMPTIONS

1. Foods prepared or packaged outside the City are exempt from the provisions of this chapter.
2. Food establishments and retail establishments will be exempted from the provisions of this Article for specific items or types of disposable food service ware if the Director or designee finds that a suitable biodegradable, compostable, reusable, or recyclable alternative does not exist for a specific application and/or that imposing the requirements of this chapter on that item or type of disposable food service ware would cause undue hardship to the establishment.
3. Any establishment may seek an exemption from the requirements of this chapter by filing a request in writing with the Director or designee. The Director or designee may waive any specific requirement of this chapter for a period of not more than one year if the establishment seeking the exemption has demonstrated that strict application of the specific requirement would cause undue hardship. For purposes of this chapter, an “undue hardship” is a situation unique to the food establishment where there are no reasonable alternatives to the use of disposable food service ware and compliance with this provision would cause significant economic hardship to that food establishment. An establishment granted an exemption must re-apply prior to the end of the one-year exemption period and demonstrate continued undue hardship if the establishment wishes to have the exemption extended. The Director’s decision to grant or deny an exemption or to grant or deny an extension of a previously issued exemption shall be in writing and shall be final.
4. Straws are expressly allowed under this section and shall be exempt from the regulations contained herein.

#### D. PENALTIES AND ENFORCEMENT



1. Each Food or Retail establishment as defined above, operating in the City of Revere shall comply with this law.
2. If it is determined that a violation has occurred, the Director shall issue a warning notice to the Food or Retail establishment for the initial violation.
3. If an additional violation of this law has occurred within one year after a warning notice has been issued for an initial violation, the Director shall issue a notice of violation and shall impose a penalty against the Food or Retail establishment.
4. The penalty for each violation that occurs after the issuance of the warning notice shall be no more than:
  - i. \$50 for the first offense
  - ii. \$100 for the second offense and all subsequent offenses.
  - iii. Payment of such fines may be enforced through civil action in Chelsea District Court or Suffolk Superior Court.
5. No more than one (1) penalty shall be imposed upon a Food or Retail establishment within a seven (7) calendar day period.
6. A Food or Retail establishment shall have fifteen (15) calendar days after the date that a notice of violation is issued to pay the penalty.

#### E. SEVERABILITY

If any provision or section of this ordinance shall be held to be invalid, then such provision or section shall be considered separately and apart from the remaining provisions or sections of this law, which shall remain in full force and effect.

#### F. EFFECTIVE DATE

The provisions of this ordinance shall take effect on July 1, 2022.

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| November 8, 2021  | Ordered to a first reading.                      |
| November 15, 2021 | Ordered to a second reading as amended.          |
| November 15, 2021 | Ordered on a second reading as amended.          |
| November 15, 2021 | Ordered on a third and final reading as amended. |
| November 15, 2021 | Ordered Engrossed and Ordained on a Roll Call.   |

Councillor Giannino requested suspension of the City Council Rules of Order for the purpose of filing immediate reconsideration with the hope it does not prevail. Reconsideration failed.

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| <b>RESULT:</b> | <b>ORDERED - ROLL CALL [UNANIMOUS]</b>   |
| <b>AYES:</b>   | Giannino, Guinasso, Keefe, McKenna, Morabito, Novoselsky, Powers, Serino, Rotondo, Visconti, Zambuto |

- 8      21-306      Motion presented by Councillor Rotondo: That the Mayor request the City Solicitor to draft an ordinance and fee schedule for the following: That any autonomous driven vehicle, operated by a Revere resident, and housed in Revere must pay excise tax to the City of Revere and a use fee of \$5 dollars and a \$1 dollar per mile while operating in Revere. Said vehicle will follow all state, federal laws and be assigned to the City of Revere Hackney Division for oversight.

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| <b>RESULT:</b> | <b>WITHDRAWN</b> |
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- 9      21-364      Motion presented by Councillor Rotondo: That every public meeting conducted by a board, council, commission, and/or any group meeting in the Revere City Council Chambers begin all meetings with the Pledge of Allegiance.

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| <b>RESULT:</b> | <b>WITHDRAWN</b> |
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- 10      21-399      Motion presented by Councillor Serino, Councillor Rotondo: That the City Council go on record in that it is recommended in best practice that all boards and commissions begin each meeting with the Pledge of Allegiance.

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| <b>RESULT:</b> | <b>ORDERED - ROLL CALL [UNANIMOUS]</b>   |
| <b>AYES:</b>   | Giannino, Guinasso, Keefe, McKenna, Morabito, Novoselsky, Powers, Serino, Rotondo, Visconti, Zambuto |

### **Public Safety Sub-Committee Report**

The Public Safety Sub-Committee met on Monday evening, November 15, 2021 at 5:15PM in the City Councillor Joseph A. DelGrosso City Council Chamber. Committee members present were Councillors Guinasso, Serino, Visconti, Zambuto (ex-officio), and Chairwoman Giannino. Councillor Powers was absent. There was one item before the committee:

- 21-322**      Motion presented by Councillor Morabito: That the Mayor and the Traffic Commission look into launching a slow streets pilot program in the City of Revere to slow down drivers by introducing speed tables, speed humps, crosswalks, signage, and bollards to help curb the excessive speeding on cut-through streets, especially on streets nearby schools and city recreational spaces.

Councillors present cited out of control speeding and accidents throughout the City of Revere and indicated that something needs to be done to ensure the safety of motor vehicle operators and pedestrians. Several other surrounding communities have a slow streets program in place and



there is no reason that Revere is unable to have a program in place as well. This motion received a unanimous favorable recommendation for approval by the City Council.

- 11        21-322        Motion presented by Councillor Morabito: That the Mayor and the Traffic Commission look into launching a slow streets pilot program in the City of Revere to slow down drivers by introducing speed tables, speed humps, crosswalks, signage, and bollards to help curb the excessive speeding on cut-through streets, especially on streets nearby schools and city recreational spaces.

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| <b>RESULT:</b> | <b>ORDERED - VOICE VOTE</b> |
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### Zoning Sub-Committee Report

The Zoning Sub-Committee met on Monday evening, November 15, 2021 at 5:30PM. Committee members present were Councillors Giannino, Guinasso, Serino, Visconti, Zambuto (ex-officio), and Chairman Keefe. There were several matters before the committee for consideration:

- 21-314        Victoria Scaramuzzo, 60 Geneva Street, Revere, MA 02151 and Johnny Peguero and Ivonne Florez Montoya, 56 Geneva Street, Revere, MA 02151 to discontinue and abandon a certain portion of Italia Avenue as illustrated on the petitioners' plan.

Attorney Joseph Cattoggio addressed the committee on behalf of his clients. Attorney Cattoggio indicated that the City Planner and the City Engineer were both in favor of the discontinuance and abandonment of this portion of Italia Avenue. There is no infrastructure running underneath this section of Italia Avenue and it's currently a grassy area not very well maintained. Attorney Cattoggio also stated that he will draft the necessary paperwork and deed and will duly record at the Registry of Deeds.

- 21-350        City of Revere, 281 Broadway, Revere, MA 02151 seeking a special permit from the Revere City Council to reconstruct a non-conforming structure to enable the appellant to construct a 37,500 s.f. public works building, at the Department of Public Works site, 321A Charger Street, Revere, MA 02151.

Don Ciaramella, Chief of Infrastructure addressed the committee on the special permit request. It is imperative that the special permit be approved so that the long-awaited construction of the new facility can move forward. The DPW is presently operating out of trailers which are inefficient. The Zoning Committee offered a unanimous favorable recommendation on the granting of the special permit.

- 21-355        An Ordinance Further Amending Title 6 of the Revised Ordinances of the City of Revere Relative to Non-domesticated Animals.

Megan Whittier, 36 Breedens Lane and Viviana Catano, Mountain Avenue addressed the committee. This amendment is necessary so there is no conflict with the newly adopted

ordinance governing urban farming.

- 12      21-314      Victoria Scaramuzzo, 60 Geneva Street, Revere, MA 02151 and Johnny Peguero and Ivonne Florez Montoya, 56 Geneva Street, Revere, MA 02151 to discontinue and abandon a certain portion of Italia Avenue as illustrated on the petitioners' plan.

**"SHALL THE CITY COUNCIL, IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 12.12 OF THE REVISED ORDINANCES OF THE CITY OF REVERE, APPROVE THE DISCONTINUANCE AND ABANDONMENT OF A CERTAIN PORTION OF ITALIA AVENUE AS INDICATED ON THE PETITIONER'S PLAN?"**

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| <b>RESULT:</b> | <b>ORDERED - ROLL CALL [UNANIMOUS]</b>   |
| <b>AYES:</b>   | Giannino, Guinasso, Keefe, McKenna, Morabito, Novoselsky, Powers, Serino, Rotondo, Visconti, Zambuto |

- 13      21-350      City of Revere, 281 Broadway, Revere, MA 02151 seeking a special permit from the Revere City Council to reconstruct a non-conforming structure to enable the appellant to construct a 37,500 s.f. public works building, at the Department of Public Works site, 321A Charger Street, Revere, MA 02151.

**"SHALL THE CITY COUNCIL GRANT THE RELIEF REQUESTED TO ENABLE THE CITY OF REVERE TO CONSTRUCT A NEW PUBLIC WORKS FACILITY AT 321A CHARGER STREET, REVERE, MA?"**

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| <b>RESULT:</b> | <b>ORDERED - ROLL CALL [UNANIMOUS]</b>   |
| <b>AYES:</b>   | Giannino, Guinasso, Keefe, McKenna, Morabito, Novoselsky, Powers, Serino, Rotondo, Visconti, Zambuto |

- 14      21-355      An Ordinance Further Amending Title 6 of the Revised Ordinances of the City of Revere Relative to Non-domesticated Animals.

*Be it ordained by the City of Revere as follows:*

**AN ORDINANCE FURTHER AMENDING TITLE 6 OF THE REVISED ORDINANCES OF THE CITY OF REVERE RELATIVE TO NONDOMESTICATED ANIMALS**

**Section 1.** Title 6, Chapter 6.02, Section 6.02.020 of the Revised Ordinances of the city of Revere is hereby amended by deleting this section in its entirety and inserting in place thereof the following:

6.02.020 - Nondomesticated exception - Keeping.

Notwithstanding section 6.02.010 above, chickens only may be kept in accordance with Urban Agriculture Ordinance 17.16.470, the implementation of which carries its own rules, procedures, and penalties.

November 8, 2021 Ordered to a first reading.  
 November 15, 2021 Ordered on a second reading.  
 November 15, 2021 Ordered on a third and final reading.  
 November 15, 2021 Ordered Engrossed and Ordained on a Roll Call.

**RESULT:** ORDERED - ROLL CALL [UNANIMOUS]  
**AYES:** Giannino, Guinasso, Keefe, McKenna, Morabito, Novoselsky, Powers, Serino, Rotondo, Visconti, Zambuto

**In accordance with Rule 23 of the City Council Rules of Order, the following motions are reported out of committee with the recommendation to be placed on file:**

15      21-099      Motion presented by Councillor Rotondo: That the City of Revere investigate the feasibility of cottage food operations, as permitted in other communities in Massachusetts and 28 states around the nation.

**RESULT:** PLACED ON FILE

16      21-115      Motion presented by Councillor Rotondo: That the City Council, Mayor, School Committee and the City of Revere denounce China for the genocide of the Uyghur people.

**RESULT:** PLACED ON FILE

17      21-214      Motion presented by Councillor McKenna, Council President Zambuto: That the Mayor request the Director of Municipal Inspections to develop an eco-friendly baiting procedure for rodent control. Evidence shows that animals and birds of prey within this food chain are dying after ingesting rodents poisoned by the type of bait currently being used.

**RESULT:** REFERRED TO HEALTH & HUMAN SERVICES

18      21-239      Motion presented by Councillor Rotondo: That the Mayor request the Department of Planning and Development to investigate the feasibility of creating inclusionary zoning and an affordable housing overlay district to extend from Route 60 to Revere Beach Boulevard.

**RESULT:** PLACED ON FILE

19      21-240      Motion presented by Councillor Rotondo: That the City of Revere establish a linkage fee for any housing development with over 75 units. Furthermore, that the City look into the feasibility of including commercial properties of 30,000 square feet or greater. Said linkage fee contribution would be based square footage of developments greater than 75 units and appropriated to the City's Affordable Housing Trust Fund.

**RESULT: PLACED ON FILE**

**Communications**

20      21-394      Communication from John V. Festa, 385 Broadway, Revere, MA requesting the City Council accept a certain parcel of land for conservation purposes, Lot C Emanuel Street (MBP 018-324G-001B).

**“SHALL THE CITY COUNCIL ACCEPT LOT C EMMANUEL STREET (MBP 018-324G-001B) FOR CONSERVATION PURPOSES?”**

**RESULT: ORDERED - ROLL CALL [UNANIMOUS]**  
**AYES:**            Giannino, Guinasso, Keefe, McKenna, Morabito, Novoselsky, Powers, Serino, Rotondo, Visconti, Zambuto

21      21-395      Communication from the City Auditor relative to Revere TV invoice payment.

Rich Viscay, CFO addressed the City Council on this request.

**“SHALL THE CITY COUNCIL APPROPRIATE \$104,072.27 FROM THE CABLE ACCESS RECEIPT RESERVE FUND FOR REVERE TV’S QUARTERLY INVOICE?”**

**RESULT: ORDERED - ROLL CALL [UNANIMOUS]**  
**AYES:**            Giannino, Guinasso, Keefe, McKenna, Morabito, Novoselsky, Powers, Serino, Rotondo, Visconti, Zambuto

22      21-396      Communication from the Mayor relative to the appointment of Ida Cody to the Retirement Board.

**RESULT: REFERRED TO APPOINTMENTS**

23      21-397      Communication from the City Auditor relative to the Gibson Park Municipal Vulnerability Preparedness MVP grant.

Rich Viscay, CFO addressed the City Council on this request.

**“SHALL THE CITY COUNCIL TRANSFER \$55,000 FROM THE COMMUNITY IMPROVEMENT TRUST FUND FOR THE GIBSON PARK MUNICIPAL VULNERABILITY PREPAREDNESS GRANT?”**

**RESULT: ORDERED - ROLL CALL [UNANIMOUS]**  
**AYES:**            Giannino, Guinasso, Keefe, McKenna, Morabito, Novoselsky, Powers, Serino, Rotondo, Visconti, Zambuto

**Motions**

Minutes Acceptance: Minutes of Nov 15, 2021 6:00 PM (Salute to the Flag)

- 24      21-398      Motion presented by Councillor Keefe: That the Mayor request the DPW to install an illuminated LED crosswalk at the crosswalk currently located at the end of Vane Street at the intersection of Dale Street.

**RESULT:            ORDERED - VOICE VOTE**

Ordered adjourned at 6:55 PM.

Attest:

City Clerk

**PUBLIC HEARING**

Notice is hereby given, that the Revere City Council will conduct a public hearing on Monday evening, November 22, 2021 at 6:00 PM in the City Councillor Joseph A. DelGrosso City Council Chambers, Revere City Hall, Revere, MA 02151 on a joint petition submitted by National Grid and Verizon, to relocate 1 JO Pole #2222 on Albert Avenue, 15' southwest along Albert Avenue and install an anchor to the northeast.

A copy of the aforementioned proposed plan and petition is on file and available for public inspection in the Office of the City Clerk, Revere City Hall, Revere, Massachusetts, Monday through Thursday from 8:15 A.M. to 5:00 P.M. and Friday from 8:15 A.M. to 12:15 P.M.

Attest:

Ashley E. Melnik  
City Clerk

# nationalgrid

November 4, 2021

City of Revere

To Whom It May Concern:

Enclosed please find a petition of NATIONAL GRID and VERIZON, covering joint NATIONAL GRID-VERIZON pole location(s)

If you have any questions regarding this permit please contact:

Please notify National Grid's Vincent LoGuidice of the hearing date / time at 978-725-1392 or [Vincent.LoGuidice@NationalGrid.com](mailto:Vincent.LoGuidice@NationalGrid.com).

If this petition meets with your approval, please return an executed copy to each of the above named Companies.

National Grid Contact: Vincent LoGuidice; 1101 Turnpike Street; North Andover, MA 01845

Very truly yours,

*Robert Coulter*

Name: Distribution Design Supervisor  
Supervisor, Distribution Design

Enclosures

Attachment: NationalGridVerizonPetitionAlbertAvenue (21-401 : National Grid and Verizon - Albert Avenue)

Questions contact – Dan Combes 508-935-1667

**PETITION FOR JOINT OR IDENTICAL POLE LOCATIONS**

North Andover, Massachusetts

To the City Council  
Of Revere, Massachusetts

Massachusetts Electric Company d/b/a National Grid and Verizon New England, Inc requests permission to locate poles, wires, and fixtures, including the necessary sustaining and protecting fixtures, along and across the following public way:

Albert Ave - National Grid to relocate 1 JO Pole on Albert Ave beginning at a point approximately 65 feet northwest of the centerline of the intersection of Winthrop Ave & Albert Ave. Relocate pole 2222, 15' southwest along Albert Ave and install anchor to the northeast.

Location approximately as shown on plan attached

Wherefore it prays that after due notice and hearing as provided by law, it be granted a location for and permission to erect and maintain poles and wires, together with such sustaining and protecting fixtures as it may find necessary, said poles to be erected substantially in accordance with the plan filed herewith marked – Albert Ave - Revere – Massachusetts.

No.# 29638007 October 6, 2021

Also for permission to lay and maintain underground laterals, cables, and wires in the above or intersecting public ways for the purpose of making connections with such poles and buildings as each of said petitioners may desire for distributing purposes.

Your petitioner agrees to reserve space for one cross-arm at a suitable point on each of said poles for the fire, police, telephone, and telegraph signal wires belonging to the municipality and used by it exclusively for municipal purposes.

Massachusetts Electric Company d/b/a National Grid  
BY Robert Coulter  
Engineering Department

VERIZON NEW ENGLAND, INC.  
BY \_\_\_\_\_  
Manager / Right of Way

Attachment: NationalGridVerizonPetitionAlbertAvenue (21-401 : National Grid and Verizon - Albert Avenue)



Revere

**ORDER FOR JOINT OR IDENTICAL POLE LOCATIONS**

To the City Council - Revere, Massachusetts

Notice having been given and public hearing held, as provided by law,  
IT IS HEREBY ORDERED:

that Massachusetts Electric Company d/b/a National Grid and VERIZON NEW ENGLAND INC. (formerly known as NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY) be and they are hereby granted joint or identical locations for and permission to erect and maintain poles and wires to be placed thereon, together with such sustaining and protecting fixtures as said Companies may deem necessary, in the public way or ways hereinafter referred to, as requested in petition of said Companies dated the 6th day of October, 2021.

All construction under this order shall be in accordance with the following conditions:  
Poles shall be of sound timber, and reasonable straight, and shall be set substantially at the points indicated upon the plan marked - Albert Ave - Revere - Massachusetts.

October 6, 2021. Filed with this order  
There may be attached to said poles by Massachusetts Electric Company d/b/a National Grid and Verizon New England Inc. such wires, cables, and fixtures as needed in their business and all of said wires and cables shall be placed at a height of not less than twenty (20) feet from the ground.

The following are the public ways or part of ways along which the poles above referred to may be erected, and the number of poles which may be erected thereon under this order:

Albert Ave - National Grid to relocate 1 JO Pole on Albert Ave beginning at a point approximately 65 feet northwest of the centerline of the intersection of Winthrop Ave & Albert Ave. Relocate pole 2222, 15' southwest along Albert Ave and install anchor to the northeast.

Also for permission to lay and maintain underground laterals, cables, and wires in the above or intersecting public ways for the purpose of making connections with such poles and buildings as each of said petitioners may desire for distributing purposes.

I hereby certify that the foregoing order was adopted at a meeting of the  
of the City/Town of \_\_\_\_\_, Massachusetts held on the \_\_\_\_\_ day of \_\_\_\_\_ 20 .

\_\_\_\_\_  
Massachusetts City/Town Clerk.  
20 .

Received and entered in the records of location orders of the City/Town of  
Book \_\_\_\_\_ Page \_\_\_\_\_

Attachment: NationalGridVerizonPetitionAlbertAvenue (21-401 : National Grid and Verizon - Albert Avenue)

Attest:  
City/Town Clerk

I hereby certify that on \_\_\_\_\_ 20\_\_\_\_, at \_\_\_\_\_ o'clock, M  
at \_\_\_\_\_ a public hearing was held on the petition of  
Massachusetts Electric Company d/b/a National Grid and VERIZON NEW ENGLAND, INC.

for permission to erect the poles, wires, and fixtures described in the order herewith recorded, and  
that we mailed at least seven days before said hearing a written notice of the time and place of said  
hearing to each of the owners of real estate (as determined by the last preceding assessment for  
taxation) along the ways or parts of ways upon which the Company is permitted to erect  
poles, wires, and fixtures under said order. And that thereupon said order was duly adopted.

City/Town Clerk.

.....  
.....  
.....  
.....

Board or Council of Town or City, Massachusetts

CERTIFICATE

I hereby certify that the foregoing is a true copy of the location order and certificate of  
hearing with notice adopted by the \_\_\_\_\_ of the City of \_\_\_\_\_  
Massachusetts, on the \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_, and recorded with the  
records of location orders of the said City, Book \_\_\_\_\_, Page \_\_\_\_\_. This certified copy  
is made under the provisions of Chapter 166 of General Laws and any additions thereto or  
amendments thereof.

Attest:  
City/Town Clerk

Attachment: NationalGridVerizonPetitionAlbertAvenue (21-401 : National Grid and Verizon - Albert Avenue)

W O R F D

**ORDER FOR JOINT OR IDENTICAL POLE LOCATIONS**

To the City Council - Revere, Massachusetts

Notice having been given and public hearing held, as provided by law,  
IT IS HEREBY ORDERED:

that Massachusetts Electric Company d/b/a National Grid and VERIZON NEW ENGLAND INC. (formerly known as NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY) be and they are hereby granted joint or identical locations for and permission to erect and maintain poles and wires to be placed thereon, together with such sustaining and protecting fixtures as said Companies may deem necessary, in the public way or ways hereinafter referred to, as requested in petition of said Companies dated the 6th day of October, 2021.

All construction under this order shall be in accordance with the following conditions:  
Poles shall be of sound timber, and reasonable straight, and shall be set substantially at the points indicated upon the plan marked – Albert Ave - Revere – Massachusetts.

October 6, 2021. Filed with this order  
There may be attached to said poles by Massachusetts Electric Company d/b/a National Grid and Verizon New England Inc. such wires, cables, and fixtures as needed in their business and all of said wires and cables shall be placed at a height of not less than twenty (20) feet from the ground.

The following are the public ways or part of ways along which the poles above referred to may be erected, and the number of poles which may be erected thereon under this order:

Albert Ave - National Grid to relocate 1 JO Pole on Albert Ave beginning at a point approximately 65 feet northwest of the centerline of the intersection of Winthrop Ave & Albert Ave. Relocate pole 2222, 15' southwest along Albert Ave and install anchor to the northeast.

Also for permission to lay and maintain underground laterals, cables, and wires in the above or intersecting public ways for the purpose of making connections with such poles and buildings as each of said petitioners may desire for distributing purposes.

I hereby certify that the foregoing order was adopted at a meeting of the  
of the City/Town of \_\_\_\_\_, Massachusetts held on the \_\_\_\_\_ day of \_\_\_\_\_ 20 .

\_\_\_\_\_  
Massachusetts City/Town Clerk.  
20 .

Received and entered in the records of location orders of the City/Town of  
Book \_\_\_\_\_ Page \_\_\_\_\_

Attachment: NationalGridVerizonPetitionAlbertAvenue (21-401 : National Grid and Verizon - Albert Avenue)

Attest:  
City/Town Clerk

I hereby certify that on \_\_\_\_\_, 20\_\_\_\_, at \_\_\_\_\_ o'clock, M  
at \_\_\_\_\_ a public hearing was held on the petition of  
Massachusetts Electric Company d/b/a National Grid and VERIZON NEW ENGLAND, INC.

for permission to erect the poles, wires, and fixtures described in the order herewith recorded, and  
that we mailed at least seven days before said hearing a written notice of the time and place of said  
hearing to each of the owners of real estate (as determined by the last preceding assessment for  
taxation) along the ways or parts of ways upon which the Company is permitted to erect  
poles, wires, and fixtures under said order. And that thereupon said order was duly adopted.

City/Town Clerk.

.....  
.....  
.....  
.....

Board or Council of Town or City, Massachusetts

CERTIFICATE

I hereby certify that the foregoing is a true copy of the location order and certificate of  
hearing with notice adopted by the \_\_\_\_\_ of the City of \_\_\_\_\_  
Massachusetts, on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, and recorded with the  
records of location orders of the said City, Book \_\_\_\_\_, Page \_\_\_\_\_. This certified copy  
is made under the provisions of Chapter 166 of General Laws and any additions thereto or  
amendments thereof.

Attest:  
City/Town Clerk

Attachment: NationalGridVerizonPetitionAlbertAvenue (21-401 : National Grid and Verizon - Albert Avenue)



**Public Hearing Notice  
City of Revere, MA**

Notice is hereby given that the Revere City Council will conduct a public hearing on Monday evening, November 22, 2021 at 6:00 p.m. in the City Councillor Joseph A. DeIGrosso City Council Chamber, Revere City Hall, 281 Broadway, Revere, MA 02151 on the following proposed amendment to the Revised Ordinances of the City of Revere:

Be it ordained by the City of Revere as follows:

**AN ORDINANCE RELATIVE TO CERTAIN PERSONS NOT REPRESENTED UNDER MGL, CHAPTER 150E, SECTION 10.**

Section 1. Division 1, Table III, Section H, Schedule A-1, and Section I, Schedule A-2-A of the Appendix of the Revised Ordinances of the City of Revere are hereby amended by changing the compensation rates to ensure that those employees identified in such sections who are not entitled to collective bargaining representation under M.G.L. c. 150E, §10 shall receive the same percentage increases in compensation negotiated by the City and City Hall Union Units A and B for Fiscal Years 2022, 2023, and 2024.

Section 2. This Ordinance shall take effect as of July 1, 2021.

A copy of the aforementioned proposed ordinance amendment is on file and available for public inspection in the Office of the City Clerk, Revere City Hall, Revere, Massachusetts 02151, Monday through Thursday from 8:15 A.M. to 5:00 P.M. and Friday 8:15 A.M. to 12:15 P.M. Written testimony on this public hearing may be submitted to [amelnik@revere.org](mailto:amelnik@revere.org) or by mail to the Office of the City Clerk, Revere City Hall, 281 Broadway, Revere, MA 02151.

Revere Advocate  
November 12, 2021  
Send Invoice To: [amelnik@revere.org](mailto:amelnik@revere.org)

## Public Hearing

Notice is hereby given, in accordance with the provisions of Chapter 40, Section 56 of the Massachusetts General Laws, that the Revere City Council will conduct a public hearing on Monday evening, November 22, 2021 at 6:00 p.m. in the City Councillor Joseph A. DelGrosso City Council Chamber of Revere City Hall, 281 Broadway, Revere, Massachusetts, for the purpose of establishing the minimum residential factor, so that the Board of Assessors may proceed with the establishment of the tax rate for Fiscal Year 2022.

Attest:

Ashley E. Melnik  
City Clerk

Revere Advocate  
11/12/2021  
Send Invoice to: [amelnik@revere.org](mailto:amelnik@revere.org)

# FY2022 MRF and Assessment Overview





## LEVY LIMIT

The maximum amount to be raised by real estate and personal property taxes

FY2021 Levy Limit

\$95,665,289

FY2022 Levy Limit

\$95,665,289

Add 2.5%

\$2,391,632

= \$98,056,921

Add New Growth

\$4,016,375

= \$102,073,296

# GROWTH

## Subject to taxation for the first time

- New articles of personal property
- Previously exempt
- Split or merged parcel taxed separately for the first time
- Condo conversion
- Increase in assessed value compared to prior year due to construction activity

| FY2022 Growth | Valuation           | Tax Dollars        |
|---------------|---------------------|--------------------|
| • Residential | \$192,126,197       | \$2,124,916        |
| • Comm/Ind/PP | <u>\$86,644,978</u> | <u>\$1,891,459</u> |
| • Totals      | \$278,771,175       | \$4,016,375        |

# Where did all this growth come from?

## Residential

- 500 Ocean Ave
- 320 Revere Beach Blvd
- 21 RBB and 50 Ocean Ave
- 90 Ocean Ave
- 450 American Legion Hwy
- Suffolk Downs Subdivision
- Multiple Shirley Ave buildings
- Land changes at 656 Ocean Ave
- 646 Ocean Ave, 257 Washington Ave
- 93 Bennington St
- New construction homes
- Additions, rehabs, renos, etc.

## Commercial/Industrial/Personal Property

- Amazon
- Suffolk Downs Subdivision
- 400 Ocean Ave - Hotel
- 405 American Legion Hwy – Hotel
- Caddy Farms – Subdivision
- National Grid- Gas and Electric
- Comcast, RCN
- Sprint, Verizon, T-Mobile

# How were values determined

- Massachusetts law requires that all municipalities establish the full and fair cash value of all real estate as of January 1st of each year. FY22 values are determined as of January 1, 2021. To determine FY 2022 values, the Assessing Department reviewed all sales that occurred between January 1, 2020, and December 31, 2020. A “Mass Appraisal” computer software model was used to calculate property values based on this market activity as well as certain property-specific attributes such as location, size, construction quality, style, and condition.
- Calendar Year 2020 had 1212 sales of those sales 469 were determined to be arms length transactions . We typically see between 3-5% of our housing stock transfer each year by arms length sales.
- The Massachusetts Department of Revenue (DOR) performs a statistical analysis of the City’s proposed assessments every year. The DOR conducts a comprehensive analysis of the City's appraisal process and reviews property values in detail to ensure that the assessments represent full and fair market values. Every 5 years the City performs a revaluation in which DOR takes a much greater in-depth analysis of our valuations.



## Minimum Residential Factor

- The Minimum residential factor is used to make sure the shift of the tax burden complies with M.G.L. c58 Section 1A. Chapter 200 of the Acts of 1988 amended the law to allow a larger shift of the tax burden from the residential taxpayers to the commercial , industrial and personal property taxpayers up to 175% shift. This provides the greatest available tax relief to the residential taxpayer.
- Adopting a tax shift of 175% results in a MRF of 88.5317%
- Proposed tax rates using 175% shift

**Residential \$10.40**

**Commercial \$20.56**



# Average Change In Values and Taxes

|  | Single Family             | Condominium              | Two Family                | Three Family              | Commercial                |
|--|---------------------------|--------------------------|---------------------------|---------------------------|---------------------------|
| <b>FY2021</b>                                |                           |                          |                           |                           |                           |
| <b>Values</b>                                | 1,900,317,000             | 879,569,400              | 2,179,510,200             | 426,412,200               | 606,053,113               |
| <b>Parcels</b>                               | 4515                      | 2779                     | 3767                      | 631                       | 535                       |
| <b>Avg Value</b>                             | \$420,889.70              | \$316,505.72             | \$578,579.82              | \$675,772.11              | \$1,132,809.56            |
| <b>Avg Tax Bill</b>                          | \$4,655.04                | \$3,500.55               | \$6,399.09                | \$7,474.04                | \$24,729.23               |
| <b>FY2022</b>                                |                           |                          |                           |                           |                           |
| <b>Values</b>                                | 2,135,839,700             | 948,035,000              | 2,391,819,400             | 460,751,100               | 665,710,538               |
| <b>Parcels</b>                               | 4515                      | 2801                     | 3784                      | 625                       | 537                       |
| <b>Avg Value</b>                             | \$473,054.20              | \$338,463.05             | \$632,087.58              | \$737,201.76              | \$1,239,684.43            |
| <b>Avg Tax Bill</b>                          | \$4,919.76                | \$3,520.02               | \$6,573.71                | \$7,666.90                | \$25,487.91               |
| <b>FY2022 Difference<br/>in Avg Tax Bill</b> | <b>\$264.72<br/>5.69%</b> | <b>\$19.46<br/>0.56%</b> | <b>\$174.62<br/>2.73%</b> | <b>\$192.86<br/>2.58%</b> | <b>\$758.68<br/>3.07%</b> |
| <b>FY2022 Difference<br/>in Assessment</b>   | <b>12.39%</b>             | <b>7.78%</b>             | <b>9.74%</b>              | <b>8.05%</b>              | <b>9.84%</b>              |
|  |                           |                          |                           |                           |                           |
|  | <b>FY2021</b>             | <b>FY2022</b>            |                           |                           |                           |
| <b>Tax Rate</b>                              | \$11.06                   | \$10.40                  | -\$0.66                   | -5.97%                    |                           |
|  | \$21.83                   | \$20.56                  | -\$1.27                   | -5.82%                    |                           |



Brian M. Arrigo  
Mayor

# The City of REVERE, MASSACHUSETTS

## BOARD OF ASSESSORS

Dana E. Brangiforte  
John J. Verrengia  
Mathew M. McGrath

November 18, 2021

Honorable City Council  
C/o Ms. Ashley Melnik  
281 Broadway  
Revere Ma, 02151

Dear Honorable City Council,

The Board of Assessors has determined final values, classified all properties and reported this information to the Department of Revenue. During the public hearing for the purpose of establishing the Minimum residential factor, the Board of Assessors is going to recommend that the City Council Adopt a Residential factor of 0.885317. Historically the Council has always adopted the 175% shift and adopting this Residential Factor will allow us to create a split tax rate and shift the burden to the commercial tax rate thereby providing the greatest tax benefit to the residential tax payer. This Vote will allow the Board to proceed with the establishment of the Tax Rate for Fiscal year 2022. Attached you find information that will be presented at the public hearing and allows you to see what has happened to the levy, assessed values, growth, and their effects on taxes for Fiscal Year 2022. The Board of Assessors will be on hand to discuss any questions as it pertains to valuation and the Residential Factor.

Sincerely,

Dana Brangiforte, Chairman Revere Board of Assessors

John Verrengia, Revere Board of Assessors

Mathew McGrath, Revere Board of Assessors

**Public Hearing Notice  
City of Revere, MA**

Notice is hereby given that the Revere City Council will conduct a public hearing on Monday evening, November 22, 2021 at 6:00 p.m. in the City Councillor Joseph A. DelGrosso City Council Chamber, Revere City Hall, 281 Broadway, Revere, MA 02151 on the following proposed amendment to the Revised Ordinances of the City of Revere:

Be it ordained by the City of Revere as follows:

**AN ORDINANCE REPEALING AN ORDINANCE RELATIVE TO GOVERNMENTAL  
BODY MEETING TIMES**

Section 1. Section 2.03.050(E) Government Body Meeting Times of the Revised Ordinances of the City of Revere is hereby deleted in its entirety.

A copy of the aforementioned proposed ordinance amendment is on file and available for public inspection in the Office of the City Clerk, Revere City Hall, Revere, Massachusetts 02151, Monday through Thursday from 8:15 A.M. to 5:00 P.M. and Friday 8:15 A.M. to 12:15 P.M. Written testimony on this public hearing may be submitted to [amelnik@revere.org](mailto:amelnik@revere.org) or by mail to the Office of the City Clerk, Revere City Hall, 281 Broadway, Revere, MA 02151.

Revere Advocate  
November 12, 2021  
Send Invoice To: [amelnik@revere.org](mailto:amelnik@revere.org)



C-21-17

## PUBLIC HEARING

Notice is hereby given in accordance with the provisions of Chapter 40A of the Massachusetts General Laws and Section 17.40.030B of the Revised Ordinances of the City of Revere that the Revere City Council will conduct a public hearing on Monday evening, November 22, 2021 at 6:00 P.M. in the City Councillor Joseph A. DelGrosso City Council Chamber, Revere City Hall, 281 Broadway, Revere, MA 02151 on the application of 465 Revere Beach Boulevard Realty Trust, 24 Bellingham Ave., Revere, MA 02151 seeking permission from the Revere City Council to modify and alter an existing nonconforming five (5) unit apartment structure by establishing an additional nine (9) units to enable the appellant to develop a fourteen (14) unit apartment structure with seventeen (17) off-street parking spaces on Lots 5, A, and B at 465 Revere Beach Boulevard, Revere, MA 02151.

A copy of the aforementioned proposed plan and application (C-21-17) is on file and available for public inspection in the office of the City Clerk, Revere City Hall, Revere, Massachusetts, Monday through Thursday from 8:15 A.M. to 5:00 P.M. and Friday from 8:15 A.M. to 12:15 P.M.

Attest:

Ashley E. Melnik  
City Clerk

Revere Journal  
Check attached #3136  
11/03/2021  
11/10/2021

Attachment: PH.C-21-17.465RevereBeachBlvd. (21-402 : C-21-17 Special Permit, 465 Revere Beach Boulevard)

FORM B

Application No. C-21-17  
Date: October 27, 2021

City of Revere, Massachusetts  
Revere City Council  
Application for Special Permit

2021 OCT 27 AM 10:53  
OFFICE CITY CLERK  
REVERE MASS  
FILED

All parts of this application and the attached documents shall be completed and submitted under the pains and penalties of perjury. Incomplete filings may be rejected.

The applicant must be prepared to present data that tends to indicate that the public convenience and welfare will be substantially served by granting the exception or permission requested. That the exception or permission requested will not tend to impair the status of the neighborhood; that the exception or permission requested will be in harmony with the general purposes and intent of the Revised Ordinances of the City of Revere.

I hereby request a hearing before the City Council for the following:

- A. Application for Planned Unit Development Title 17, Chapter 17.20, Section 17.20.010, 17.20.2000 (Revised Ordinances of the City of Revere)
- B. Application for Special Permit (Revised Ordinances of the City of Revere), Title 17, Chapter 17.16, Section 110.
- C. ***Application for Special Permit for Alteration of Nonconforming Structures (Revised Ordinances of the City of Revere), Title 17, Chapter 17.40, Section 17.40.030B.***

1. Applicant submitting this application is:

Name: 465 Revere Beach Boulevard Realty Trust<sup>1</sup>  
Address: 24 Bellingham Avenue, Revere, Massachusetts  
Tel. #: \_\_\_\_\_

2. Applicant is 465 Revere Beach Boulevard Realty Trust  
Licensee \_\_\_\_\_ Prospective Purchaser \_\_\_\_\_  
**Owner** X Other (Describe) \_\_\_\_\_

<sup>1</sup> Marlene Cronin, Ramona Giuffre and Raymond Giuffre, Trustees.

Attachment: PH.C-21-17.465RevereBeachBlvd. (21-402 : C-21-17 Special Permit, 465 Revere Beach Boulevard)

3. The following person is hereby designed to represent the applicant in matters arising hereunder.

Name: Lawrence A. Simeone, Jr., Esq.

Title: Attorney-At-Law

Address: 300 Broadway, P.O. Box 321, Revere, MA 02151

Tel: # 781-286-1560

4. The land for which this application is submitted is owned by:

Name: 465 Revere Beach Boulevard Realty Trust

Address: 465 Revere Beach Boulevard, Revere, Massachusetts

Tel. #: \_\_\_\_\_

5. The land described in this application is recorded in Suffolk County Registry of Deeds, Book 53105 Page 143,<sup>2</sup> Certificate # (if registered) \_\_\_\_\_

6. Plans describing and defining the Exception to Use Regulations in Certain Districts, the Special Permit or Special Permit for Alteration and Extension of Nonconforming Uses are included herewith and made a part hereof and are titled and dated:

**See attached site plan submitted with this application, entitled "Site Plan 465 Revere Beach Blvd. (Tax Map 11 Block 192Q191), Revere, Massachusetts, October 18, 2021, prepared by Engineering Alliance, Inc. 194 Central Street, Saugus, MA 0190; attached and marked Exhibit A.**

**Building Elevations shall be filed and presented at public hearing.**

**Lot 5, A, and B (Parcel ID11-192Q191-33) Beach Street, Sq. Ft. 10,715**

<sup>2</sup> See attached marked Exhibit D.

- 7. A map describing the land uses of adjacent and nearby properties is included and made a part of this applications Yes  
*(See attached and marked Exhibit B).*
- 8. A locus map (8 ½” x 11”) copy of City of Revere of USGS topographic sheet with site marked for which permit is requested is included and made a part of this application. Yes  
*(See attached and marked Exhibit C).*

9a. Is the site of this application subject to the Wetland Protection Act. (M.G.L., Chapter 131, Sec. 40A or Chapter 130, Section 105)?

Yes                      No                      Do not know

9b. Is the location of the site of this application within 100 feet of:  
     a coastal beach \_\_\_\_\_; salt marsh \_\_\_\_\_; land under the ocean \_\_\_\_\_;  
     do not know \_\_\_\_\_? No X.

10. Describe the property for which this application is being submitted (including dimensions of land, existing buildings, if any, availability of utilities, sewer, water, etc.):

*The Property is located in the Residence C1 (RC1) District in accordance with the Revere Zoning Map and the Revere Revised Ordinances. The Property identified as Lot 5, A and B Revere Beach Boulevard, consists of forty-five and six tenths (45.6) feet of frontage on Revere Beach Boulevard, a public way, and consists of ten thousand seven hundred and fifteen (10,715) square feet of land with one (1) nonconforming structure<sup>3</sup> thereon<sup>4</sup>.*

<sup>3</sup> The Use “Dwelling, apartment” is allowed by right in the Residence C1 (RC1) District in accordance with the Use Regulations Table R.R.O. 17.16.010. While the use of the Property has been allowed in the district, the Property is not compliant with existing setback and off street parking regulations in the RC1 district, in accordance with the Table of Dimensional Regulations R.R.O. 17.24.010 and in accordance with Off Street Parking and Loading requirements R.R.O. 17.28.020 and is therefore classified as a nonconforming structure in accordance with M.G.L. c. 40A § 6 and in accordance with R.R.O. 17.08.530.

<sup>4</sup> R.R.O. 17.08.530 entitled “Nonconforming structure” states in pertinent part: “Nonconforming structure” means a structure, lawfully existing or lawfully begun at the date of the first publication of notice of the public hearing on the ordinance from which this title derives, which does not conform with the regulations of this title. (C.O.96-17 § 41: C.O. 83-3 § 17-2(B)(44))

*Currently there exists on the Property a five (5) unit multifamily apartment building identified by Revere Assessors records as APT 4-8 in 1939<sup>5</sup>, with noncompliant off street parking.*

*The Property's address is 465 Revere Beach Boulevard. The Property is presently serviced by municipal water and sewer; as well as electricity and gas.*

11. What is the nature of the exception or special permit requested in this application?

*At this time, the applicant seeks a special permit to modify a nonconforming structure in accordance with R.R.O. 17.40.030(B)<sup>6</sup> in order to alter the existing nonconforming structure for the same purpose to a substantially greater extent to establish an additional nine (9) apartments units<sup>7</sup>("the Project").*

*The Project shall include exterior and interior alterations<sup>8</sup> to the nonconforming structure which includes a three (3) story 22' by 98' expansion*

<sup>5</sup> Assessors Card states in pertinent part : " This property [Lot 5]contains 0.153 acres of land mainly classified as APT 4-8 with a(n) APT 4-8 style building, built about 1939, having VINYL exterior and ASPHALT roof cover, with five (5) units, 17 room(s), 6 bedroom(s), 5 bath(s) and 0 half baths." The Property also consists of Lots A and B not set forth in the Assessors Card but established in the Property's deed. *See attached and marked Exhibit E.*

<sup>6</sup> R.R.O. 17.40.030 entitled "Modification of nonconforming structures "states in pertinent part: "Upon the issuance of a special permit from the city council, nonconforming structures (excluding single- and two-family residential structures) may be modified as follows:

A.Reconstructed, extended or structurally changed;

*B. Altered to provide for a substantially different purpose or for the same purpose in a substantially different manner or to a substantially greater extent.*

The city council may award a special permit only if it determines that such reconstruction, extension, alteration or change shall not be substantially more detrimental than the existing nonconforming structure to the neighborhood. The reconstruction, extension, alteration or change of a nonconforming structure, as set forth herein, shall include any increase of an existing nonconformity, or the creation of a new nonconformity and shall require only the award of a special permit as authorized under this section. (C.O.07-19 § 4; C.O. 96-17 § 39 (part))

<sup>7</sup> The applicant proposes a two (2) story 22' by 98' expansion of the existing nonconforming structure to establish nine (9) apartments..

<sup>8</sup> R.R.O. 17.08.070 entitled "Alterations" which states in pertinent part: ""Alteration," as applied to a building or a structure, means a substantial change or rearrangement in its exterior structural parts or an enlargement, whether by extending on a side, increasing in height, or the moving of a particular part from one location or position to another. (C.O.83-3 § 17-2(B)(2))

*of the structure [establishing 9 additional apartment units] on the Property as set forth in the site plan.*

*The Project shall develop fourteen (14) units which consist of eleven (11) one bedroom units and three (3) two bedroom units. The Project shall provide seventeen (17) off street parking spaces establishing an overall parking ratio of 1.625 per unit [see elevations for garage layout]<sup>9</sup>. See attached SPRC letter.*

Date of Denial by Building Inspector and/or Planning Board

\_\_\_\_\_ not required \_\_\_\_\_

I hereby certify under the pains and penalties of perjury that the foregoing information contained in this application is true and complete.

\_\_\_\_\_  
Applicant Date

\_\_\_\_\_  
Applicant's Representative Date 10/27/21

Received from above applicant, the sum of \$400.00 to apply against administrative and mailing costs.

<sup>9</sup> The RCI district off street parking requirement requires 1.5 spaces per one bedroom unit and 1.75 spaces per two bedroom unit and 2.0 spaces for three or more bedroom units. See table of off street parking R.R.O. 17.28.020.

## REQUEST FOR FINDING OF FACT - SPECIAL PERMIT

Now comes the applicant 465 Revere Beach Boulevard Realty Trust as aforesaid, which has applied to this Honorable City Council for a special permit for property located at 465 Revere Beach Boulevard and asks that said Council make the following findings of fact:


1. That the proposed alterations would be in harmony with the general purpose and intent of the Zoning Ordinance for the following reasons:
  - (a) The proposed facilities will not impede light, air, and space to adjoining properties;
  - (b) The facilities will not over crowd or have any effect on the density of the existing parcel and buildings thereon;
  - (c) said facilities shall remains within the existing buildings on the site;
  - (d) the approval of this exterior and interior alterations will enable 465 Revere Beach Boulevard Realty Trust to improve its buildings, and therefore benefit the public at large in the community.
  
2. That the specific site is an appropriate location for such alterations for the following reasons:
  - (a) The subject property is zoned, RC1, which allows for the request of this special permit;
  - (b) The location of has a nonconforming structure; similar to the zoning district which has various residential nonconforming structures in the neighborhood;
  - (c) the proposed alterations can exist at this site, without impeding the normal use of the property or surrounding property.
  
3. That the specific site has adequate public sewerage and water facilities and water systems for the following reasons:
  - (a) The proposed facility exists a public ways which possess water and/or sewer services.
  
4. That the alterations proposed will not adversely affect the neighborhood, for the following reasons:



- (a) The proposed Property with alterations will not create adverse impact of noise, odor, smoke dust, etc. It will not substantially generate traffic or activity; and
  - (b) much of the adjacent property surrounding the Property are residential; the alterations will have no affect on these adjoining properties and their uses; and
  - (c) the proposed alterations do not deviate or substantially change the character of this already multifamily residential area of the city.
5. That there will not be a nuisance or serious hazard to vehicles or pedestrians using the proposed Property in that
- (a) the only traffic generated by the proposed Property will be minimum and shall not substantially effect on the present traffic patterns.
6. That adequate and appropriate facilities will be provided for the proposed alterations to the nonconforming structure, for the following reasons:

The location is in a the RC1 district, the proposed nonconforming multifamily residential structure is the subject of the alterations which shall be in harmony with the area, which include other multifamily dwellings in the surrounding area. The current infrastructure and roadways are sufficient to handle the proposed use in that they currently adequately handle the current needs of this business area.

Date: October 27, 2021\_

Respectfully submitted by: 

Lawrence A. Simeone, Jr., Esq.

**CERTIFICATION**

Pursuant to Massachusetts General Laws, Chapter 40, Section 57 (a), and Title 3, Chapter 3.04, Section 3.04.020 of the Revised Ordinances of the City of Revere, Massachusetts, I hereby certify, under penalties of perjury, that the Authority has paid all City of Revere real estate taxes, water and sewer assessments and any other municipal charges required under law.

017-48-1743  
Social Security Number or  
Federal Identification Number

Ramona Guilfoyle  
Signature of Individual or Corporate Name

By: \_\_\_\_\_  
Corporate Officer (if applicable)

Attachment: PH.C-21-17.465RevereBeachBlvd. (21-402 : C-21-17 Special Permit, 465 Revere Beach Boulevard)

Pursuant to M.G.L. Ch. 62C, Sec. 49A, I certify under the penalties of perjury that, to my best knowledge and belief, have filed all state tax returns and paid all state taxes required under law.

017-48-1743  
Social Security Number or  
Federal Identification Number

Ramona Duff  
Signature of Individual or Corporate Name

By: \_\_\_\_\_  
Corporate Officer (if applicable)

Attachment: PH.C-21-17.465RevereBeachBlvd. (21-402 : C-21-17 Special Permit, 465 Revere Beach Boulevard)

49

General Disclosure of Constituent Information Relative to Applications Submitted to The Revere City Council for Authorizations, Permits, Special Permits, Licenses, Variances, Orders of Conditions, Approvals, Modifications and Amendments Which are Subject of Proceedings Before the Revere City Council

1. (Name and residential address of party submitting application.)

Name: 465 Revere Beach Boulevard Realty Trust
Address: 24 Bellingham Avenue, Revere, MA

2. (Name and residential address of each landowner on whose property subject matter will be exercised.)

Name: See above
Address:

(Attach additional pages, if necessary)

3. (If the Party is a Partnership, state the name and residential address of all partners within sixty (60) days of this application.)

Partner's Name:
Address:

4. (Name and residential address of each party to whom subject authorization will be issued).

5. (If the Party is a Trust, provide the name and residential address of each trustee and beneficiary within sixty (60) days of this Application.)

6. (If the Party if a Joint Venture, state the name and residential address of each person, form of company that is party to the Joint Venture within sixty (60) days of the filing of this Application.)

7. (If the Party if a Corporation, provide the name and residential address of each officer, director and shareholder owning more than 50% of the interest in the Corporation within sixty (60) days of the date of this application.

8. (If the Party is a General Partnership, provide the name and residential address of each partner in the partnership within sixty (60) days from the date of this Application.)

Attachment: PH.C-21-17.465RevereBeachBlvd. (21-402 : C-21-17 Special Permit, 465 Revere Beach Boulevard)

9. (If the Party is a Limited Partnership, provide the name and residential address of each General Partner of the Limited Partnership within sixty (60) days from the date of this Application).
10. (If the business is conducted under any title other than the real name of the owner, state the time when, and place where, the Certificate required by Mass. General Law, Chapter 110, Section 5, is on file.)

TO:

FROM:

SUBJECT:

DATE:

REQUESTED  
RETURN DATE:

HEARING DATE:

In accordance with the provisions of Section 57 (a), of Chapter 40 of the Massachusetts General Laws, the Title 3, Chapter 3.04, Section 3.04.020 of the Revised Ordinances of the City of Revere, I herewith request information relative to the payment of the City of Revere real estate taxes, assessments, betterments and other municipal charges concerning the following persons, corporations or business enterprises who have made application for a City of Revere license or permit or renewal thereof;

Name of Applicant: \_\_ 465 Revere Beach Boulevard Realty Trust \_\_\_\_\_  
(Person, corporation or business enterprise applying for license of permit)

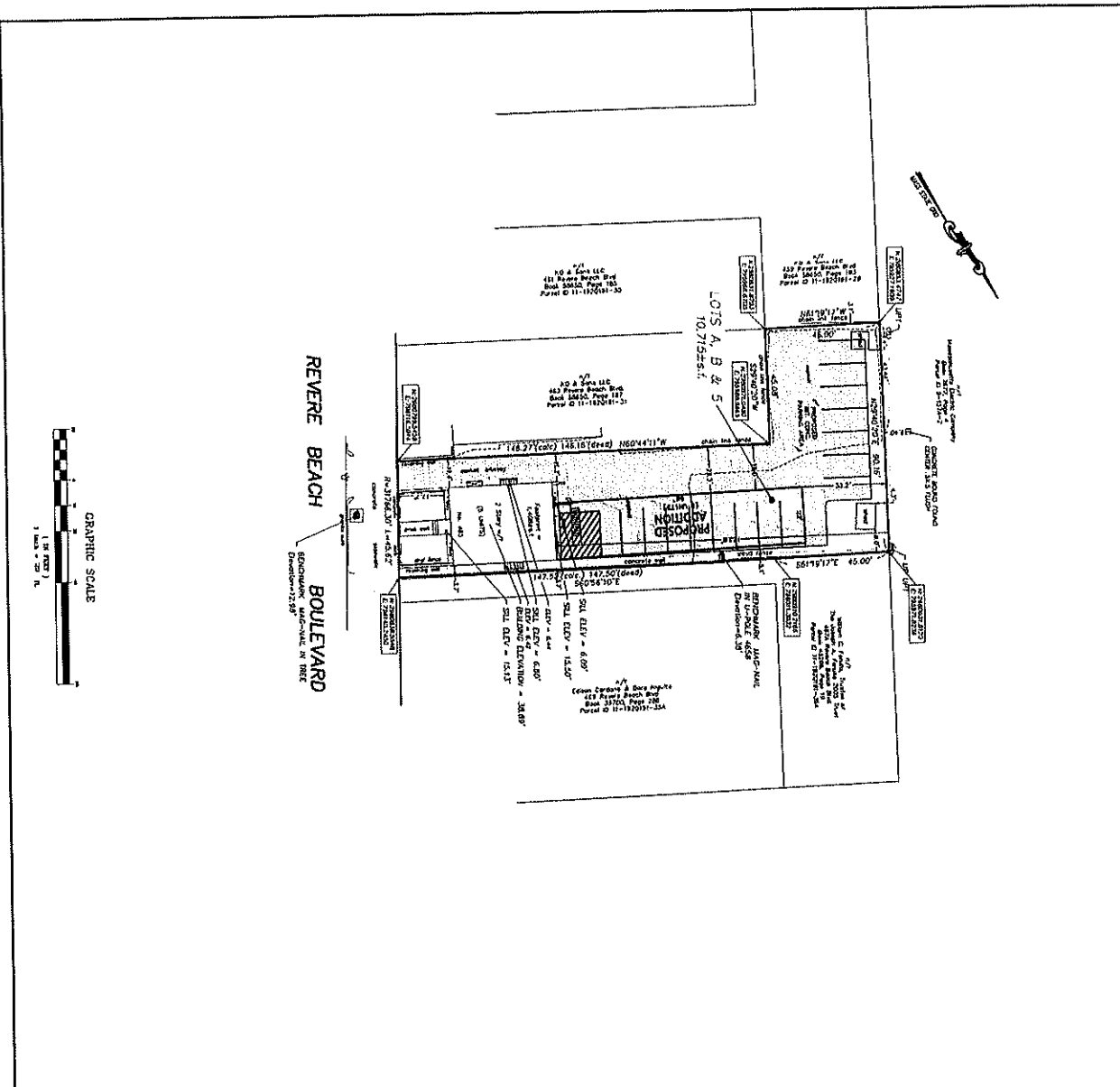
Address of Applicant: \_ 24 Bellingham Avenue, Revere, MA \_\_\_\_\_  
(Business address of above person, corporation or business enterprise)

Location Address: \_\_ 465 Revere Beach Boulevard, Revere, MA 02151  
\_\_\_\_\_  
(Location of property for which license or permit is required.)

Attachment: PH.C-21-17.465RevereBeachBlvd. (21-402 : C-21-17 Special Permit, 465 Revere Beach Boulevard)

# EXHIBIT A





**LAND USAGE TABLE**

| ITEM                       | REQUIRED  | PROVIDED  | DEFICIENCY | REMARKS |
|----------------------------|-----------|-----------|------------|---------|
| MINIMUM AREA               | 25,000 SF | 80,754 SF | 10,714 SF  | YES     |
| MINIMUM HEIGHT             | 10 FT     | 45 FT     | 45 FT      | YES     |
| MINIMUM FRONT YARD SETBACK | 20 FT     | 172 FT    | 172 FT     | YES     |
| MINIMUM SIDE YARD SETBACK  | 20 FT     | 32 FT     | 32 FT      | YES     |
| MINIMUM REAR YARD SETBACK  | 20 FT     | 528 FT    | 282 FT     | NO      |
| MINIMUM FRONT SETBACK      | 10 FT     | 18 FT     | 8 FT       | NO      |
| MINIMUM SIDE SETBACK       | 10 FT     | 10 FT     | 0 FT       | NO      |
| MINIMUM REAR SETBACK       | 10 FT     | 10 FT     | 0 FT       | NO      |
| MINIMUM FRONT SETBACK      | 10 FT     | 10 FT     | 0 FT       | NO      |
| TOTAL AREA                 | 30        | 437       | 143        | NO      |

**PARKING TABLE**

| COMPONENT        | REQUIRED  | PROVIDED  | DEFICIENCY |
|------------------|-----------|-----------|------------|
| MINIMUM REQUIRED | 17 SPACES | 33 SPACES | 16 SPACES  |
| MINIMUM REQUIRED | 11 SPACES | 14 SPACES | 3 SPACES   |
| TOTAL            | 28 SPACES | 47 SPACES | 19 SPACES  |

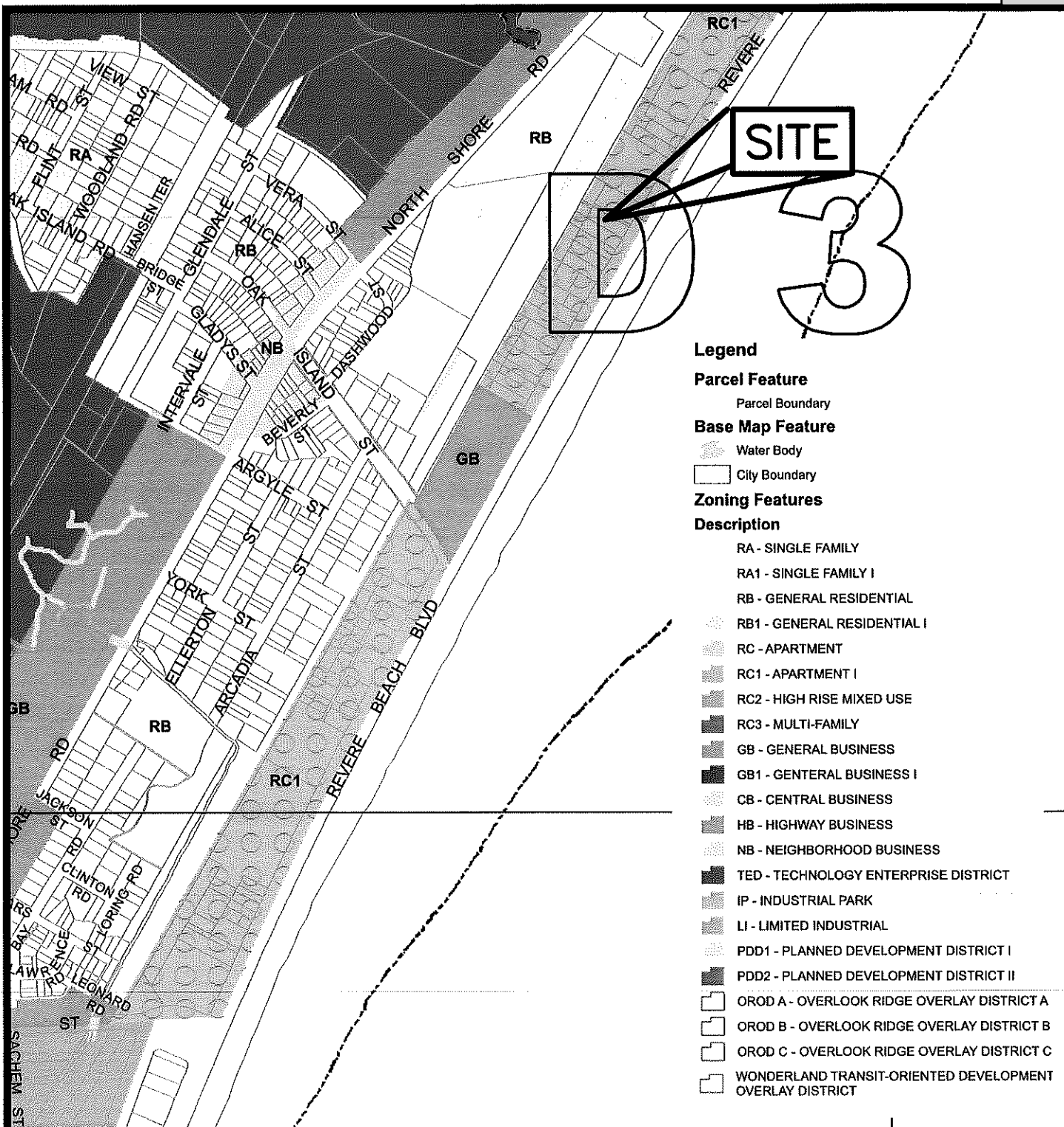
**SIGN TABLE**

| DESCRIPTION | SIZE      | HEIGHT | LOCATION | REMARKS |
|-------------|-----------|--------|----------|---------|
| 1-1         | 24" x 36" | 7'-0"  | WHERE OK | YES     |

|   |   |   |   |
|---|---|---|---|
| <b>APPLICANT:</b><br>Ramona Gluffe<br>465 Revere Beach Blvd<br>Revere, MA 02151 |   | <b>PROJECT:</b><br>Site Plan<br>465 Revere Beach Blvd.<br>(Tex Map 11 Block 192Q191 Lot 33)<br>Revere, Massachusetts  | <b>PREPARED BY:</b><br><br>Engineering Alliance, Inc.<br>Civil Engineering & Land Planning Consultants<br>1950 Lafayette Road<br>Scituate, MA 01908<br>Tel: (508) 615-1100<br>Fax: (508) 615-1100 |
| <b>DWG. NO.:</b><br>10f1  | <b>DRAWING TITLE:</b><br>Conceptual Site Plan | <b>PROJECT #:</b> P-21-79601<br><b>DATE:</b> October 18, 2021<br><b>SCALE:</b> AS NOTED<br><b>DWG. FILE NAME:</b> 21-79601.dwg<br><b>DRAWN BY:</b> Ima Greenway<br><b>CHECKED BY:</b> Richard A. Saha, P.E. | <b>DATE:</b><br><b>DESCRIPTION OF REVISION:</b>   |

Attachment: PH.C-21-17.465RevereBeachBlvd. (21-402 : C-21-17 Special Permit, 465 Revere Beach Boulevard)

# EXHIBIT B



**Legend**

**Parcel Feature**

Parcel Boundary

**Base Map Feature**

Water Body

City Boundary

**Zoning Features**

**Description**

- RA - SINGLE FAMILY
- RA1 - SINGLE FAMILY I
- RB - GENERAL RESIDENTIAL
- RB1 - GENERAL RESIDENTIAL I
- RC - APARTMENT
- RC1 - APARTMENT I
- RC2 - HIGH RISE MIXED USE
- RC3 - MULTI-FAMILY
- GB - GENERAL BUSINESS
- GB1 - GENERAL BUSINESS I
- CB - CENTRAL BUSINESS
- HB - HIGHWAY BUSINESS
- NB - NEIGHBORHOOD BUSINESS
- TED - TECHNOLOGY ENTERPRISE DISTRICT
- IP - INDUSTRIAL PARK
- LI - LIMITED INDUSTRIAL
- PDD1 - PLANNED DEVELOPMENT DISTRICT I
- PDD2 - PLANNED DEVELOPMENT DISTRICT II
- OROD A - OVERLOOK RIDGE OVERLAY DISTRICT A
- OROD B - OVERLOOK RIDGE OVERLAY DISTRICT B
- OROD C - OVERLOOK RIDGE OVERLAY DISTRICT C
- WONDERLAND TRANSIT-ORIENTED DEVELOPMENT OVERLAY DISTRICT

PREPARED BY:



**Engineering Alliance, Inc.**  
 Civil Engineering & Land Planning Consultants  
 194 Central Street      1950 Lafayette Road  
 Saugus, MA 01906      Portsmouth, NH 03801  
 Tel: (781) 231-1349      Tel: (603) 610-7100  
 Fax: (781) 417-0020      Fax: (603) 610-7101

PROJECT:

# Proposed Multi-Family Development

465 Revere Beach Boulevard  
 Revere, Massachusetts

PROJECT#: 21-79501

DATE: October 22, 2021, 2017

SCALE: 1"=300'

DWG FILE NAME: FIGURES.DWG

DESIGNED BY: Eric Bradanese

CHECKED BY: Richard A. Salvo, P.E.

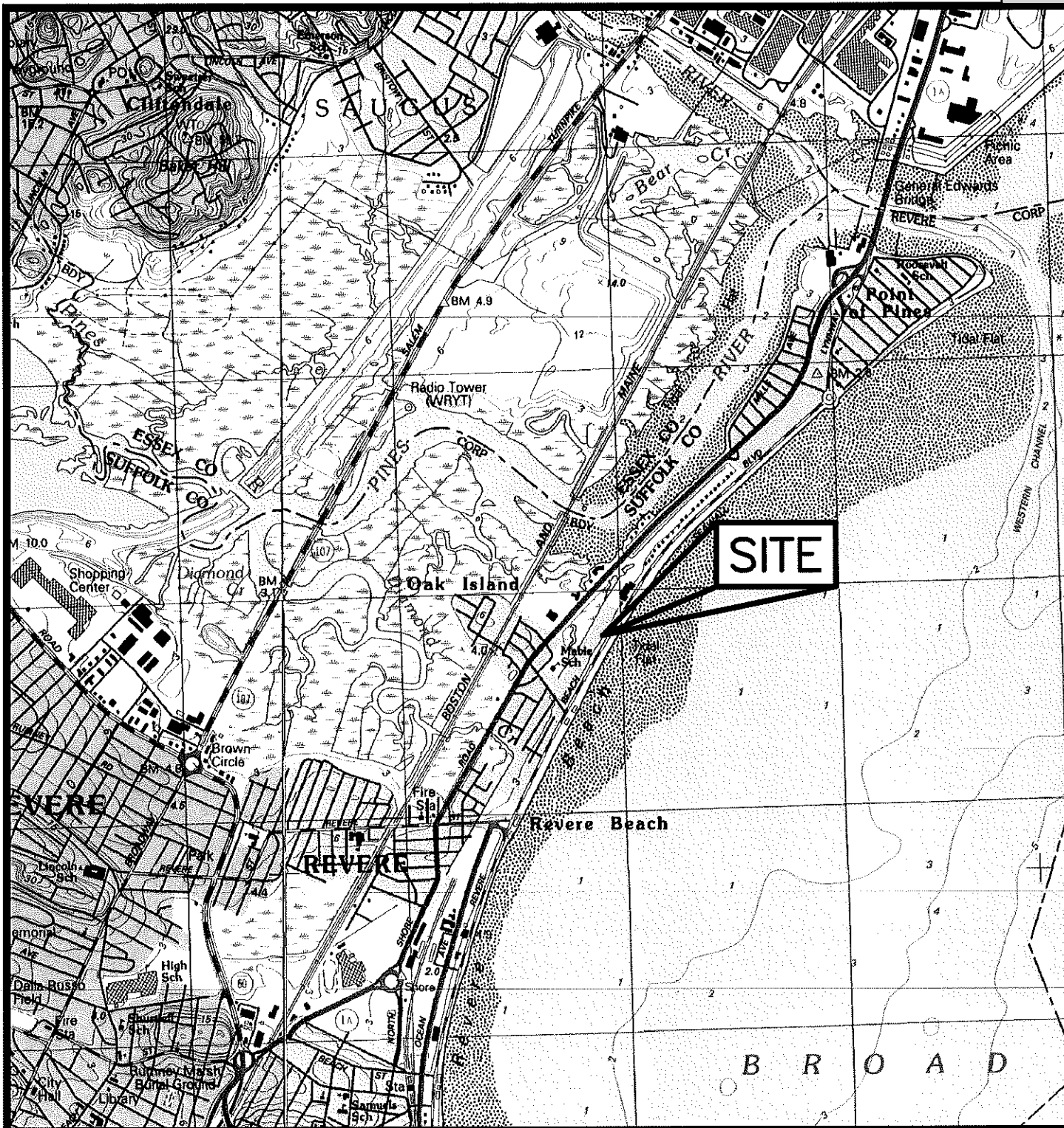
DRAWING TITLE:  
**ZONING MAP**

DRAWING #:  
**5 of 5**

Attachment: PH.C-21-17.465RevereBeachBlvd. (21-402 : C-21-17 Special Permit, 465 Revere Beach Boulevard)

# EXHIBIT C





PREPARED BY:



**Engineering Alliance, Inc.**  
 Civil Engineering & Land Planning Consultants  
 194 Central Street  
 Saugus, MA 01906  
 Tel: (781) 231-1349  
 Fax: (781) 417-0020

1950 Lafayette Road  
 Portsmouth, NH 03801  
 Tel: (603) 610-7100  
 Fax: (603) 610-7101

PROJECT:

# Proposed Multi-Family Development

465 Revere Beach Boulevard  
 Revere, Massachusetts

PROJECT#: 21-79501

DATE: October 22, 2021, 2017

SCALE: 1:25,000

DWG FILE NAME: FIGURES.DWG

DESIGNED BY: Eric Bradanese

CHECKED BY: Richard A. Salvo, P.E.

DRAWING TITLE:  
**FIGURE 1 - USGS LOCUS MAP**

DRAWING #:  
**1 of 5**

Attachment: PH.C-21-17.465RevereBeachBlvd. (21-402 : C-21-17 Special Permit, 465 Revere Beach Boulevard)

# EXHIBIT D



2014 00046615  
Bk: 53105 Pg: 143 Page: 1 of 2  
Recorded: 06/17/2014 03:00 PM  
ATTEST: Francis M. Roache, Register  
Suffolk County Registry of Deeds

**MASSACHUSETTS QUITCLAIM DEED**

I, **Michael K. Buckley**, of Revere, Massachusetts

for consideration paid, and in full consideration of the sum of **Five Hundred Eighty Five Thousand and 00/100 Dollars (\$585,000.00)**

grant to **465 Revere Beach Boulevard Realty Trust**,<sup>4</sup> under Declaration of Trust dated June 17, 2014, a certificate for which is recorded simultaneously herewith  
<sup>1</sup> *Marlene Cronin, Ramona Giuffre + Raymond Giuffre, Co-Trustees*  
of 465 Revere Beach Boulevard, Revere, Massachusetts

with **Quitclaim Covenants**

the land with the buildings thereon situated at **465 Revere Beach Boulevard, Revere, Suffolk County, Massachusetts**, shown as Lot 5 on a plan of land entitled "Plan of Land in Revere, Massachusetts, Owned by Joseph S. Levine, Philip J. Leary, Civil Engineer, 31 Exchange Street, Lynn, Massachusetts. Scale: 1 inch = 40 feet, July 1929", and more particularly described as follows:

- SOUTHEASTERLY by Revere Beach Blvd., forty-five and 62/100 (45.62) feet;
- SOUTHWESTERLY by Lot 4 on said plan, one hundred forty-six and 16/100 (146.16) feet;
- NORTHWESTERLY by land now or formerly of the Boston, Revere Beach and Lynn Railroad forty-five and 8/100 (45.08) feet; and
- NORTHEASTERLY by Lot 6 on said plan, one hundred forty-seven and 50/100 (147.50) feet.

Containing 6,600 square feet of land more or less, according to said plan.

Also included is all of my right, title and interest in Lots shown as "A" and "B" on a plan of land entitled "Plan of Land in Revere, Mass., Scale 50 feet to 1 inch", dated June 25, 1948, and recorded at said Registry at Book 6443, Page 275. Said Lots A and B were included in original deed to Michael K. Buckley and Maureen J. Campbell, Trustees of BCI Ocean Realty Trust dated November 6, 2001, and recorded with Suffolk Deeds at Book 27355, Page 174, and have been included in every deed since then as referenced below.

Said lots each contain 2,025 square feet of land more or less, according to said plan.

For grantor's title see deed of Michael K. Buckley and Maureen J. Campbell, as Trustees of BCI Ocean Realty Trust to said grantor and Maureen J. Campbell, dated May 31, 2002, and recorded in said Deeds at Book 28675, Page 13. See also Foreclosure Deed from Michael K. Buckley, as mortgagor with same Maureen J. Campbell as mortgagee, to same Michael K. Buckley, grantor herein, dated November 18, 2013, and recorded in said deeds at Book 52373, Page 150.

MASSACHUSETTS EXCISE TAX  
Suffolk County District ROD # 001  
Date: 06/17/2014 03:00 PM  
Clt# 139379 05374 Doc# 00046615  
Fee: \$2,667.60 Cons: \$585,000.00

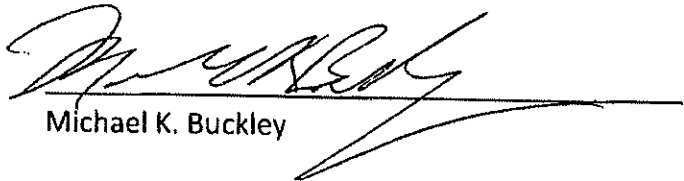
465 Revere Beach Blvd, Revere

Attachment: PH.C-21-17.465RevereBeachBlvd. (21-402 : C-21-17 Special Permit, 465 Revere Beach Boulevard)



Grantor hereby declares under the pains and penalties of perjury that no person is entitled to claim the benefit of an existing estate of homestead in the premises and hereby releases and discharges any and estates of homestead in and to the property conveyed herein, whether created automatically pursuant to Massachusetts law or by Declaration.

Witness my hand and seal this 16<sup>th</sup> day of June, 2014

  
Michael K. Buckley

COMMONWEALTH OF MASSACHUSETTS

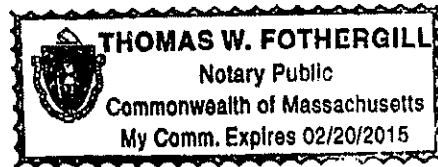
Middlesex, ss.

June 16, 2014

Then personally appeared before me, the undersigned notary public, the above named Michael K. Buckley, whose identity was proven to me by satisfactory means, to wit: a Massachusetts driver's license, to be the person signing the above Massachusetts Quitclaim Deed, and acknowledged that the foregoing Massachusetts Quitclaim Deed was executed by him as his free and voluntary act for the purposes stated therein.



Thomas W. Fothergill  
NOTARY PUBLIC  
My Commission Expires: February 20, 2015



Attachment: PH.C-21-17.465RevereBeachBlvd. (21-402 : C-21-17 Special Permit, 465 Revere Beach Boulevard)

# EXHIBIT E

# Unofficial Property Record Card - Revere, MA

## General Property Data

Parcel ID 11-192Q191-33  
 Prior Parcel ID RC1 --  
 Property Owner 465 REVERE BEACH BLVD RLTY TR  
 CRONIN MARLENE TRUSTEE  
 Mailing Address 24 BELLINGHAM AVE  
 City REVERE  
 Mailing State MA Zip 02151  
 Parcel Zoning RC1

Account Number 11/192Q191/33/  
 Property Location 465 REVERE BEACH BLVD  
 Property Use APT 4-8  
 Most Recent Sale Date 6/16/2014  
 Legal Reference 53105-143  
 Grantor BUCKLEY MICHAEL K,  
 Sale Price 585,000  
 Land Area 0.153 acres

## Current Property Assessment

Card 1 Value Building Value 595,100 Xtra Features Value 0 Land Value 389,900 Total Value 985,000

## Building Description

Building Style APT 4-8  
 # of Living Units 5  
 Year Built 1939  
 Building Grade AVERAGE  
 Building Condition Good  
 Finished Area (SF) 3970  
 Number Rooms 17  
 # of 3/4 Baths 0

Foundation Type CONC BLOCK  
 Frame Type WOOD  
 Roof Structure HIP  
 Roof Cover ASPHALT  
 Siding VINYL  
 Interior Walls PLASTER  
 # of Bedrooms 6  
 # of 1/2 Baths 0

Flooring Type HARDWOOD  
 Basement Floor CERAMIC TL  
 Heating Type FORCED HW  
 Heating Fuel OIL  
 Air Conditioning 0%  
 # of Bsmt Garages 0  
 # of Full Baths 5  
 # of Other Fixtures 0

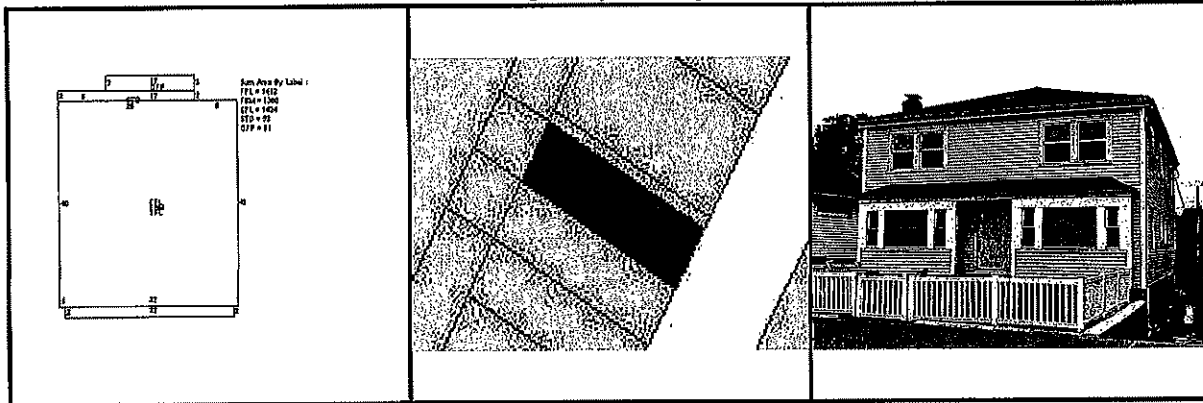
## Legal Description

LOT 5

## Narrative Description of Property

This property contains 0.153 acres of land mainly classified as APT 4-8 with a(n) APT 4-8 style building, built about 1939, having VINYL exterior and ASPHALT roof cover, with 5 unit(s), 17 room(s), 6 bedroom(s), 5 bath(s), 0 half bath(s).

## Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

Attachment: PH.C-21-17.465RevereBeachBlvd. (21-402 : C-21-17 Special Permit, 465 Revere Beach Boulevard)

[Print](#) | [Close Window](#)**Subject:** Application Review Comments**From:** fstringi@revere.org**Date:** Tue, Oct 26, 2021 11:56 am**To:** <rsalvo@eaicivil.com>, <lsimeonejr@simeonelaw.net>, <beth@mergearchitects.com>, <amelnik@revere.org>, <lcavagnaro@revere.org>, <pccheever@revere.org>**Attach:** /Documents/258/logo.jpg

## CITY OF REVERE APPLICATION REVIEW

### City of Revere Site Plan Review Review Comments

**From:** Frank Stringi  
**Date:** October 26, 2021  
**Application #:** SPR21-000162  
**Address:** 465 REVERE BEACH BLVD  
**Description:** Proposed Multi Family Addition  
**Review Status:** Denied

Thank you for your recent permit application for Proposed Multi Family Addition. I have completed my initial review and my comments are listed below, you can view marked up plans on our [online portal](#). Please note that you may receive additional comments from other city departments as your application is reviewed. You can follow the progress of your application by clicking on the link to the online portal above and signing into your account.

#### **Community Development: Frank Stringi**

- This plan has been denied for the following reasons: In accordance with Section 17.40.030 of the Revised Revere Zoning Ordinance, the extension of a nonconforming structure may only be allowed by special permit of the City Council if the City Council determines that such extension shall not be substantially more detrimental than the existing nonconforming structure to the neighborhood.

*NOTE: If your application is marked "Resubmittal Required", you do not need to submit a new application. Log back into your account and edit either your Registration or Permit as requested in the comments.*

**Please do not reply to this automated email.** All resubmittals should be done using our online portal at [www.citizenserve.com/revere](http://www.citizenserve.com/revere) re-review. Furnishing the above requested information will help expedite the approval of your application.



Attachment: PH.C-21-17.465RevereBeachBlvd. (21-402 : C-21-17 Special Permit, 465 Revere Beach Boulevard)

11 192Q191 33 Lot  
 Map Block  
 1 of 1 RESIDENTIAL Revere CARD Lot3 Lot2 Lot3 Lot4

Total Card / Total Parcel  
 APPRAISED: 985,000/ 985,000  
 USE VALUE: 985,000/ 985,000  
 ASSESSED: 985,000/ 985,000



**Patriot**  
 Properties Inc.

USER DEFINED  
 Prior Id # 1: RC1  
 Prior Id # 2:  
 Prior Id # 3:  
 Prior Id # 1:  
 Prior Id # 2:  
 Prior Id # 3:  
 Prior Id # 1:  
 Prior Id # 2:  
 Prior Id # 3:  
 ASR Map: 11

PRINT  
 Date 12/15/20  
 10/14/21 12:15:14  
 LAST REV  
 Date 12/19/2017  
 10/11/21 15:36:16  
 apro  
 4628

| Use Code  | Land Size | Building Value | Yrd Items | Land Value | Total Value | Legal Description | User Acct     |
|---|-----------|----------------|-----------|------------|-------------|-------------------|---------------|
| 111   | 0.153     | 595,100        |           | 389,900    | 985,000     | LOT 5             | 11/192Q19133/ |
| Total Card  | 0.153     | 595,100        |           | 389,900    | 985,000     | Entered Lot Size  | GIS Ref       |
| Total Parcel  | 0.153     | 595,100        |           | 389,900    | 985,000     | Total Land: 6660  | GIS Ref       |
| Sources: Market Adj Cost                                |           |                |           |            |             |                   | Insp Date     |
| Total Value per SQ. unit: Card: 248.11 / Parcel: 248.11 |           |                |           |            |             |                   | 08/10/20      |
| Land Unit Type: SF                                      |           |                |           |            |             |                   |               |

| Tax Yr. | Use | Cat  | Bldg Value | Yrd Items | Land Size | Land Value | Total Value | Asses'd Value | Notes         | Date       |
|---------|-----|------|------------|-----------|-----------|------------|-------------|---------------|---------------|------------|
| 2021    | 111 | FV   | 595,100    | 0         | .153      | 389,900    | 985,000     |               | Year End Roll | 12/15/2020 |
| 2021    | 111 | PTCH | 475,700    | 0         | .153      | 389,900    | 865,600     | 865,600       | patch         | 8/19/2020  |
| 2020    | 111 | FV   | 475,700    | 0         | .153      | 389,900    | 865,600     | 865,600       | Year End Roll | 12/19/2019 |
| 2020    | 111 | NC   | 475,700    | 0         | .153      | 389,900    | 865,600     | 865,600       | Year End Roll | 10/30/2019 |
| 2019    | 111 | FV   | 404,300    | 0         | .153      | 409,400    | 813,700     | 813,700       | Year End Roll | 12/19/2017 |
| 2018    | 111 | fv   | 372,100    | 0         | .153      | 344,400    | 716,500     | 716,500       | YER           | 12/29/2017 |
| 2017    | 111 | FV   | 331,500    | 0         | .153      | 305,400    | 636,900     | 636,900       | Year End Roll | 12/22/2016 |
| 2016    | 111 | FV   | 306,200    | 0         | .153      | 279,400    | 585,600     | 585,600       | Year End      | 12/28/2015 |

| Grantor         | Legal Ref | Type | Date       | Sale Price | V  | Tst | Verif | Notes |
|-----------------|-----------|------|------------|------------|----|-----|-------|-------|
| BUCKLEY MICHAEL | 53105-143 |      | 6/16/2014  | 585,000    | No | No  |       |       |
| BUCKLEY MICHAEL | 52373-150 |      | 11/18/2013 | 100,000    | No | No  |       |       |
| BCI OCEAN REALT | 28676/013 |      | 6/4/2002   |            | No | No  |       |       |
| RDC OCEAN REALT | 27355/174 |      | 11/7/2001  | 570,000    | No | No  |       |       |
| FIRST NATIONAL  | 18829/340 |      | 5/31/1995  | 93,500     | No | No  |       |       |
| PARK            | 18829/340 |      | 1/27/1994  | 93,500     | No | No  |       |       |
| UNKNOWN         | 15038/132 |      | 9/21/1988  | 550,000    | No | No  |       |       |

| Code | Descrpt/No | Amount | Com. Int |
|------|------------|--------|----------|
|      |            |        |          |

| Building Permits | Date       | Number | Descrpt  | Unit  | Base Value | LT Factor | Land Type | Land Type | Sq Feet | Site |
|------------------|------------|--------|----------|-------|------------|-----------|-----------|-----------|---------|------|
|                  | 4/16/2015  | 13487  | WINDOWS  | 9,000 | C          |           |           |           |         |      |
|                  | 9/12/2014  | 12735  | ROOF     | 5,500 | C          |           |           |           |         |      |
|                  | 8/26/2014  | 12562  | VINYL SI | 4,200 | C          |           |           |           |         |      |
|                  | 2/24/1997  | 4263   | Resident |       |            |           |           |           |         |      |
|                  | 10/21/1996 | 4047   | Resident |       |            |           |           |           |         |      |

| Item Code | Description | % | Item Code | Description |
|-----------|-------------|---|-----------|-------------|
| Z         | water       |   |           |             |
| o         | Sewer       |   |           |             |
| n         | Electri     |   |           |             |
|           | Exempt      |   |           |             |
|           | Topo        |   |           |             |
|           | Street      |   |           |             |
|           | Gas         |   |           |             |

| Use Code | LUC     | No of Units | Depth/Price/Units | Unit Type | Land Type | Sq Feet | Site |
|----------|---------|-------------|-------------------|-----------|-----------|---------|------|
| 111      | APT 4-8 | 6660        | 6660              |           |           |         |      |

| Building Permits | Date      | Amount | CIO | Last Visit | Fed Code | F. Descrpt         | Comment |
|------------------|-----------|--------|-----|------------|----------|--------------------|---------|
|                  | 8/10/2020 |        |     |            |          | 27 REPLACEMENT     |         |
|                  | 2/13/2015 |        |     |            |          | STRIP 11 SQS       |         |
|                  | 7/23/2007 |        |     |            |          | 3 SQS VS AND 2 REP |         |
|                  | 4/10/2006 |        |     |            |          | RSF 20 SQ VINYL SI |         |
|                  |           |        |     |            |          | RSF FENCE IN PROPE |         |

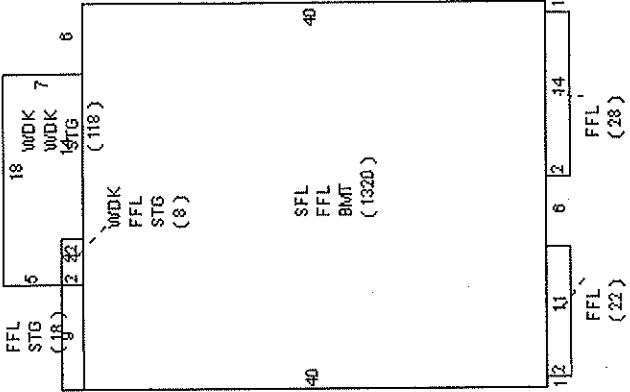
| Activity Information | Date      | Result       | By  | Name         |
|----------------------|-----------|--------------|-----|--------------|
|                      | 8/10/2020 | FIELD REVIEW | 336 | MATT MCGRATH |
|                      | 2/13/2015 | MEASURED     | 372 | Patrick W    |
|                      | 7/23/2007 | INSPECTED    | 294 | DENNIS M     |
|                      | 4/10/2006 | MEASURED     | 294 | DENNIS M     |

| SALES INFORMATION | Legal Ref | Type | Date       | Sale Price | V  | Tst | Verif | Notes |
|-------------------|-----------|------|------------|------------|----|-----|-------|-------|
|                   | 53105-143 |      | 6/16/2014  | 585,000    | No | No  |       |       |
|                   | 52373-150 |      | 11/18/2013 | 100,000    | No | No  |       |       |
|                   | 28676/013 |      | 6/4/2002   |            | No | No  |       |       |
|                   | 27355/174 |      | 11/7/2001  | 570,000    | No | No  |       |       |
|                   | 18829/340 |      | 5/31/1995  | 93,500     | No | No  |       |       |
|                   | 18829/340 |      | 1/27/1994  | 93,500     | No | No  |       |       |
|                   | 15038/132 |      | 9/21/1988  | 550,000    | No | No  |       |       |

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**SKETCH**



**COMMENTS**

RESIDENTIAL GRID  
 1st Res Grid Desc: Line 1  
 Level FY LR DR D R K FR RR BR FB HB L 0  
 Other  
 Upper  
 Lvl 2  
 Lvl 1  
 Lower  
 Totals RMS: 17 BRs: 6 Baths: 5 HB

**REMODELING**

|            |         |     |     |    |
|------------|---------|-----|-----|----|
| Exterior:  | No Unit | RMS | BRS | FL |
| Interior:  | 4       | 3   | 1   | 1  |
| Additions: | 1       | 5   | 2   | 1  |
| Kitchen:   |         |     |     |    |
| Bath:      |         |     |     |    |
| Plumbing:  |         |     |     |    |
| Electric:  |         |     |     |    |
| Heating:   |         |     |     |    |
| General:   |         |     |     |    |
| Totals     | 5       | 17  | 6   |    |

**RES BREAKDOWN**

|            |         |     |     |    |
|------------|---------|-----|-----|----|
| Exterior:  | No Unit | RMS | BRS | FL |
| Interior:  | 4       | 3   | 1   | 1  |
| Additions: | 1       | 5   | 2   | 1  |
| Kitchen:   |         |     |     |    |
| Bath:      |         |     |     |    |
| Plumbing:  |         |     |     |    |
| Electric:  |         |     |     |    |
| Heating:   |         |     |     |    |
| General:   |         |     |     |    |
| Totals     | 5       | 17  | 6   |    |

**BATH FEATURES**

|             |   |         |         |
|-------------|---|---------|---------|
| Full Bath:  | 5 | Rating: | AVERAGE |
| A Bath:     |   | Rating: |         |
| 3/4 Bath:   |   | Rating: |         |
| A 3/4 Bath: |   | Rating: |         |
| 1/2 Bath:   |   | Rating: |         |
| A 1/2 Bath: |   | Rating: |         |
| Other Fix:  |   | Rating: |         |

**OTHER FEATURES**

|         |   |         |         |
|---------|---|---------|---------|
| Kits:   | 5 | Rating: | AVERAGE |
| A Kits: |   | Rating: |         |
| Fpl:    | 1 | Rating: | AVG     |
| WSFlue: |   | Rating: |         |

**CONDO INFORMATION**

|              |  |
|--------------|--|
| Location:    |  |
| Total Units: |  |
| Floor:       |  |
| % Own:       |  |
| Name:        |  |

**EXTERIOR INFORMATION**

|               |                |
|---------------|----------------|
| Type:         | 96 - APT 4-8   |
| Sty Ht:       | 2 - 2 STORIES  |
| (Liv) Units:  | 5 Total: 5     |
| Foundation:   | 2 - CONC BLOCK |
| Frame:        | 1 - WOOD       |
| Prime Wall:   | 4 - VINYL      |
| Sec Wall:     |                |
| Roof Struct:  | 2 - HIP        |
| Roof Cover:   | 1 - ASPHALT    |
| Color:        | YELLOW         |
| View / Desir: |                |

**GENERAL INFORMATION**

|               |             |
|---------------|-------------|
| Grade:        | C - AVERAGE |
| Year Bld:     | 1951        |
| Alt LUC:      |             |
| Jurisdct:     |             |
| Const Mod:    |             |
| Lump Sum Adj: |             |

**INTERIOR INFORMATION**

|                |                 |
|----------------|-----------------|
| Avg Ht/FL:     | STD             |
| Prim Int Wall: | 2 - PLASTER     |
| Sec Int Wall:  |                 |
| Partition:     | T - TYPICAL     |
| Prim Floors:   | 3 - HARDWOOD    |
| Sec Floors:    | 5 - LINOL/VINYL |
| Bsmnt Fir:     | 6 - CERAMIC TL  |

**SUB AREA**

| Code               | Description  | Area - SQ | Rate - AV | Undrpr: Value | Sub Area   | % Ustbl | % Descrp | Qu # Ten |
|--------------------|--------------|-----------|-----------|---------------|------------|---------|----------|----------|
| FFL                | FIRST FLOOR  | 1,396     | 185.880   | 259,491       | BMT        | 100     | APT      | 95A      |
| BMT                | BASEMENT     | 1,320     | 79.580    | 105,047       |            |         |          |          |
| SFL                | SECOND FLOOR | 1,320     | 185.880   | 245,364       |            |         |          |          |
| WDK                | WOOD DECK    | 244       | 7.540     | 1,864         |            |         |          |          |
| STG                | STORAGE      | 144       | 7.390     | 1,064         |            |         |          |          |
| Totals             |              |           |           | 612,830       |            |         |          |          |
| Net Sketched Area: |              |           |           | 4,424         |            |         |          |          |
| Size Ad            |              |           |           | 2716          | Gross Area | 4424    | Fin Area | 3970     |

**COMPARABLE SALES**

| Rate | Parcel ID | Typ | Date | Sale Price |
|------|-----------|-----|------|------------|
|      |           |     |      |            |
|      |           |     |      |            |
|      |           |     |      |            |
|      |           |     |      |            |

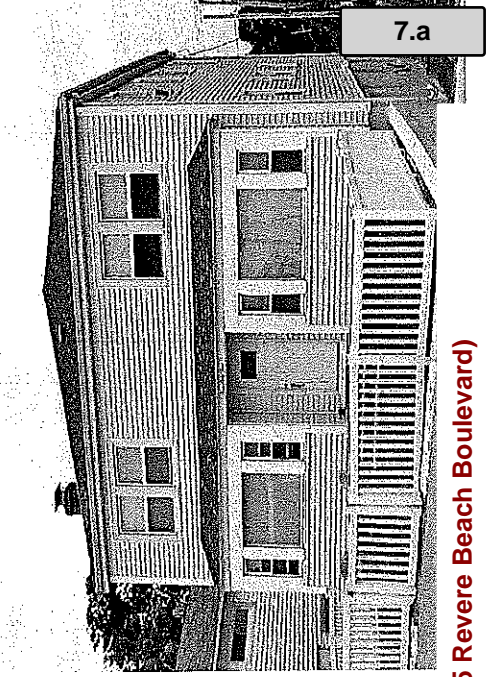
**CALC SUMMARY**

|                    |            |
|--------------------|------------|
| Basic \$ / SQ:     | 195.00     |
| Size Adj:          | 0.94182622 |
| Const Adj:         | 1.01212001 |
| Adj \$ / SQ:       | 185.882    |
| Other Features:    | 138500     |
| Grade Factor:      | 1.00       |
| NBHD Inf:          | 1.00000000 |
| LUC Factor:        | 1.00       |
| Adj Total:         | 751330     |
| Depreciation:      | 156277     |
| Depreciated Total: | 595053     |

**MOBILE HOME**

|              |    |
|--------------|----|
| Make:        |    |
| Model:       |    |
| % AC:        |    |
| Central Vac: | NO |
| % Sprinkled: |    |

**IMAGE**



**SPEC FEATURES/YARD ITEMS**

| Code | Description | A | MS | Qty | Size | Dim | Unit | Price | Dis | Dep | LUC | Fact | NB | FA | Appr | Value | Juris | Value |
|------|-------------|---|----|-----|------|-----|------|-------|-----|-----|-----|------|----|----|------|-------|-------|-------|
|      |             |   |    |     |      |     |      |       |     |     |     |      |    |    |      |       |       |       |
|      |             |   |    |     |      |     |      |       |     |     |     |      |    |    |      |       |       |       |
|      |             |   |    |     |      |     |      |       |     |     |     |      |    |    |      |       |       |       |

AssessPro Patriot Properties, Inc

|  |  |   |
|--|--|---|
| NORTH SHORE RD<br>11-190A-27<br>LUC: 391<br>NORTH SHORE ROAD NOMINEE TRUST<br>DIABAKERLY JANET TRUSTEE<br>P O BOX 610050<br>NEWTON, MA 02461   | REVERE BEACH REA BLVD<br>11-192Q191-28<br>LUC: 132<br>KQ & SONS LLC<br>62 GOLDEN HILLS RD<br>SAUGUS, MA 01906  | 474 REVERE BEACH BLVD 1001<br>11-192Q191-38-100<br>LUC: 102<br>FELDMAN JUDITH<br>1505 MASS AVE<br>#17<br>LEXINGTON, MA 02426  |
| NORTH SHORE RD<br>11-190A-28<br>LUC: 132<br>LANDANO REALTY TRUST<br>BARRY C/O DIANE<br>54 TANYA DR<br>MANSFIELD, MA 02048  | 459 REVERE BEACH BLVD<br>11-192Q191-29<br>LUC: 104<br>KQ & SONS LLC<br>62 GOLDEN HILLS RD<br>SAUGUS, MA 01906  | 474 REVERE BEACH BLVD 1002<br>11-192Q191-3<br>LUC: 102<br>MOONEY JOHN<br>MOONEY VIRGINIA S ET AL<br>474 REVERE BEACH BLVD<br>REVERE, MA 02151   |
| REVERE BEACH REA BLVD<br>11-192Q191-20<br>LUC: 132<br>MCCARRON CHRISTINE<br>450 REVERE BEACH BLVD<br>REVERE, MA 02151  | 461 REVERE BEACH BLVD<br>11-192Q191-30<br>LUC: 104<br>KQ & SONS LLC<br>62 GOLDEN HILLS RD<br>SAUGUS, MA 01906  | 474 REVERE BEACH BLVD 1003<br>11-192Q191-3<br>LUC: 102<br>JUDITH FELDMAN LIVING TRUST<br>FELDMAN JUDITH TRUSTEE<br>474 REVERE BEACH BLVD<br>#1003<br>Revere, MA 02151<br>474 REVERE BEACH BLVD 1004<br>11-192Q191-3<br>LUC: 102                 |
| 448 REVERE BEACH BLVD<br>11-192Q191-21<br>LUC: 101<br>sekeresh sergiy y<br>452 REVERE BEACH BLVD<br>REVERE, MA 02151   | 463 REVERE BEACH BLVD<br>11-192Q191-31<br>LUC: 104<br>KQ & SONS LLC<br>62 GOLDEN HILLS RD<br>SAUGUS, MA 01906  | 474 REVERE BEACH BLVD 1004<br>11-192Q191-3<br>LUC: 102<br>DOROTHEA THEODORE FAM REVO TR<br>ODONNELL PAMELA SUCCESSOR TRUSTEE<br>20 LEDGEWOOD HILLS DR<br>UNIT 201<br>NASHUA, NH 03062<br>474 REVERE BEACH BLVD 1005<br>11-192Q191-3<br>LUC: 102 |
| 450 REVERE BEACH REA BLVD<br>11-192Q191-22<br>LUC: 104<br>MCCARRON CHRISTINE<br>450 REVERE BEACH BLVD<br>REVERE, MA 02151  | REVERE BEACH REA BLVD<br>11-192Q191-32<br>LUC: 132<br>465 REVERE BEACH BLVD RLTY TR<br>CRONIN MARLENE TRUSTEE<br>465 REVERE BEACH BLVD<br>REVERE, MA 02151       | 474 REVERE BEACH BLVD 1005<br>11-192Q191-3<br>LUC: 102<br>OCONNOR MAUREEN H<br>474 REVERE BEACH BLVD<br>UNIT 1005<br>REVERE, MA 02151   |
| REVERE BEACH REA BLVD<br>11-192Q191-23<br>LUC: 132<br>MICHAELSON FAMILY IRREVOCABLE<br>KUMMINS RANDY TRUSTEE<br>58 BOYLSTON ST<br>MALDEN, MA 02148   | 465 REVERE BEACH BLVD<br>11-192Q191-33<br>LUC: 111<br>465 REVERE BEACH BLVD RLTY TR<br>CRONIN MARLENE TRUSTEE<br>24 BELLINGHAM AVE<br>REVERE, MA 02151           | 474 REVERE BEACH BLVD 1006<br>11-192Q191-3<br>LUC: 102<br>CAGNO JOY C<br>CAGNO JOHN<br>474 REVERE BEACH BLVD<br>UNIT 1006<br>REVERE, MA 02151<br>474 REVERE BEACH BLVD 1007<br>11-192Q191-3<br>LUC: 102   |
| REVERE BEACH REA BLVD<br>11-192Q191-24<br>LUC: 132<br>MCCARRON CHRISTINE<br>450 REVERE BEACH BLVD<br>REVERE, MA 02151  | REVERE BEACH REA BLVD<br>11-192Q191-34<br>LUC: 132<br>465 REVERE BEACH BLVD RLTY TR<br>CRONIN MARLENE TRUSTEE<br>465 REVERE BEACH BLVD<br>REVERE, MA 02151       | 474 REVERE BEACH BLVD 1006<br>11-192Q191-3<br>LUC: 102<br>MOROCHNICK ALEXANDER<br>BOCKSER LILLIAN<br>474 REVERE BEACH BLVD<br>REVERE, MA 02151  |
| 454 REVERE BEACH BLVD<br>11-192Q191-25<br>LUC: 104<br>MICHAELSON FAMILY IRREVOCABLE<br>KUMMINS RANDY TRUSTEE<br>58 BOYLSTON ST<br>MALDEN, MA 02148   | 469 REVERE BEACH BLVD<br>11-192Q191-35A<br>LUC: 104<br>CARDONA EDISON<br>HIGUITA DORA<br>469 REVERE BEACH BLVD<br>REVERE, MA 02151                               | 474 REVERE BEACH BLVD 102<br>11-192Q191-3<br>LUC: 102<br>BROWN CHRISTINA M<br>350 REVERE BEACH BLVD<br>UNIT 3-3P<br>Revere, MA 02151  |
| REVERE BEACH REA BLVD<br>11-192Q191-26<br>LUC: 132<br>MCCARRON CHRISTINE<br>450 REVERE BEACH BLVD<br>REVERE, MA 02151  | 467 A REVERE BEACH REA BLVD<br>11-192Q191-36A<br>LUC: 104<br>CELAURO ALEJANDRO<br>467A REVERE BEACH BLVD<br>REVERE, MA 02151                                     | 474 REVERE BEACH BLVD 103<br>11-192Q191-3<br>LUC: 102<br>LUO SHAO QUAN<br>LUO MINCHEN<br>474 REVERE BEACH BLVD<br>UNIT 103<br>Revere, MA 02151<br>474 REVERE BEACH BLVD 1101<br>11-192Q191-3<br>LUC: 102  |
| 457 REVERE BEACH BLVD<br>11-192Q191-27<br>LUC: 104<br>FULGONI KEVIN M LIFE ESTATE KEVIN M LIFE ESTATE<br>SATERIALE MAUREEN A LIFE ESTAT MAUREEN A LIFE ESTATE<br>457 REVERE BEACH BLVD<br>REVERE, MA 02151 | 474 REVERE BEACH BLVD<br>11-192Q191-38-000<br>LUC: N/A<br>BREAKERS CONDO TRUST ASSOC<br>C/O CROWNINSHIELD MANAGEMENT<br>12 CROWNINSHIELD ST<br>PEABODY, MA 01960 | 474 REVERE BEACH BLVD 1101<br>11-192Q191-3<br>LUC: 102<br>MCCALL GERALD W II<br>474 REVERE BEACH BLVD<br>UNIT 1101<br>Revere, MA 02151  |

Attachment: PH.C-21-17.465RevereBeachBlvd. (21-402 : C-21-17 Special Permit, 465 Revere Beach Boulevard)



474 REVERE BEACH BLVD 1102 11-192Q191-38-110  
LUC: 102  
CURTIS ROBERTA  
474 REVERE BEACH BLVD  
REVERE, MA 02151

474 REVERE BEACH BLVD 1103 11-192Q191-38-110  
LUC: 102  
RABINOVICH BORIS  
474 REVERE BEACH BLVD  
UNIT 1103  
Revere, MA 02151

474 REVERE BEACH BLVD 1104 11-192Q191-38-110  
LUC: 102  
PENZA KATHLEEN R  
474 REVERE BEACH BLVD  
UNIT 1104  
REVERE, MA 02151

474 REVERE BEACH BLVD 1105 11-192Q191-38-110  
LUC: 102  
IMBIMBO JOSEPH  
KENNEY KATHLEEN P  
474 REVERE BEACH BLVD  
REVERE, MA 02151

474 REVERE BEACH BLVD 1106 11-192Q191-38-110  
LUC: 102  
SINGH SARABJIT  
PHRAEWPHANARI ANUPHAB  
474 REVERE BEACH BLVD  
UNIT 1106  
REVERE, MA 02151

474 REVERE BEACH BLVD 1107 11-192Q191-38-110  
LUC: 102  
MATTAGNO DAWNA  
86 THORNBERRY RD  
WINCHESTER, MA 01890

474 REVERE BEACH BLVD 201 11-192Q191-38-201  
LUC: 102  
COHANE FAMILY IRREVOCABLE REAL ESTATE TRUST  
JACKSON KIMBERLY B TRUSTEE  
474 REVERE BEACH BLVD  
UNIT 201  
Revere, MA 02151

474 REVERE BEACH BLVD 202 11-192Q191-38-202  
LUC: 102  
PACINI PAUL VINCENT  
11 AUBURN ST  
WOBURN, MA 01801

474 REVERE BEACH BLVD 203 11-192Q191-38-203  
LUC: 102  
BOARDMAN CHRISTOPHER S  
BOARDMAN DIANA A  
474 REVERE BEACH BLVD  
UNIT 203  
REVERE, MA 02151

474 REVERE BEACH BLVD 204 11-192Q191-38-204  
LUC: 102  
NEWBERRY TRUST  
DAVIS C/O TALAT  
37 SALISBURY RD  
NEWTON, MA 02458

474 REVERE BEACH BLVD 205 11-192Q191-38-205  
LUC: 102  
CUMMINGS JAQUELINE L  
474 REVERE BEACH BLVD  
UNIT 205  
REVERE, MA 02151

474 REVERE BEACH BLVD 206 11-192Q191-38-206  
LUC: 102  
PICANO LOUIS  
PICANO VERONICA  
474 REVERE BEACH BLVD  
UNIT 206  
REVERE, MA 02151

474 REVERE BEACH BLVD 207 11-192Q191-38-207  
LUC: 102  
ZIRPOLO JOHN  
12 NORMA WAY  
MIDDLETON, MA 01949

474 REVERE BEACH BLVD 301 11-192Q191-38-301  
LUC: 102  
TOURAYAN CHARLES G  
474 REVERE BEACH BLVD  
UNIT 301  
REVERE, MA 02151

474 REVERE BEACH BLVD 302 11-192Q191-38-302  
LUC: 102  
MALHOTRA SANANDAN  
DHAWAN DHRITI  
474 REVERE BEACH BLVD  
UNIT 302  
REVERE, MA 02151

474 REVERE BEACH BLVD 303 11-192Q191-38-303  
LUC: 102  
SINISCARCO KRISTA  
474 REVERE BEACH BLVD  
UNIT 303  
REVERE, MA 02151

474 REVERE BEACH BLVD 304 11-192Q191-38-304  
LUC: 102  
TOUROYAN CHARLES  
474 REVERE BEACH BLVD  
REVERE, MA 02151

474 REVERE BEACH BLVD 305 11-192Q191-38-305  
LUC: 102  
CONLON TINA  
CONLON DANIEL  
474 REVERE BEACH BLVD  
UNIT 305  
REVERE, MA 02151

474 REVERE BEACH BLVD 306 11-192Q191-38-306  
LUC: 102  
SAVAGE SEAN P  
474 REVERE BEACH BLVD  
UNIT 306  
REVERE, MA 02151

474 REVERE BEACH BLVD 307 11-192Q191-38-307  
LUC: 102  
MCHATTON LEO A JR  
MCHATTON PATRICIA L  
P O BOX 1378  
DENNISPORT, MA 02639-5378

474 REVERE BEACH BLVD 401 11-192Q191-38-401  
LUC: 102  
JOYCE M KELLY LIVING TRUST OF 2020  
KELLEY JOYCE M TRUSTEE  
474 REVERE BEACH BLVD  
UNIT 401  
REVERE, MA 02151

474 REVERE BEACH BLVD 402 11-192Q191-3  
LUC: 102  
JOSEPH A FERULLO 2005 TRUST  
FERULLO WILLIAM G TRUSTEE  
474 REVERE BEACH BLVD  
UNIT 402  
REVERE, MA 02151

474 REVERE BEACH BLVD 403 11-192Q191-3  
LUC: 102  
SAIA NICHOLAS J  
TAYLOR TIFFANY N  
474 REVERE BEACH BLVD  
UNIT 403  
Revere, MA 02151

474 REVERE BEACH BLVD 404 11-192Q191-3  
LUC: 102  
C & M REALTY TRUST  
MEOLA LOU-ANNE TRUSTEE  
474 REVERE BEACH BLVD  
UNIT 404  
REVERE, MA 02151

474 REVERE BEACH BLVD 405 11-192Q191-3  
LUC: 102  
BUONO ANTHONY T  
MCGINNIS MICHELE D  
40 HARRINGTON FARMS WAY  
UNIT 40  
SHREWSBURY, MA 01545

474 REVERE BEACH BLVD 406 11-192Q191-3  
LUC: 102  
MASTROCOLA RENATO  
474 REVERE BEACH BLVD  
REVERE, MA 02151

474 REVERE BEACH BLVD 407 11-192Q191-3  
LUC: 102  
FERNANDO MELISSA  
474 REVERE BEACH BLVD  
UNIT 407  
REVERE, MA 02151

474 REVERE BEACH BLVD 501 11-192Q191-3  
LUC: 102  
CIFUNI STEPHEN M  
474 REVERE BEACH BLVD  
UNIT 501  
REVERE, MA 02151

474 REVERE BEACH BLVD 502 11-192Q191-3  
LUC: 102  
THERESA C SULLIVAN IRREVOCABLE  
ANIELLO JR JOSEPH C TRUSTEE  
26 DEER LICK RD  
DANVILLE, NH 03819

474 REVERE BEACH BLVD 503 11-192Q191-3  
LUC: 102  
GIL MARIA CECILIA VIEIRA  
474 REVERE BEACH BLVD  
REVERE, MA 02151

|   |                   |   |                   |  |                   |
|---|-------------------|---|-------------------|--|-------------------|
| 474 REVERE BEACH BLVD 504<br>LUC: 102<br>PENTA JESSICA<br>PARENT MARISA<br>474 REVERE BEACH BLVD<br>UNIT 504<br>REVERE, MA 02151                                  | 11-192Q191-38-504 | 474 REVERE BEACH BLVD 607<br>LUC: 102<br>KATSER IRINA<br>474 REVERE BEACH BLVD<br>UNIT 607<br>REVERE, MA 02151  | 11-192Q191-38-607 | 474 REVERE BEACH BLVD 803<br>LUC: 102<br>FABRI DAVID<br>474 REVERE BEACH BLVD<br>REVERE, MA 02151  | 11-192Q191-38-803 |
| 474 REVERE BEACH BLVD 505<br>LUC: 102<br>DALSUKRAI VIPUL<br>PAREKH RIDHDHI BANKIMCHANDRA<br>474 REVERE BEACH BLVD<br>UNIT 505<br>Revere, MA 02151                 | 11-192Q191-38-505 | 474 REVERE BEACH BLVD 701<br>LUC: 102<br>GIUDICE ANGELA<br>MITCHUM NIA SUE<br>474 REVERE BEACH BLVD<br>UNIT 701<br>REVERE, MA 02151                                   | 11-192Q191-38-701 | 474 REVERE BEACH BLVD 804<br>LUC: 102<br>ZION ALANA<br>474 REVERE BEACH BLVD<br>UNIT 802<br>REVERE, MA 02151   | 11-192Q191-3      |
| 474 REVERE BEACH BLVD 506<br>LUC: 102<br>BOTTARI DEREK<br>2 IPSWICH RIVER RD<br>DANVERS, MA 01923   | 11-192Q191-38-506 | 474 REVERE BEACH BLVD 702<br>LUC: 102<br>PACINI MARIE F<br>11 AUBURN ST<br>WOBURN, MA 01801   | 11-192Q191-38-702 | 474 REVERE BEACH BLVD 805<br>LUC: 102<br>HUMPHREY JOHN P<br>HUMPHREY ALISON V<br>474 REVERE BEACH BLVD<br>UNIT 805<br>REVERE, MA 02151                         | 11-192Q191-3      |
| 474 REVERE BEACH BLVD 507<br>LUC: 102<br>SUTTIE FAMILY TRUST<br>SUTTIE JAMES R TRUSTEE<br>474 REVERE BEACH BLVD<br>UNIT 507<br>REVERE, MA 02151                   | 11-192Q191-38-507 | 474 REVERE BEACH BLVD 703<br>LUC: 102<br>DORIS V KAUFMAN FAMILY TRUST<br>KAUFMAN DORIS V TRUSTEE<br>474 REVERE BEACH BLVD<br>UNIT 703<br>REVERE, MA 02151             | 11-192Q191-38-703 | 474 REVERE BEACH BLVD 806<br>LUC: 102<br>SAWAN LOUIS J<br>SAWAN KELLY EAGLESON<br>474 REVERE BEACH BLVD<br>UNIT 806<br>REVERE, MA 02151                        | 11-192Q191-3      |
| 474 REVERE BEACH BLVD 601<br>LUC: 102<br>SQUADRITO JEROME<br>474 REVERE BEACH BLVD<br>REVERE, MA 02151  | 11-192Q191-38-601 | 474 REVERE BEACH BLVD 704<br>LUC: 102<br>PEARSON JOAN B<br>474 REVERE BEACH BLVD<br>UNIT 704<br>REVERE, MA 02151  | 11-192Q191-38-704 | 474 REVERE BEACH BLVD 807<br>LUC: 102<br>ROSATI RICHARD E<br>474 REVERE BEACH BLVD<br>UNIT 807<br>REVERE, MA 02151   | 11-192Q191-3      |
| 474 REVERE BEACH BLVD 602<br>LUC: 102<br>BONAH R BRENT<br>474 REVERE BEACH BLVD<br>REVERE, MA 02151   | 11-192Q191-38-602 | 474 REVERE BEACH BLVD 705<br>LUC: 102<br>WITKOWSKA TERESA<br>474 REVERE BEACH BLVD<br>UNIT 705<br>Revere, MA 02151  | 11-192Q191-38-705 | 474 REVERE BEACH BLVD 901<br>LUC: 102<br>BARON LISA J<br>474 REVERE BEACH BLVD<br>UNIT 901<br>REVERE, MA 02151   | 11-192Q191-3      |
| 474 REVERE BEACH BLVD 603<br>LUC: 102<br>DRISCOLL ROBERT H<br>7 COREY AVE<br>STONEHAM, MA 02180   | 11-192Q191-38-603 | 474 REVERE BEACH BLVD 706<br>LUC: 102<br>RAFFAELLA M CONTI IRREVOCABLE TRUST<br>DIPAOLO MICHAEL A JR TRUSTEE<br>474 REVERE BEACH BLVD<br>UNIT 706<br>REVERE, MA 02151 | 11-192Q191-38-706 | 474 REVERE BEACH BLVD 902<br>LUC: 102<br>NADINE DAVIS BOONE REVOCABLE T<br>DAVIS BOONE NADINE TRUSTEE<br>474 REVERE BEACH BLVD<br>UNIT 902<br>Revere, MA 02151 | 11-192Q191-3      |
| 474 REVERE BEACH BLVD 604<br>LUC: 102<br>LALAJI GUNJAN<br>GUPTA KANIKA<br>474 REVERE BEACH BLVD<br>UNIT 604<br>REVERE, MA 02151                                   | 11-192Q191-38-604 | 474 REVERE BEACH BLVD 707<br>LUC: 102<br>THE BREAKERS TRUST<br>ENGBER HAZEL TRUSTEE<br>474 REVERE BEACH BLVD<br>REVERE, MA 02151                                      | 11-192Q191-38-707 | 474 REVERE BEACH BLVD 903<br>LUC: 102<br>DILLON SHAWNTELLE<br>474 REVERE BEACH BLVD<br>#903<br>REVERE, MA 02151  | 11-192Q191-3      |
| 474 REVERE BEACH BLVD 605<br>LUC: 102<br>SHAH VISHAL<br>SHAH KINNARI<br>474 REVERE BEACH BLVD<br>UNIT 605<br>REVERE, MA 02151                                     | 11-192Q191-38-605 | 474 REVERE BEACH BLVD 801<br>LUC: 102<br>CHEN YELI<br>ZHANG YINGJUN<br>1 CALDWELL DR<br>WESTFORD, MA 01886  | 11-192Q191-38-801 | 474 REVERE BEACH BLVD 904<br>LUC: 102<br>NGUYEN MICHELLE VAN THI<br>474 REVERE BEACH BLVD<br>UNIT 904<br>REVERE, MA 02151                                      | 11-192Q191-3      |
| 474 REVERE BEACH BLVD 606<br>LUC: 102<br>LATPICK PROMOTIONS REALTY TRUS<br>CORCORAN JACQUELINE C TRUSTEE<br>474 REVERE BEACH BLVD<br>UNIT 606<br>REVERE, MA 02151 | 11-192Q191-38-606 | 474 REVERE BEACH BLVD 802<br>LUC: 102<br>ZION ALANA J<br>BUCHALLA FERNANDO ANDRADE<br>474 REVERE BEACH BLVD<br>UNIT 802<br>REVERE, MA 02151                           | 11-192Q191-38-802 | 474 REVERE BEACH BLVD 905<br>LUC: 102<br>SARIPOVA ALEKSANDRA<br>BURUKHIN GREGORY<br>474 REVERE BEACH BLVD<br>UNIT 905<br>REVERE, MA 02151                      | 11-192Q191-3      |

474 REVERE BEACH BLVD 906 11-192Q191-38-906

LUC: 102

SZLAG DAVID  
74 ELLERY ST  
CAMBRIDGE, MA 02138

474 REVERE BEACH BLVD 907 11-192Q191-38-907

LUC: 102

NYMAN ARLENE LIFE ESTATE  
DONOVAN ROBERT A REMAINDERMAN  
474 REVERE BEACH BLVD  
UNIT 907  
REVERE, MA 02151

480 REVERE BEACH BLVD 11-192Q191-46A

LUC: 104

CINTOLO WILLIAM J  
CINTOLO DONNA  
333 PROSPECT AVE  
Revere, MA 02151

482 REVERE BEACH REA BLVD 11-192Q191-49A

LUC: 101

TUCK STUART B  
TUCK BARBARA A  
482 REVERE BEACH RD REAR  
REVERE, MA 02151

POINT OF PINES B 9-157A-2

LUC: 132

MASSACHUSETTS ELECTRIC COMPANY  
C/O PROPERTIES DEPT.  
40 SYLVAN RD  
WALTHAM, MA 02451

REVERE BEACH BLVD 9-192R-1

LUC: 920

COMMONWEALTH OF MASSACHUSETTS  
20 SOMERSET ST  
BOSTON, MA 02108

THIS IS A TRUE & ATTESTED  
COPY OF THE RECORDS OF THE  
REGISTRAR'S OFFICE OF THE  
CITY OF REVERE

*[Signature]*  
DATE: 10/19/21

Attachment: PH.C-21-17.465RevereBeachBlvd. (21-402 : C-21-17 Special Permit, 465 Revere Beach Boulevard)

C-21-18

## PUBLIC HEARING

Notice is hereby given in accordance with the provisions of Chapter 40A of the Massachusetts General Laws and Sections 17.40.020A and 17.40.030B of the Revised Ordinances of the City of Revere that the Revere City Council will conduct a public hearing on Monday evening, November 22, 2021 at 6:00 P.M. in the City Councillor Joseph A. DelGrosso City Council Chamber, Revere City Hall, 281 Broadway, Revere, MA 02151 on the application of Marie Telfort, 23 Hyde Street, Revere, MA 02151 seeking permission from the Revere City Council to alter and extend a nonconforming use and structure to enable the appellant to reconstruct the existing nonconforming three-family structure which was destroyed by a fire in June 2021 on Lot 5B at 23 Hyde Street, Revere, MA 02151.

A copy of the aforementioned proposed plan and application (C-21-18) is on file and available for public inspection in the office of the City Clerk, Revere City Hall, Revere, Massachusetts, Monday through Thursday from 8:15 A.M. to 5:00 P.M. and Friday from 8:15 A.M. to 12:15 P.M.

Attest:

Ashley E. Melnik  
City Clerk

Revere Journal  
Check attached #3150  
11/03/2021  
11/10/2021

Attachment: PH.C-21-18.HydeStreet (21-403 : C-21-18 Special Permit, 23 Hyde Street)

FORM B

Application No. C-21-18  
Date: October 27, 2021

City of Revere, Massachusetts  
Revere City Council  
Application for Special Permit

All parts of this application and the attached documents shall be completed and submitted under the pains and penalties of perjury. Incomplete filings may be rejected.

The applicant must be prepared to present data that tends to indicate that the public convenience and welfare will be substantially served by granting the exception or permission requested. That the exception or permission requested will not tend to impair the status of the neighborhood; that the exception or permission requested will be in harmony with the general purposes and intent of the Revised Ordinances of the City of Revere.

I hereby request a hearing before the City Council for the following:

- A. Application for Planned Unit Development Title 17, Chapter 17.20, Section 17.20.010, 17.20.2000 (Revised Ordinances of the City of Revere)
- B. Application for Special Permit (Revised Ordinances of the City of Revere), Title 17, Chapter 17.16, Section 110.
- C. *Application for Special Permit for Alteration of Nonconforming Structures And Expansion of Nonconforming use (Revised Ordinances of the City of Revere), Title 17, Chapter 17.40, Section 17.40.030B and Section 17.40.020A.*

1. Applicant submitting this application is:

Name: Marie Telfort  
Address: 23 Hyde Street, Revere, Massachusetts  
Tel. #: \_\_\_\_\_

2. Applicant is Marie Telfort  
Licensee \_\_\_\_\_ Prospective Purchaser \_\_\_\_\_  
**Owner** X Other (Describe) \_\_\_\_\_

2021 OCT 27 PM 1:10  
OFFICE CITY CLERK  
REVERE, MASS  
FILED

Attachment: PH.C-21-18.HydeStreet (21-403 : C-21-18 Special Permit, 23 Hyde Street)

3. The following person is hereby designed to represent the applicant in matters arising hereunder.

Name: Lawrence A. Simeone, Jr., Esq.

Title: Attorney-At-Law

Address: 300 Broadway, P.O. Box 321, Revere, MA 02151

Tel: # 781-286-1560

4. The land for which this application is submitted is owned by:

Name: Marie Telfort

Address: 23 Hyde Street, Revere, Massachusetts

Tel. #: \_\_\_\_\_

5. The land described in this application is recorded in Suffolk County Registry of Deeds, Book 25472 Page 8,<sup>1</sup> Certificate # (if registered) \_\_\_\_\_

6. Plans describing and defining the Exception to Use Regulations in Certain Districts, the Special Permit or Special Permit for Alteration and Extension of Nonconforming Uses are included herewith and made a part hereof and are titled and dated:

**See attached site plan submitted with this application, entitled "PLAN OF LAND SHOWING IMPROVEMENTS 23 HYDE STREET REVERE MA prepared by Vineyard Engineering & Environmental Services Inc. ; attached and marked Exhibit A.**

**See attached building elevations and floor plans entitled "New Construction Three Family 23 Hyde Street, Revere, MA, MJ Tavares Architects attached and marked Exhibit B.**

**Lot 5B (Parcel ID 15-256-4),  
Sq. Ft. 3135**

<sup>1</sup> See attached marked deed Exhibit E.

- 7. A map describing the land uses of adjacent and nearby properties is included and made a part of this applications **Yes**  
*(See attached and marked Exhibit C).*
- 8. A locus map (8 1/2" x 11") copy of City of Revere of USGS topographic sheet with site marked for which permit is requested is included and made a part of this application. **Yes**  
*(See attached and marked Exhibit D).*

9a. Is the site of this application subject to the Wetland Protection Act. (M.G.L., Chapter 131, Sec. 40A or Chapter 130, Section 105)?

Yes No Do not know

9b. Is the location of the site of this application within 100 feet of:  
a coastal beach \_\_\_\_\_; salt marsh \_\_\_\_\_; land under the ocean \_\_\_\_\_;  
do not know \_\_\_\_\_? **No X**.

10. Describe the property for which this application is being submitted (including dimensions of land, existing buildings, if any, availability of utilities, sewer, water, etc.):

***The Property is located in the Residence B (RB) District in accordance with the Revere Zoning Map and the Revere Revised Ordinances. The Property identified as Lot 5B Hyde Street, has of twenty-five (25) feet of frontage on Hyde Street, a public way, and consists of three thousand one hundred and thirty five (3135) square feet of land with one (1) nonconforming structure<sup>2</sup> thereon<sup>3</sup>.***

***The existing use of the Property is identified by Revere Assessors records as a three (3) family building constructed in 1900<sup>4</sup>, and is a nonconforming use.<sup>5</sup>***

<sup>2</sup> The Property is not compliant with existing setback regulations in the RB district, in accordance with the Table of Dimensional Regulations R.R.O. 17.24.010 and is not compliant with Off Street Parking and Loading requirements R.R.O. 17.28.020 and is therefore classified as a nonconforming structure in accordance with M.G.L. c. 40A § 6 and in accordance with R.R.O. 17.08.530.

<sup>3</sup> R.R.O. 17.08.530 entitled "Nonconforming structure" states in pertinent part: "Nonconforming structure" means a structure, lawfully existing or lawfully begun at the date of the first publication of notice of the public hearing on the ordinance from which this title derives, which does not conform with the regulations of this title. (C.O.96-17 § 41: C.O. 83-3 § 17-2(B)(44))

<sup>4</sup> Assessors Card states in pertinent part : " This parcel contains .072 acres of land mainly classified as 3 family with a THREE FAMILY BUILDING built about 1900, having primarily ALUMINUM Exterior snf 2192 square feet, with 3 Units..." This property *See attached and marked Exhibit F.*



***The Property's address is 23 Hyde Street. The Property is presently serviced by municipal water and sewer; as well as electricity and gas.***

11. What is the nature of the exception or special permit requested in this application?

***At this time, the applicant seeks a special permit to modify a nonconforming use in accordance with R.R.O. 17.40.020A<sup>6</sup> in order substantially extend said use.***

***And to modify a nonconforming structure in accordance with R.R.O. 17.40.030(B)<sup>7</sup> in order to alter the existing nonconforming structure for the same purpose to a substantially greater extent.***

---

<sup>5</sup> R.R.O. 17.08.550 entitled "Nonconforming use" states in pertinent part : a nonconforming use" means a use of a building or of land, lawfully existing or lawfully begun at the date of the first publication of notice of the public hearing on the ordinance from which this title derives, that does not conform with the regulations of this title.  
(C.O.83-3 § 17-2(B)(46))

<sup>6</sup> R.R.O. 17.40.020 entitled "Modification of nonconforming uses" states in pertinent part :  
Upon the issuance of a special permit from the city council, nonconforming uses may be modified as follows:

***A. Change or substantial extension of the use;***

***B. Change from one nonconforming use to another, less detrimental, nonconforming use.***  
The city council may award a special permit only if it determines that such change or extension shall not be substantially more detrimental than the existing nonconforming use to the neighborhood.(C.O.96-17 § 39 (part))

<sup>7</sup> R.R.O. 17.40.030 entitled "Modification of nonconforming structures" states in pertinent part: "Upon the issuance of a special permit from the city council, nonconforming structures (excluding single- and two-family residential structures) may be modified as follows:

***A. constructed, extended or structurally changed;***

***B. Altered to provide for a substantially different purpose or for the same purpose in a substantially different manner or to a substantially greater extent.***

The city council may award a special permit only if it determines that such reconstruction, extension, alteration or change shall not be substantially more detrimental than the existing nonconforming structure to the neighborhood. The reconstruction, extension, alteration or change of a nonconforming structure, as set forth herein, shall include any increase of an existing nonconformity, or the creation of a new nonconformity and shall require only the award of a special permit as authorized under this section.  
(C.O.07-19 § 4; C.O. 96-17 § 39 (part))

*The applicant seeks to reconstruct the existing nonconforming structure which was destroyed by fire in June, 2021; in so doing the applicant seeks alterations to the structure and extension of said use. ("the Project").*

*The Project shall include alterations<sup>8</sup> to the nonconforming structure in concert with extension of the use as set forth in Exhibit B.<sup>9</sup> See attached SPRC letter.*

Date of Denial by Building Inspector and/or Planning Board

\_\_\_\_\_ not required \_\_\_\_\_

I hereby certify under the pains and penalties of perjury that the foregoing information contained in this application is true and complete.

\_\_\_\_\_  
Applicant

\_\_\_\_\_  
Date

\_\_\_\_\_  
Applicant's Representative

\_\_\_\_\_  
Date 10/27/21

Received from above applicant, the sum of \$400.00 to apply against administrative and mailing costs.

<sup>8</sup> R.R.O. 17.08.070 entitled "Alterations" which states in pertinent part: "'Alteration," as applied to a building or a structure, means a substantial change or rearrangement in its exterior structural parts or an enlargement, whether by extending on a side, increasing in height, or the moving of a particular part from one location or position to another. (C.O.83-3 § 17-2(B)(2))

<sup>9</sup> The Project consists of the following alteration and changes (a) additional second means of egress to be established by the construction of a rear set of stairs and deck and (b) construction of a flat roof (replacing the existing Gable roof) in concert with increase of the third floor living area.

## REQUEST FOR FINDING OF FACT - SPECIAL PERMIT

Now comes the applicant which has applied to this Honorable City Council for a special permit for property located at 23 Hyde Street and asks that said Council make the following findings of fact:

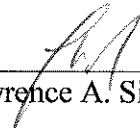
1. That the proposed alterations would be in harmony with the general purpose and intent of the Zoning Ordinance for the following reasons:
  - (a) The proposed facilities will not impede light, air, and space to adjoining properties;
  - (b) The facilities will not over crowd or have any effect on the density of the existing parcel and buildings thereon;
  - (c) said facilities shall remains within the existing buildings on the site;
  - (d) the approval of this exterior and interior alterations will enable the applicant to improve her building, and therefore benefit the public at large in the community.
  
2. That the specific site is an appropriate location for such alterations for the following reasons:
  - (a) The subject property is zoned, RB, which allows for the request of this special permit;
  - (b) The location of has a nonconforming structure; similar to the zoning district which has various residential nonconforming structures in the neighborhood;
  - (c) the proposed alterations can exist at this site, without impeding the normal use of the property or surrounding property.
  
3. That the specific site has adequate public sewerage and water facilities and water systems for the following reasons:
  - (a) The proposed facility exists a public ways which possess water and/or sewer services.
  
4. That the alterations proposed will not adversely affect the neighborhood, for the following reasons:

- (a) The proposed Property with alterations will not create adverse impact of noise, odor, smoke dust, etc. It will not substantially generate traffic or activity; and
  - (b) much of the adjacent property surrounding the Property are residential; the alterations will have no affect on these adjoining properties and their uses; and
  - (c) the proposed alterations do not deviate or substantially change the character of this already multifamily residential area of the city.
5. That there will not be a nuisance or serious hazard to vehicles or pedestrians using the proposed Property in that
- (a) the only traffic generated by the proposed Property will be minimum and shall not substantially effect on the present traffic patterns.
6. That adequate and appropriate facilities will be provided for the proposed alterations to the nonconforming structure, for the following reasons:

The location is in a the RB district, the proposed nonconforming multifamily residential structure is the subject of the alterations which shall be in harmony with the area, which include other multifamily dwellings in the surrounding area. The current infrastructure and roadways are sufficient to handle the proposed use in that they currently adequately handle the current needs of this business area.

Date: October 27, 2021\_

Respectfully submitted by:

  
Lawrence A. Simeone, Jr., Esq.

**CERTIFICATION**

Pursuant to Massachusetts General Laws, Chapter 40, Section 57 (a), and Title 3, Chapter 3.04, Section 3.04.020 of the Revised Ordinances of the City of Revere, Massachusetts, I hereby certify, under penalties of perjury, that the Authority has paid all City of Revere real estate taxes, water and sewer assessments and any other municipal charges required under law.

594506099  
Social Security Number or  
Federal Identification Number

MARIE M TELLOTT  
Signature of Individual or Corporate Name

By: \_\_\_\_\_  
Corporate Officer (if applicable)

Attachment: PH.C-21-18.HydeStreet (21-403 : C-21-18 Special Permit, 23 Hyde Street)

Pursuant to M.G.L. Ch. 62C, Sec. 49A, I certify under the penalties of perjury that, to my best knowledge and belief, have filed all state tax returns and paid all state taxes required under law.

594526099  
Social Security Number or  
Federal Identification Number

MARIEMTEL HOOT  
Signature of Individual or Corporate Name

By: \_\_\_\_\_  
Corporate Officer (if applicable)

Attachment: PH.C-21-18.HydeStreet (21-403 : C-21-18 Special Permit, 23 Hyde Street)

General Disclosure of Constituent Information Relative to Applications Submitted to The Revere City Council for Authorizations, Permits, Special Permits, Licenses, Variances, Orders of Conditions, Approvals, Modifications and Amendments Which are Subject of Proceedings Before the Revere City Council

1. (Name and residential address of party submitting application.)

Name: Marie Telfort
Address: 23 Hyde Street, Revere, MA

2. (Name and residential address of each landowner on whose property subject matter will be exercised.)

Name: See above
Address:

(Attach additional pages, if necessary)

3. (If the Party is a Partnership, state the name and residential address of all partners within sixty (60) days of this application.)

Partner's Name:
Address:

4. (Name and residential address of each party to whom subject authorization will be issued).

5. (If the Party is a Trust, provide the name and residential address of each trustee and beneficiary within sixty (60) days of this Application.)

6. (If the Party if a Joint Venture, state the name and residential address of each person, form of company that is party to the Joint Venture within sixty (60) days of the filing of this Application.)

7. (If the Party if a Corporation, provide the name and residential address of each officer, director and shareholder owning more than 50% of the interest in the Corporation within sixty (60) days of the date of this application.

8. (If the Party is a General Partnership, provide the name and residential address of each partner in the partnership within sixty (60) days from the date of this Application.)

Attachment: PH.C-21-18.HydeStreet (21-403 : C-21-18 Special Permit, 23 Hyde Street)



9. (If the Party is a Limited Partnership, provide the name and residential address of each General Partner of the Limited Partnership within sixty (60) days from the date of this Application).
10. (If the business is conducted under any title other than the real name of the owner, state the time when, and place where, the Certificate required by Mass. General Law, Chapter 110, Section 5, is on file.)

TO:

FROM:

SUBJECT:

DATE:

REQUESTED  
RETURN DATE:

HEARING DATE:

In accordance with the provisions of Section 57 (a), of Chapter 40 of the Massachusetts General Laws, the Title 3, Chapter 3.04, Section 3.04.020 of the Revised Ordinances of the City of Revere, I herewith request information relative to the payment of the City of Revere real estate taxes, assessments, betterments and other municipal charges concerning the following persons, corporations or business enterprises who have made application for a City of Revere license or permit or renewal thereof;

Name of Applicant: Marie Telfort  
(Person, corporation or business enterprise applying for license of permit)

Address of Applicant: 23 Hyde Street, Revere, MA  
(Business address of above person, corporation or business enterprise)

Location Address: 23 Hyde Street, Revere, MA 02151  
(Location of property for which license or permit is required.)

# EXHIBIT A

| ZONING TABLE          |               |               |                |
|-----------------------|---------------|---------------|----------------|
| RB                    | REQUIRED      | EXISTING      | PROPOSED       |
| LOT SIZE              | 8,000 SQ. FT. | 3,134 SQ. FT. | 3,134 SQ. FT.  |
| FRONTAGE              | 80.0'         | 25.0'         | 25.0'          |
| MINIMUM FRONT SETBACK | 20.0'         | 16.0'         | 16.0'          |
| MINIMUM SIDE SETBACK  | 20.0'         | 0.4'          | 0.3'           |
| MINIMUM REAR SETBACK  | 30.0'         | 56.1'         | 56.2'          |
| BUILDING COVERAGE     | 30%           | 34.3%         | 37.4%          |
| USABLE OPEN SPACE     | 30%           | 65.7%         | 62.6%          |
| HEIGHT                | 35'           | LESS THAN 30' | SEE ARCH PLANS |

**OWNER OF RECORD**  
 MARIE & MARKENSON TELFORT  
 DEED BOOK 25472 PAGE 8 S.R.D.

**ZONING DISTRICT**  
 TAX MAP 54 PARCEL 256-4  
 RB DISTRICT

**PLAN REFERENCES**  
 BOOK 1806 PAGE 295

I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY.



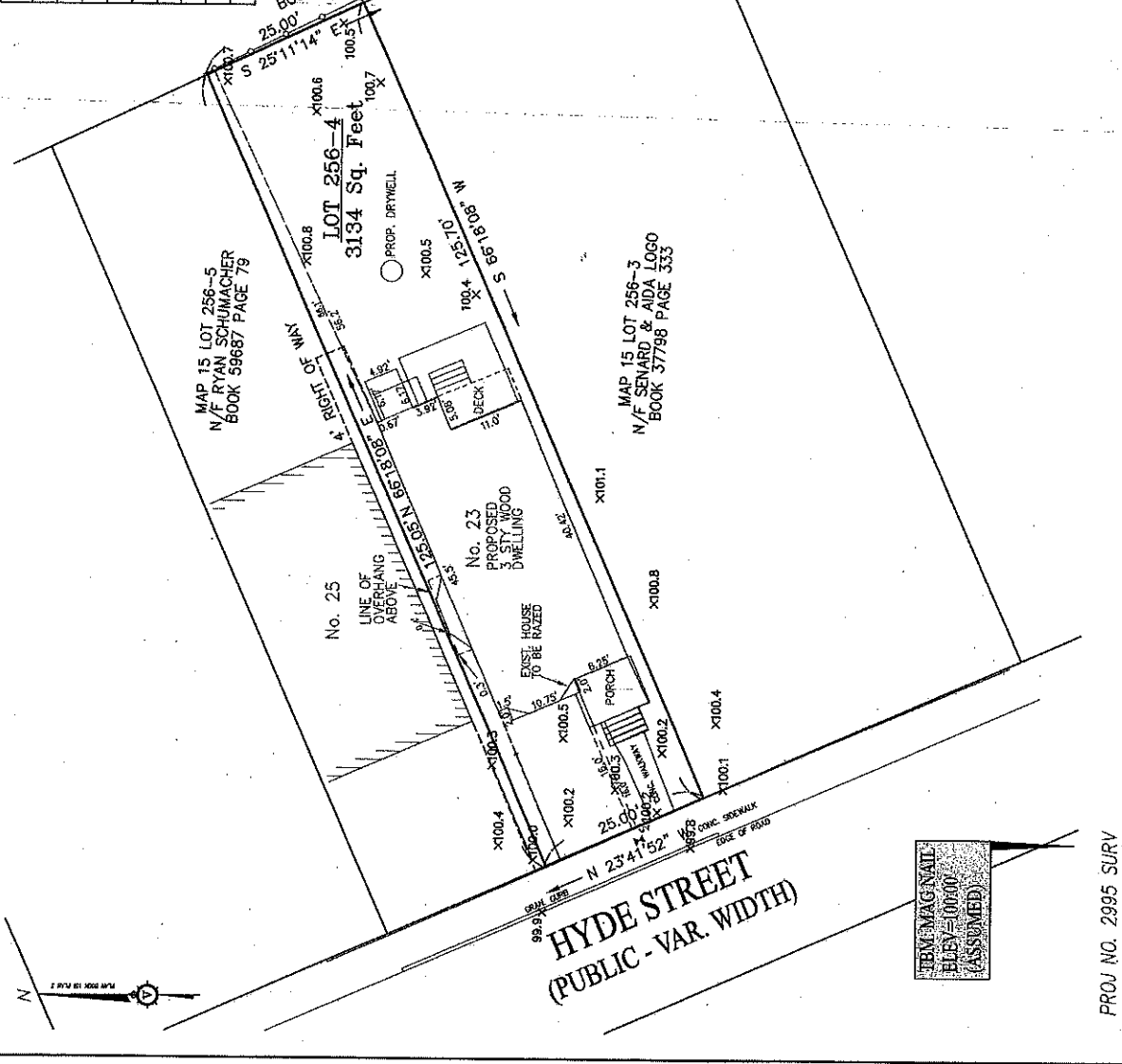
JAMES J. ABELY  
 LICENSED PROFESSIONAL ENGINEER  
 STATE OF MASSACHUSETTS

**PLAN OF LAND**  
**SHOWING PROPOSED IMPROVEMENTS**  
**23 HYDE STREET**  
 REVERE, MA

SCALE 1" = 10'    OCTOBER 8, 2021  
 PREPARED BY:

VINEYARD ENGINEERING  
 & ENVIRONMENTAL SERVICES INC.  
 LAND SURVEY, CIVIL ENGINEERING  
 & ENVIRONMENTAL SERVICES  
 17 SALEM STREET  
 MEDFORD MA 02155

TEL: 781-933-3330 FAX: 781-933-3334  
 Vineyardeng.com



TECH. MAGNAIL  
 FILED 10/07  
 (ASSUMED)

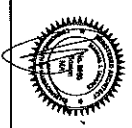
Attachment: PH.C-21-18.HydeStreet (21-403 : C-21-18 Special Permit, 23 Hyde Street)

# EXHIBIT B

# NEW CONSTRUCTION THREE FAMILY 23 HYDE STREET REVERE, MA

| INDEX OF DRAWINGS  | ABBREVIATIONS   |  |
|--|---|--|
| <p>1-1 TITLE SHEET/ ARCHITECTURAL DATA</p> <p>2-1 CENTERED PROPOSED FLOOR PLAN</p> <p>3-1 BASEMENT FLOOR PLAN/FIRST FLOOR PLAN NOTES</p> <p>4-1 SECOND FLOOR PLAN/THIRD FLOOR PLAN NOTES</p> <p>4-2 LOBBY AND HALLWAY ROOF PLANS</p> <p>4-3 FRONT AND RIGHT SIDE EXTERIOR ELEVATIONS</p> <p>4-3-1 REAR AND LEFT SIDE EXTERIOR ELEVATIONS</p> <p>4-3 BUILDING SECTION DETAILS</p> <p>6-1 FOUNDATION PLAN/ DETAIL NOTES</p> <p>6-2 FIRST FLOOR FRAMING PLAN/ SECOND FLOOR FRAMING PLAN/ THIRD FLOOR FRAMING PLAN NOTES</p> <p>6-2-1 LOWER ROOF FRAMING PLAN/ HALLWAY ROOF FRAMING PLAN NOTES</p> | <p>AD ADJUSTED GRADE</p> <p>AG AGGRAVATED</p> <p>AL ALUMINUM</p> <p>AN ANCHOR</p> <p>AP APPROVED</p> <p>AS ASBESTOS</p> <p>AW AIRWAY</p> <p>BA BASE</p> <p>BB BRICK</p> <p>BC BRICK</p> <p>BD BRICK</p> <p>BE BRICK</p> <p>BF BRICK</p> <p>BG BRICK</p> <p>BH BRICK</p> <p>BI BRICK</p> <p>BJ BRICK</p> <p>BK BRICK</p> <p>BL BRICK</p> <p>BM BRICK</p> <p>BN BRICK</p> <p>BO BRICK</p> <p>BP BRICK</p> <p>BQ BRICK</p> <p>BR BRICK</p> <p>BS BRICK</p> <p>BT BRICK</p> <p>BV BRICK</p> <p>BW BRICK</p> <p>BX BRICK</p> <p>BY BRICK</p> <p>BZ BRICK</p> <p>CA CEMENT</p> <p>CB CEMENT</p> <p>CC CEMENT</p> <p>CD CEMENT</p> <p>CE CEMENT</p> <p>CF CEMENT</p> <p>CG CEMENT</p> <p>CH CEMENT</p> <p>CI CEMENT</p> <p>CJ CEMENT</p> <p>CK CEMENT</p> <p>CL CEMENT</p> <p>CM CEMENT</p> <p>CN CEMENT</p> <p>CO CEMENT</p> <p>CP CEMENT</p> <p>CQ CEMENT</p> <p>CR CEMENT</p> <p>CS CEMENT</p> <p>CT CEMENT</p> <p>CU CEMENT</p> <p>CV CEMENT</p> <p>CW CEMENT</p> <p>CX CEMENT</p> <p>CY CEMENT</p> <p>CZ CEMENT</p> <p>DA DAM</p> <p>DB DAM</p> <p>DC DAM</p> <p>DD DAM</p> <p>DE DAM</p> <p>DF DAM</p> <p>DG DAM</p> <p>DH DAM</p> <p>DI DAM</p> <p>DJ DAM</p> <p>DK DAM</p> <p>DL DAM</p> <p>DM DAM</p> <p>DN DAM</p> <p>DO DAM</p> <p>DP DAM</p> <p>DQ DAM</p> <p>DR DAM</p> <p>DS DAM</p> <p>DT DAM</p> <p>DV DAM</p> <p>DW DAM</p> <p>DX DAM</p> <p>DY DAM</p> <p>DZ DAM</p> <p>EA EARTH</p> <p>EB EARTH</p> <p>EC EARTH</p> <p>ED EARTH</p> <p>EE EARTH</p> <p>EF EARTH</p> <p>EG EARTH</p> <p>EH EARTH</p> <p>EI EARTH</p> <p>EJ EARTH</p> <p>EK EARTH</p> <p>EL EARTH</p> <p>EM EARTH</p> <p>EN EARTH</p> <p>EO EARTH</p> <p>EP EARTH</p> <p>EQ EARTH</p> <p>ER EARTH</p> <p>ES EARTH</p> <p>ET EARTH</p> <p>EU EARTH</p> <p>EV EARTH</p> <p>EW EARTH</p> <p>EX EARTH</p> <p>EY EARTH</p> <p>EZ EARTH</p> <p>FA FLOOR</p> <p>FB FLOOR</p> <p>FC FLOOR</p> <p>FD FLOOR</p> <p>FE FLOOR</p> <p>FF FLOOR</p> <p>FG FLOOR</p> <p>FH FLOOR</p> <p>FI FLOOR</p> <p>FJ FLOOR</p> <p>FK FLOOR</p> <p>FL FLOOR</p> <p>FM FLOOR</p> <p>FN FLOOR</p> <p>FO FLOOR</p> <p>FP FLOOR</p> <p>FQ FLOOR</p> <p>FR FLOOR</p> <p>FS FLOOR</p> <p>FT FLOOR</p> <p>FV FLOOR</p> <p>FW FLOOR</p> <p>FX FLOOR</p> <p>FY FLOOR</p> <p>FZ FLOOR</p> <p>GA GROUND</p> <p>GB GROUND</p> <p>GC GROUND</p> <p>GD GROUND</p> <p>GE GROUND</p> <p>GF GROUND</p> <p>GG GROUND</p> <p>GH GROUND</p> <p>GI GROUND</p> <p>GJ GROUND</p> <p>GK GROUND</p> <p>GL GROUND</p> <p>GM GROUND</p> <p>GN GROUND</p> <p>GO GROUND</p> <p>GP GROUND</p> <p>GQ GROUND</p> <p>GR GROUND</p> <p>GS GROUND</p> <p>GT GROUND</p> <p>GU GROUND</p> <p>GV GROUND</p> <p>GW GROUND</p> <p>GX GROUND</p> <p>GY GROUND</p> <p>GZ GROUND</p> <p>HA HALLWAY</p> <p>HB HALLWAY</p> <p>HC HALLWAY</p> <p>HD HALLWAY</p> <p>HE HALLWAY</p> <p>HF HALLWAY</p> <p>HG HALLWAY</p> <p>HH HALLWAY</p> <p>HI HALLWAY</p> <p>HJ HALLWAY</p> <p>HK HALLWAY</p> <p>HL HALLWAY</p> <p>HM HALLWAY</p> <p>HN HALLWAY</p> <p>HO HALLWAY</p> <p>HP HALLWAY</p> <p>HQ HALLWAY</p> <p>HR HALLWAY</p> <p>HS HALLWAY</p> <p>HT HALLWAY</p> <p>HV HALLWAY</p> <p>HW HALLWAY</p> <p>HX HALLWAY</p> <p>HY HALLWAY</p> <p>HZ HALLWAY</p> <p>IA INSULATION</p> <p>IB INSULATION</p> <p>IC INSULATION</p> <p>ID INSULATION</p> <p>IE INSULATION</p> <p>IF INSULATION</p> <p>IG INSULATION</p> <p>IH INSULATION</p> <p>II INSULATION</p> <p>IJ INSULATION</p> <p>IK INSULATION</p> <p>IL INSULATION</p> <p>IM INSULATION</p> <p>IN INSULATION</p> <p>IO INSULATION</p> <p>IP INSULATION</p> <p>IQ INSULATION</p> <p>IR 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<p>KY KITCHEN</p> <p>KZ KITCHEN</p> <p>LA LAMP</p> <p>LB LAMP</p> <p>LC LAMP</p> <p>LD LAMP</p> <p>LE LAMP</p> <p>LF LAMP</p> <p>LG LAMP</p> <p>LH LAMP</p> <p>LI LAMP</p> <p>LJ LAMP</p> <p>LK LAMP</p> <p>LL LAMP</p> <p>LM LAMP</p> <p>LN LAMP</p> <p>LO LAMP</p> <p>LP LAMP</p> <p>LQ LAMP</p> <p>LR LAMP</p> <p>LS LAMP</p> <p>LT LAMP</p> <p>LV LAMP</p> <p>LW LAMP</p> <p>LX LAMP</p> <p>LY LAMP</p> <p>LZ LAMP</p> <p>MA MASONRY</p> <p>MB MASONRY</p> <p>MC MASONRY</p> <p>MD MASONRY</p> <p>ME MASONRY</p> <p>MF MASONRY</p> <p>MG MASONRY</p> <p>MH MASONRY</p> <p>MI MASONRY</p> <p>MJ MASONRY</p> <p>MK MASONRY</p> <p>ML MASONRY</p> <p>MM MASONRY</p> <p>MN MASONRY</p> <p>MO MASONRY</p> <p>MP MASONRY</p> <p>MQ MASONRY</p> <p>MR MASONRY</p> <p>MS MASONRY</p> <p>MT MASONRY</p> <p>MV MASONRY</p> <p>MW MASONRY</p> <p>MX MASONRY</p> <p>MY MASONRY</p> <p>MZ MASONRY</p> <p>NA NAIL</p> <p>NB NAIL</p> <p>NC NAIL</p> <p>ND NAIL</p> <p>NE NAIL</p> <p>NF NAIL</p> <p>NG NAIL</p> <p>NH NAIL</p> <p>NI NAIL</p> <p>NJ NAIL</p> <p>NK NAIL</p> <p>NL NAIL</p> <p>NM NAIL</p> <p>NO NAIL</p> <p>NP NAIL</p> <p>NQ NAIL</p> <p>NR NAIL</p> <p>NS NAIL</p> <p>NT NAIL</p> <p>NV NAIL</p> <p>NW NAIL</p> <p>NX NAIL</p> <p>NY NAIL</p> <p>NZ NAIL</p> <p>OA OAK</p> <p>OB OAK</p> <p>OC OAK</p> <p>OD OAK</p> <p>OE OAK</p> <p>OF OAK</p> <p>OG OAK</p> <p>OH OAK</p> <p>OI OAK</p> <p>OJ OAK</p> <p>OK OAK</p> <p>OL OAK</p> <p>OM OAK</p> <p>ON OAK</p> <p>OO OAK</p> <p>OP OAK</p> <p>OQ OAK</p> <p>OR OAK</p> <p>OS OAK</p> <p>OT OAK</p> <p>OV OAK</p> <p>OW OAK</p> <p>OX OAK</p> <p>OY OAK</p> <p>OZ OAK</p> <p>PA PAPER</p> <p>PB PAPER</p> <p>PC PAPER</p> <p>PD PAPER</p> <p>PE PAPER</p> <p>PF PAPER</p> <p>PG PAPER</p> <p>PH PAPER</p> <p>PI PAPER</p> <p>PJ PAPER</p> <p>PK PAPER</p> <p>PL PAPER</p> <p>PM PAPER</p> <p>PN PAPER</p> <p>PO PAPER</p> <p>PP PAPER</p> <p>PQ PAPER</p> <p>PR PAPER</p> <p>PS PAPER</p> <p>PT PAPER</p> <p>PV PAPER</p> <p>PW PAPER</p> <p>PX PAPER</p> <p>PY PAPER</p> <p>PZ PAPER</p> <p>QA QUARTZ</p> <p>QB QUARTZ</p> <p>QC QUARTZ</p> <p>QD QUARTZ</p> <p>QE QUARTZ</p> <p>QF QUARTZ</p> <p>QG QUARTZ</p> <p>QH QUARTZ</p> <p>QI QUARTZ</p> <p>QJ QUARTZ</p> <p>QK QUARTZ</p> <p>QL QUARTZ</p> <p>QM QUARTZ</p> <p>QN QUARTZ</p> <p>QO QUARTZ</p> <p>QP QUARTZ</p> <p>QQ QUARTZ</p> <p>QR QUARTZ</p> <p>QS QUARTZ</p> <p>QT QUARTZ</p> <p>QV QUARTZ</p> <p>QW QUARTZ</p> <p>QX QUARTZ</p> <p>QY QUARTZ</p> <p>QZ QUARTZ</p> <p>RA RAMP</p> <p>RB RAMP</p> <p>RC RAMP</p> <p>RD RAMP</p> <p>RE RAMP</p> <p>RF RAMP</p> <p>RG RAMP</p> <p>RH RAMP</p> <p>RI RAMP</p> <p>RJ RAMP</p> <p>RK RAMP</p> <p>RL RAMP</p> <p>RM RAMP</p> <p>RO RAMP</p> <p>RP RAMP</p> <p>RQ RAMP</p> <p>RR RAMP</p> <p>RS RAMP</p> <p>RT RAMP</p> <p>RV RAMP</p> <p>RW RAMP</p> <p>RX RAMP</p> <p>RY RAMP</p> <p>RZ RAMP</p> <p>SA SILL</p> <p>SB SILL</p> <p>SC SILL</p> <p>SD SILL</p> <p>SE SILL</p> <p>SF SILL</p> <p>SG SILL</p> <p>SH SILL</p> <p>SI SILL</p> <p>SJ SILL</p> <p>SK SILL</p> <p>SL SILL</p> <p>SM SILL</p> <p>SN SILL</p> <p>SO SILL</p> <p>SP SILL</p> <p>SQ SILL</p> <p>SR SILL</p> <p>SS SILL</p> <p>ST SILL</p> <p>SV SILL</p> <p>SW SILL</p> <p>SX SILL</p> <p>SY SILL</p> <p>SZ SILL</p> <p>TA TILE</p> <p>TB TILE</p> <p>TC TILE</p> <p>TD TILE</p> <p>TE TILE</p> <p>TF TILE</p> <p>TG TILE</p> <p>TH TILE</p> <p>TI TILE</p> <p>TJ TILE</p> <p>TK TILE</p> <p>TL TILE</p> <p>TM TILE</p> <p>TO TILE</p> <p>TP TILE</p> <p>TQ TILE</p> <p>TR TILE</p> <p>TS TILE</p> <p>TV TILE</p> <p>TW TILE</p> <p>TX TILE</p> <p>TY TILE</p> <p>TZ TILE</p> <p>UA UNFINISHED</p> <p>UB UNFINISHED</p> <p>UC UNFINISHED</p> <p>UD UNFINISHED</p> <p>UE UNFINISHED</p> <p>UF UNFINISHED</p> <p>UG UNFINISHED</p> <p>UH UNFINISHED</p> <p>UI UNFINISHED</p> <p>UJ UNFINISHED</p> <p>UK UNFINISHED</p> <p>UL UNFINISHED</p> <p>UM UNFINISHED</p> <p>UN UNFINISHED</p> <p>UO UNFINISHED</p> <p>UP UNFINISHED</p> <p>UQ UNFINISHED</p> <p>UR UNFINISHED</p> <p>US UNFINISHED</p> <p>UT UNFINISHED</p> <p>UV UNFINISHED</p> <p>UW UNFINISHED</p> <p>UX UNFINISHED</p> <p>UY UNFINISHED</p> <p>UZ 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<p>XO X-RAY</p> <p>XP X-RAY</p> <p>XQ X-RAY</p> <p>XR X-RAY</p> <p>XS X-RAY</p> <p>XT X-RAY</p> <p>XV X-RAY</p> <p>XW X-RAY</p> <p>XX X-RAY</p> <p>XY X-RAY</p> <p>XZ X-RAY</p> <p>YA YARD</p> <p>YB YARD</p> <p>YC YARD</p> <p>YD YARD</p> <p>YE YARD</p> <p>YF YARD</p> <p>YG YARD</p> <p>YH YARD</p> <p>YI YARD</p> <p>YJ YARD</p> <p>YK YARD</p> <p>YL YARD</p> <p>YM YARD</p> <p>YN YARD</p> <p>YO YARD</p> <p>YP YARD</p> <p>YQ YARD</p> <p>YR YARD</p> <p>YS YARD</p> <p>YT YARD</p> <p>YV YARD</p> <p>YW YARD</p> <p>YX YARD</p> <p>YY YARD</p> <p>YZ YARD</p> <p>ZA ZONE</p> <p>ZB ZONE</p> <p>ZC ZONE</p> <p>ZD ZONE</p> <p>ZE ZONE</p> <p>ZF ZONE</p> <p>ZG ZONE</p> <p>ZH ZONE</p> <p>ZI ZONE</p> <p>ZJ ZONE</p> <p>ZK ZONE</p> <p>ZL ZONE</p> <p>ZM ZONE</p> <p>ZN ZONE</p> <p>ZO ZONE</p> <p>ZP ZONE</p> <p>ZQ ZONE</p> <p>ZR ZONE</p> <p>ZS ZONE</p> <p>ZT ZONE</p> <p>ZV ZONE</p> <p>ZW ZONE</p> <p>ZX ZONE</p> <p>ZY ZONE</p> <p>ZZ ZONE</p> |  |

**MITTAVARES ARCHITECTS**  
233 Broadway Suite 201  
Boston, MA 02109  
Tel: 617.552.3900  
www.mittavares.com



**HR PARKERSON**  
TELFORT

**23 HYDE STREET**  
REVERE, MA

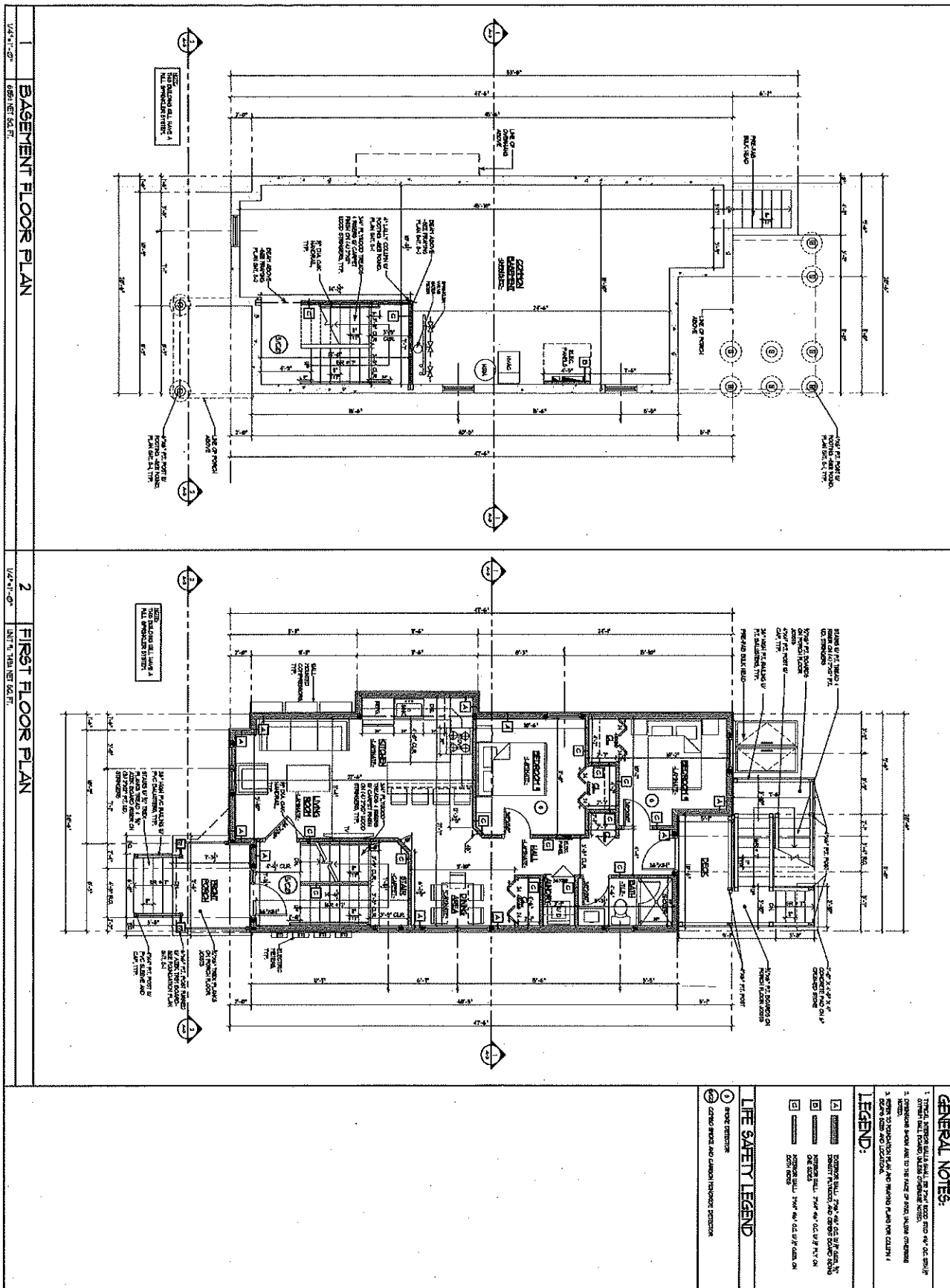
**ARCHITECTURAL DATA SHEET**

DATE: 08/21/2018  
DRAWN: M. MITTAVARES  
CHECKED: M. MITTAVARES  
PROJECT: 23-21

T-1

**CONTRACTOR'S NOTES:**

1. See all notes on this sheet.
2. All work shall be in accordance with the approved plans and specifications.
3. All materials shall be of the highest quality and shall be approved by the architect.
4. All work shall be completed within the specified time frame.
5. All work shall be completed in accordance with the approved plans and specifications.
6. All work shall be completed in accordance with the approved plans and specifications.



**GENERAL NOTES:**

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL EXISTING UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE NOTED.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE MASSACHUSETTS STATE BOARD OF BUILDING REGULATIONS (SBR).
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS STATE BOARD OF BUILDING REGULATIONS (SBR).
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS STATE BOARD OF BUILDING REGULATIONS (SBR).

**LEGEND:**

- [A] EXISTING WALL, 7" MIN. THICK, CONCRETE OR CMU.
- [B] EXISTING WALL, 7" MIN. THICK, BRICK OR BLOCK.
- [C] EXISTING WALL, 7" MIN. THICK, CMU OR CONCRETE.
- [D] EXISTING WALL, 7" MIN. THICK, CMU OR CONCRETE.
- [E] EXISTING WALL, 7" MIN. THICK, CMU OR CONCRETE.
- [F] EXISTING WALL, 7" MIN. THICK, CMU OR CONCRETE.
- [G] EXISTING WALL, 7" MIN. THICK, CMU OR CONCRETE.
- [H] EXISTING WALL, 7" MIN. THICK, CMU OR CONCRETE.
- [I] EXISTING WALL, 7" MIN. THICK, CMU OR CONCRETE.
- [J] EXISTING WALL, 7" MIN. THICK, CMU OR CONCRETE.
- [K] EXISTING WALL, 7" MIN. THICK, CMU OR CONCRETE.
- [L] EXISTING WALL, 7" MIN. THICK, CMU OR CONCRETE.
- [M] EXISTING WALL, 7" MIN. THICK, CMU OR CONCRETE.
- [N] EXISTING WALL, 7" MIN. THICK, CMU OR CONCRETE.
- [O] EXISTING WALL, 7" MIN. THICK, CMU OR CONCRETE.
- [P] EXISTING WALL, 7" MIN. THICK, CMU OR CONCRETE.
- [Q] EXISTING WALL, 7" MIN. THICK, CMU OR CONCRETE.
- [R] EXISTING WALL, 7" MIN. THICK, CMU OR CONCRETE.
- [S] EXISTING WALL, 7" MIN. THICK, CMU OR CONCRETE.
- [T] EXISTING WALL, 7" MIN. THICK, CMU OR CONCRETE.
- [U] EXISTING WALL, 7" MIN. THICK, CMU OR CONCRETE.
- [V] EXISTING WALL, 7" MIN. THICK, CMU OR CONCRETE.
- [W] EXISTING WALL, 7" MIN. THICK, CMU OR CONCRETE.
- [X] EXISTING WALL, 7" MIN. THICK, CMU OR CONCRETE.
- [Y] EXISTING WALL, 7" MIN. THICK, CMU OR CONCRETE.
- [Z] EXISTING WALL, 7" MIN. THICK, CMU OR CONCRETE.

**LIFE SAFETY LEGEND**

- [1] ESCAPE ROUTE
- [2] ESCAPE ROUTE AND COMMON FIREFIGHTER ENTRANCE

**CONTRACTOR'S NOTES:**

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL EXISTING UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE NOTED.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE MASSACHUSETTS STATE BOARD OF BUILDING REGULATIONS (SBR).
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS STATE BOARD OF BUILDING REGULATIONS (SBR).
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS STATE BOARD OF BUILDING REGULATIONS (SBR).

| NO. | REVISIONS | DATE     |
|-----|-----------|----------|
| 1   | ISSUED    | 08/22/22 |

**MITAVARIS ARCHITECTS**  
 22 BENTLEY STREET  
 LYNNFIELD, MA 01903  
 PHONE: 781-335-8888  
 FAX: 781-335-8889  
 WWW.MITAVARISARCHITECTS.COM

**MR. PARKINSON**  
 TELFORD

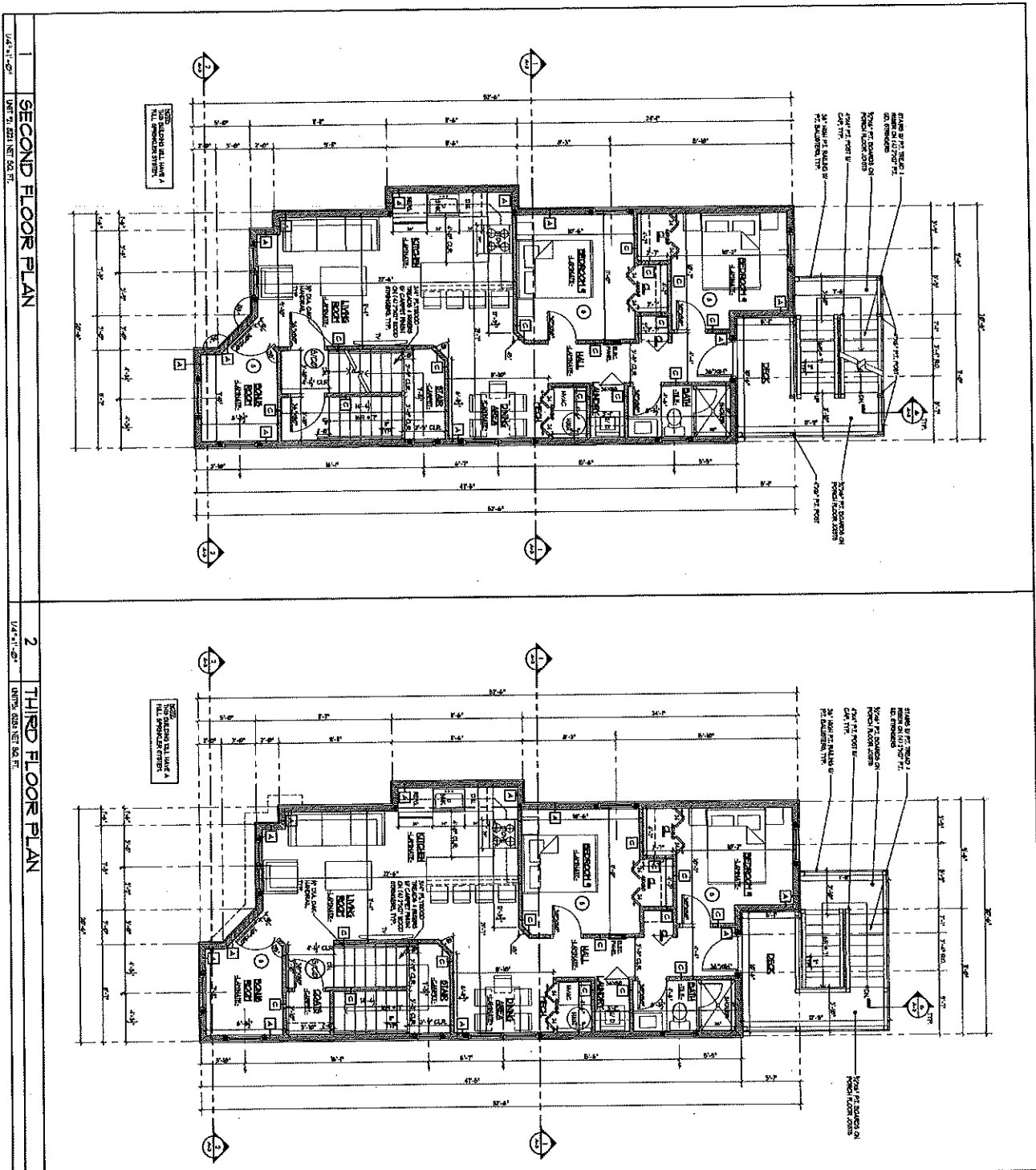
23 HYDE STREET  
 REVERSE, MA

**BASEMENT AND FIRST FLOOR PLANS AND NOTES**

DATE: 08/22/22  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 PROJECT NO.: 22-22

**A-1**





**GENERAL NOTES:**

1. TYPICAL INTERIOR WALL SHALL BE 1/2" CONCRETE AND 1/2" GYPSUM BOARD.
2. INTERIOR WALLS SHALL BE 1/2" CONCRETE AND 1/2" GYPSUM BOARD.
3. INTERIOR WALLS SHALL BE 1/2" CONCRETE AND 1/2" GYPSUM BOARD.
4. INTERIOR WALLS SHALL BE 1/2" CONCRETE AND 1/2" GYPSUM BOARD.
5. INTERIOR WALLS SHALL BE 1/2" CONCRETE AND 1/2" GYPSUM BOARD.

**LEGEND:**

- 1. INTERIOR WALL
- 2. INTERIOR WALL
- 3. INTERIOR WALL
- 4. INTERIOR WALL
- 5. INTERIOR WALL

**LIFE SAFETY LEGEND**

- 1. STAIR ELEVATOR
- 2. CORRIDOR
- 3. CORRIDOR
- 4. CORRIDOR
- 5. CORRIDOR

**CONTRACTOR'S NOTES:**

1. SEE SHEET A-11 FOR DIMENSIONS TO THE FACE OF THE WALL.
2. SEE SHEET A-11 FOR DIMENSIONS TO THE FACE OF THE WALL.
3. SEE SHEET A-11 FOR DIMENSIONS TO THE FACE OF THE WALL.
4. SEE SHEET A-11 FOR DIMENSIONS TO THE FACE OF THE WALL.
5. SEE SHEET A-11 FOR DIMENSIONS TO THE FACE OF THE WALL.

**REVISIONS**

| # | REVISIONS | DATE |
|---|-----------|------|
|   |           |      |

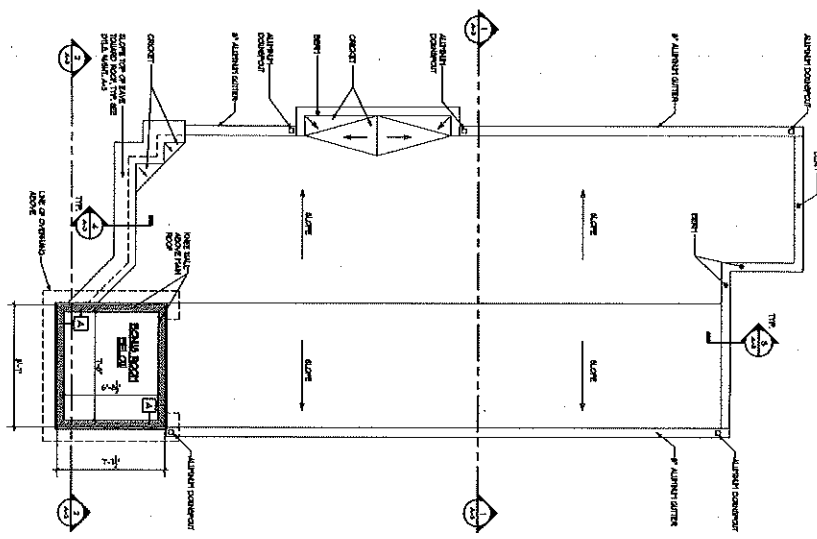
**MTVARTS ARCHITECTS**  
 23 HYDE STREET  
 REVERE, MA  
 TEL: 781-271-1111

**MR. MARKENSON**  
 TEL: 781-271-1111

**SECOND AND THIRD FLOOR PLANS AND NOTES**

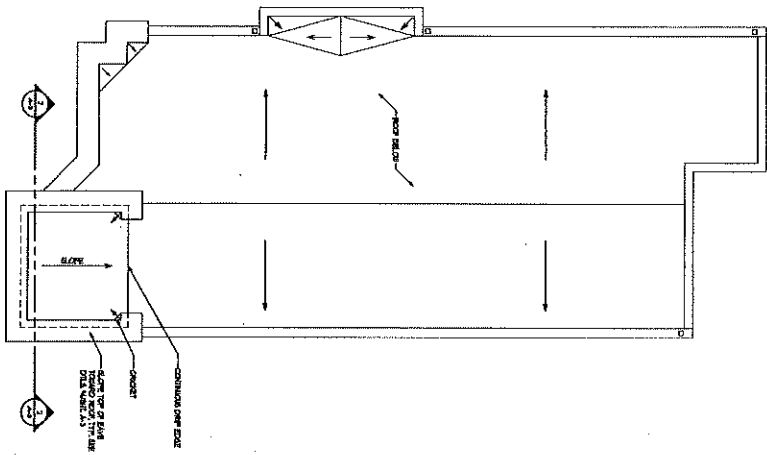
**A-11**

Attachment: PH.C-21-18.HydeStreet (21-403 : C-21-18 Special Permit, 23 Hyde Street)

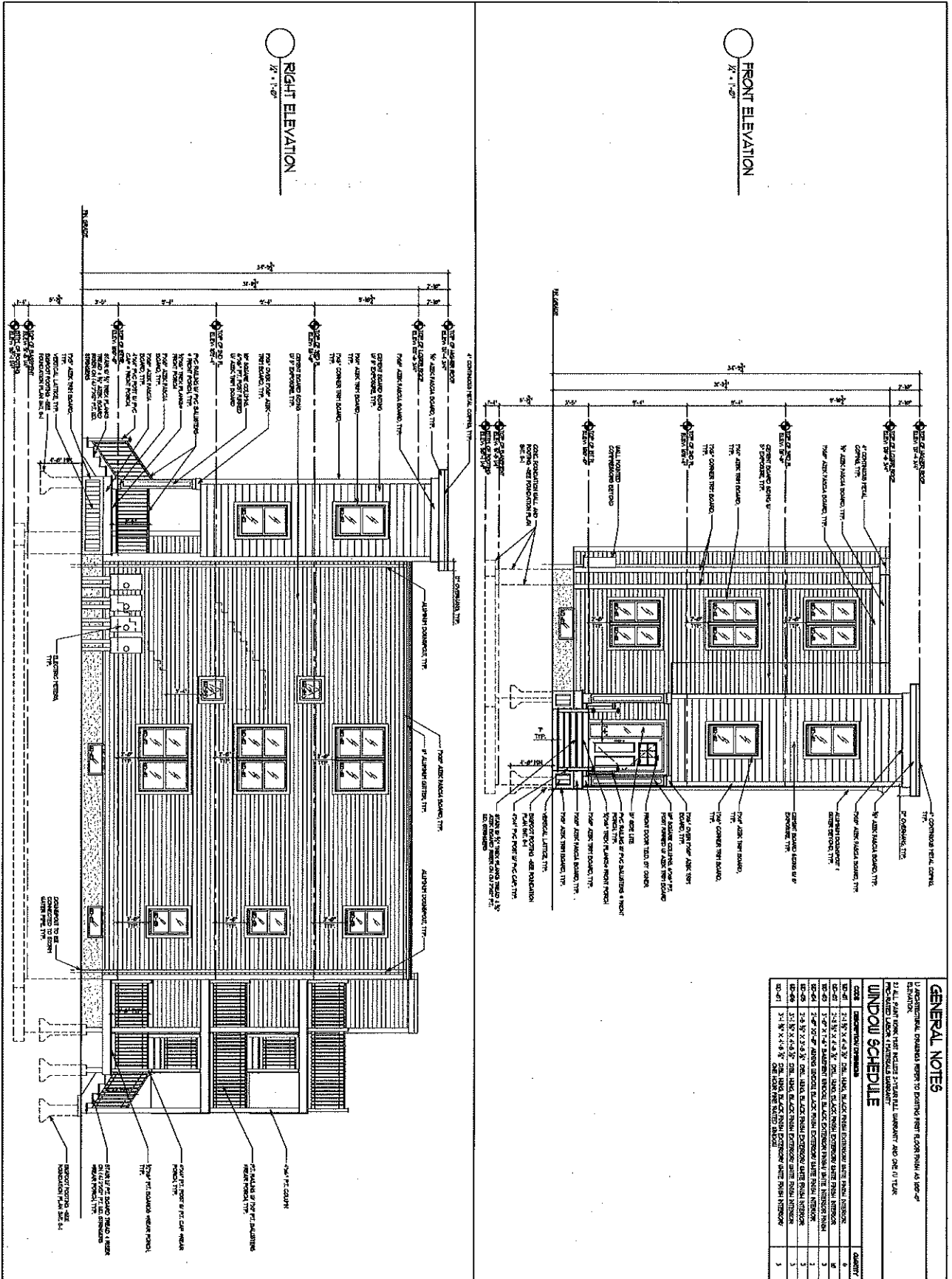


1 LOWER ROOF PLAN @ KNEE WALL

2 HIGHER ROOF PLAN



|   |             |
|---|-------------|
| <p><b>CONTRACTOR'S NOTES</b></p> <ol style="list-style-type: none"> <li>1. See notes on drawings for full details.</li> <li>2. All work shall be in accordance with the latest edition of applicable codes and standards.</li> <li>3. All materials shall be of the highest quality and shall be approved by the architect.</li> <li>4. All work shall be completed in accordance with the schedule of values.</li> <li>5. All work shall be completed in accordance with the schedule of values.</li> <li>6. All work shall be completed in accordance with the schedule of values.</li> </ol> |             |
| <p># REVISIONS</p> <p>DATE</p>  | <p>DATE</p> |
| <p><b>MITAVARTS ARCHITECTS</b></p> <p>205 Broadway, Suite 510, Longwood, MA 01906<br/>         Phone: 781-552-9400 Fax: 781-552-9400<br/>         www.mitavarts.com</p> <p><b>MR. HARKENSON</b><br/>         TELFORD</p>  |             |
| <p>23 HYDE STREET<br/>         REVERE, MA</p>   |             |
| <p>LOWER AND HIGHER<br/>         ROOF PLANS</p>   |             |
| <p>A-12</p>   |             |



**WINDOW SCHEDULE**

| NO. | DESCRIPTION  | QUANTITY |
|-----|--|----------|
| 1   | 1-1/2" x 3-1/2" x 6-6" CMU, 1/2" GROUT, 1/2" REINFORCED CONCRETE | 1        |
| 2   | 1-1/2" x 3-1/2" x 6-6" CMU, 1/2" GROUT, 1/2" REINFORCED CONCRETE | 1        |
| 3   | 1-1/2" x 3-1/2" x 6-6" CMU, 1/2" GROUT, 1/2" REINFORCED CONCRETE | 1        |
| 4   | 1-1/2" x 3-1/2" x 6-6" CMU, 1/2" GROUT, 1/2" REINFORCED CONCRETE | 1        |
| 5   | 1-1/2" x 3-1/2" x 6-6" CMU, 1/2" GROUT, 1/2" REINFORCED CONCRETE | 1        |
| 6   | 1-1/2" x 3-1/2" x 6-6" CMU, 1/2" GROUT, 1/2" REINFORCED CONCRETE | 1        |
| 7   | 1-1/2" x 3-1/2" x 6-6" CMU, 1/2" GROUT, 1/2" REINFORCED CONCRETE | 1        |
| 8   | 1-1/2" x 3-1/2" x 6-6" CMU, 1/2" GROUT, 1/2" REINFORCED CONCRETE | 1        |
| 9   | 1-1/2" x 3-1/2" x 6-6" CMU, 1/2" GROUT, 1/2" REINFORCED CONCRETE | 1        |
| 10  | 1-1/2" x 3-1/2" x 6-6" CMU, 1/2" GROUT, 1/2" REINFORCED CONCRETE | 1        |

**CONTRACTOR'S NOTES**

1. All work shall be in accordance with the latest editions of the building codes and all applicable regulations.
2. All work shall be in accordance with the latest editions of the building codes and all applicable regulations.
3. All work shall be in accordance with the latest editions of the building codes and all applicable regulations.
4. All work shall be in accordance with the latest editions of the building codes and all applicable regulations.
5. All work shall be in accordance with the latest editions of the building codes and all applicable regulations.
6. All work shall be in accordance with the latest editions of the building codes and all applicable regulations.
7. All work shall be in accordance with the latest editions of the building codes and all applicable regulations.
8. All work shall be in accordance with the latest editions of the building codes and all applicable regulations.
9. All work shall be in accordance with the latest editions of the building codes and all applicable regulations.
10. All work shall be in accordance with the latest editions of the building codes and all applicable regulations.

**REVISIONS**

| NO. | REVISIONS | DATE |
|-----|-----------|------|
| 1   |           |      |
| 2   |           |      |
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| 4   |           |      |
| 5   |           |      |
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| 7   |           |      |
| 8   |           |      |
| 9   |           |      |
| 10  |           |      |

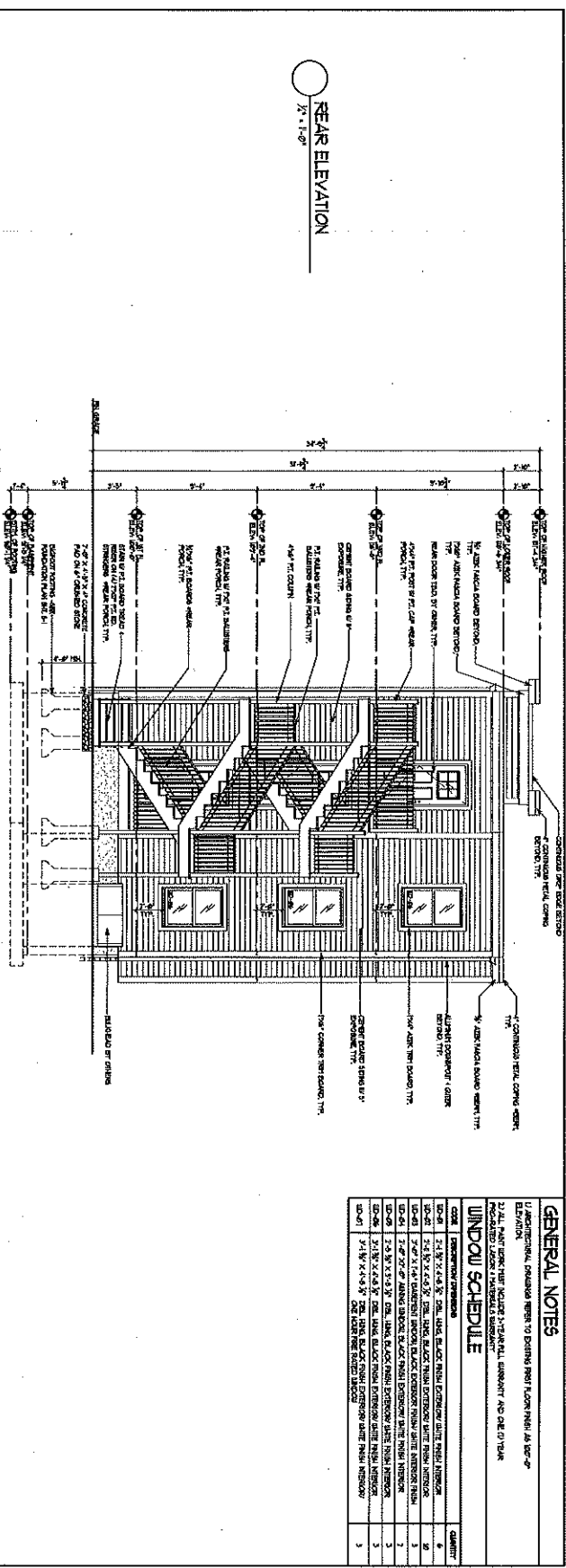
**MITAVARES ARCHITECTS**  
20 Berkeley Ave. Suite 101, Somerville, MA 02148  
Phone: 617-852-0408 Fax: 617-852-0409  
www.mitavares.com

**MR. MARSHALL TELFORD**

23 HYDE STREET  
REVERE, MA

**FRONT RIGHT SIDE ELEVATIONS**

**A-2**

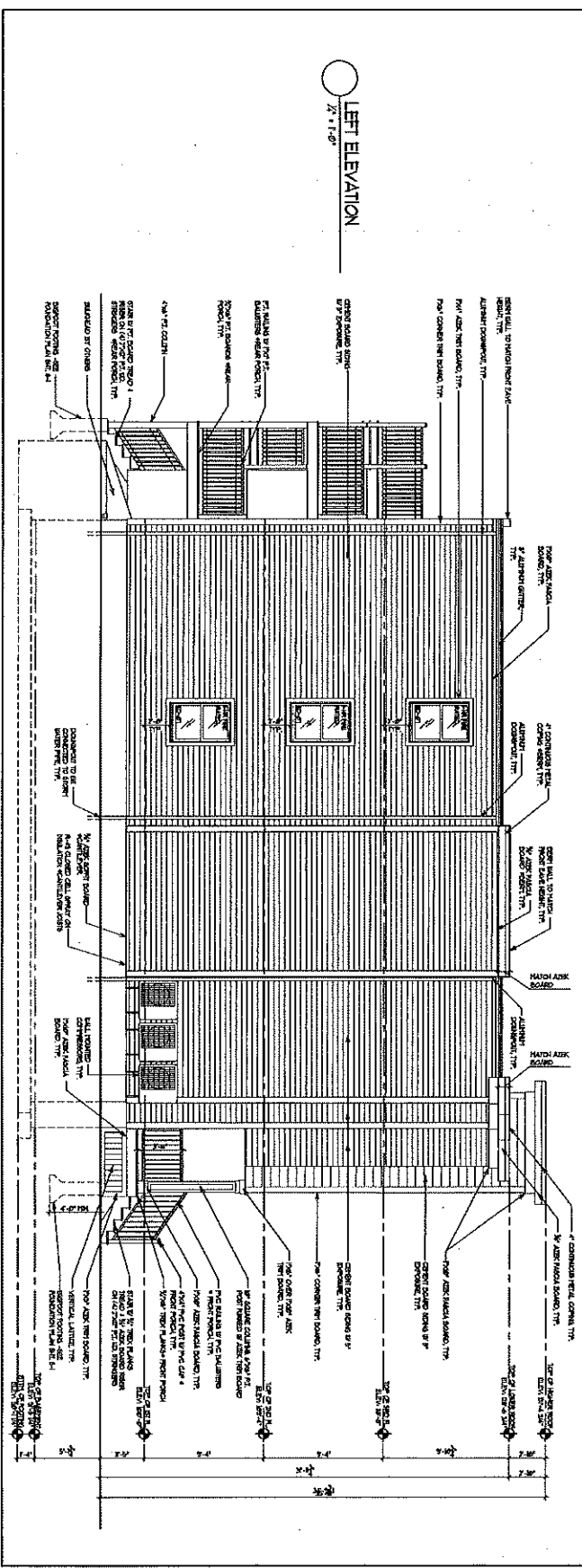


**GENERAL NOTES**

1. ALL ARCHITECTURAL DIMENSIONS UNLESS OTHERWISE NOTED TO BE TO FACE.
2. ALL MATERIALS TO BE USED SHALL BE APPROVED BY THE PERMITTING AGENCY.
3. ALL MATERIALS TO BE USED SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
4. ALL MATERIALS TO BE USED SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
5. ALL MATERIALS TO BE USED SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
6. ALL MATERIALS TO BE USED SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

**WINDOW SCHEDULE**

| NO. | DESCRIPTION | QUANTITY |
|-----|-------------|----------|
| 1   | 1/2\"/>     |          |



**CONTRACTOR'S NOTES**

1. ALL MATERIALS TO BE USED SHALL BE APPROVED BY THE PERMITTING AGENCY.
2. ALL MATERIALS TO BE USED SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
3. ALL MATERIALS TO BE USED SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
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6. ALL MATERIALS TO BE USED SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

**REVISIONS**

| NO. | DESCRIPTION | DATE     |
|-----|-------------|----------|
| 1   | ISSUED      | 11/15/21 |

**MITTAVARES ARCHITECTS**  
 202 Broadway, Suite 200, Boston, MA 02108  
 Phone: 781.552.4040  
 www.mittavares.com

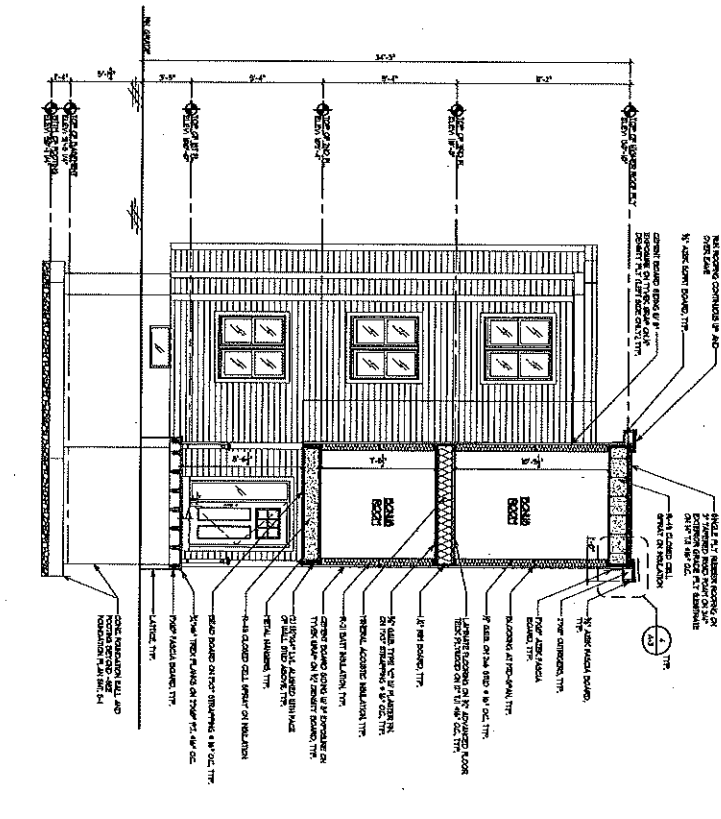
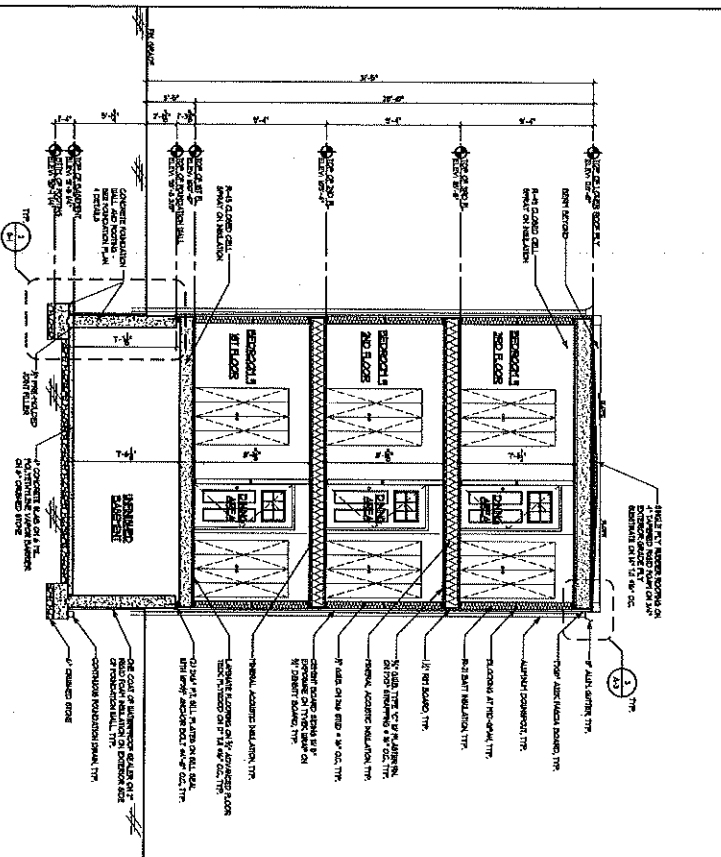
**MR. MARKENSON**  
 TELFORD

23 HYDE STREET  
 REVERE, MA

REAR LEFT SIDE ELEVATIONS

A-21





**GENERAL NOTES**  
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.  
 2. ALL MATERIALS SHALL BE OF THE BEST QUALITY AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.  
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.  
 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.  
 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.

| SECTION | SCALE        | DESCRIPTION                  |
|---------|--------------|------------------------------|
| 1       | 1/4" = 1'-0" | BUILDING SECTION LOWER ROOF  |
| 2       | 1/4" = 1'-0" | BUILDING SECTION HIGHER ROOF |
| 3       | 3/4" = 1'-0" | DETAIL GUTTER                |
| 4       | 3/4" = 1'-0" | DETAIL EAVE FRAMING          |
| 5       | 3/4" = 1'-0" | DETAIL BERM                  |
| 6       | 3/4" = 1'-0" | DETAIL RAILING               |

**CONTRACTOR'S NOTES**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.
2. ALL MATERIALS SHALL BE OF THE BEST QUALITY AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.

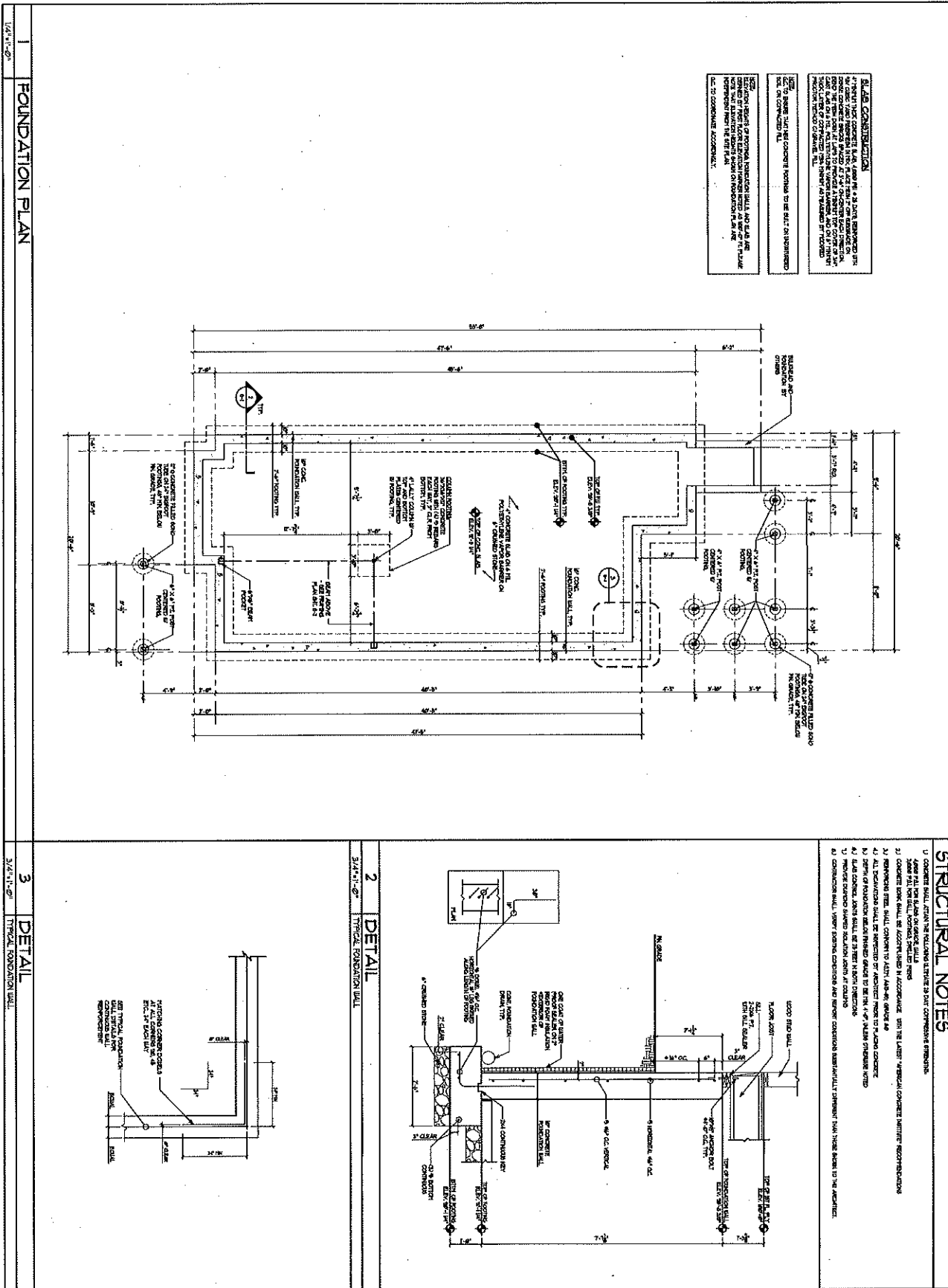
| # | REVISIONS | DATE |
|---|-----------|------|
|   |           |      |

**MILYARS ARCHITECTS**  
 23 HYDE STREET  
 REVERE, MA  
 TEL: 781-281-1111  
 FAX: 781-281-1112  
 WWW.MILYARSARCHITECTS.COM

**MR. HANSEN**  
 TEL: 781-281-1111

**BUILDING SECTIONS AND DETAILS**

**A-3**



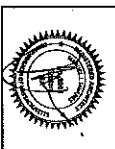
**STRUCTURAL NOTES**

- 1) FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST APPLICABLE CONCRETE MIXTURE RECOMMENDATIONS.
- 2) CONCRETE SHALL BE ACCOMPANIED BY A PROPERLY PLACED AND COMPACTED CURE AND PROTECTED FROM DRYING SHRINKAGE.
- 3) ALL REINFORCING STEEL SHALL BE CONFORM TO ASTM A630-06 AND A603-06.
- 4) ALL REINFORCING STEEL SHALL BE PROTECTED BY AN APPROPRIATE MEANS TO PREVENT CORROSION.
- 5) REINFORCING STEEL SHALL BE PROTECTED BY AN APPROPRIATE MEANS TO PREVENT CORROSION.
- 6) CONCRETE SHALL BE PROTECTED BY AN APPROPRIATE MEANS TO PREVENT CORROSION.

**STRUCTURAL NOTES**

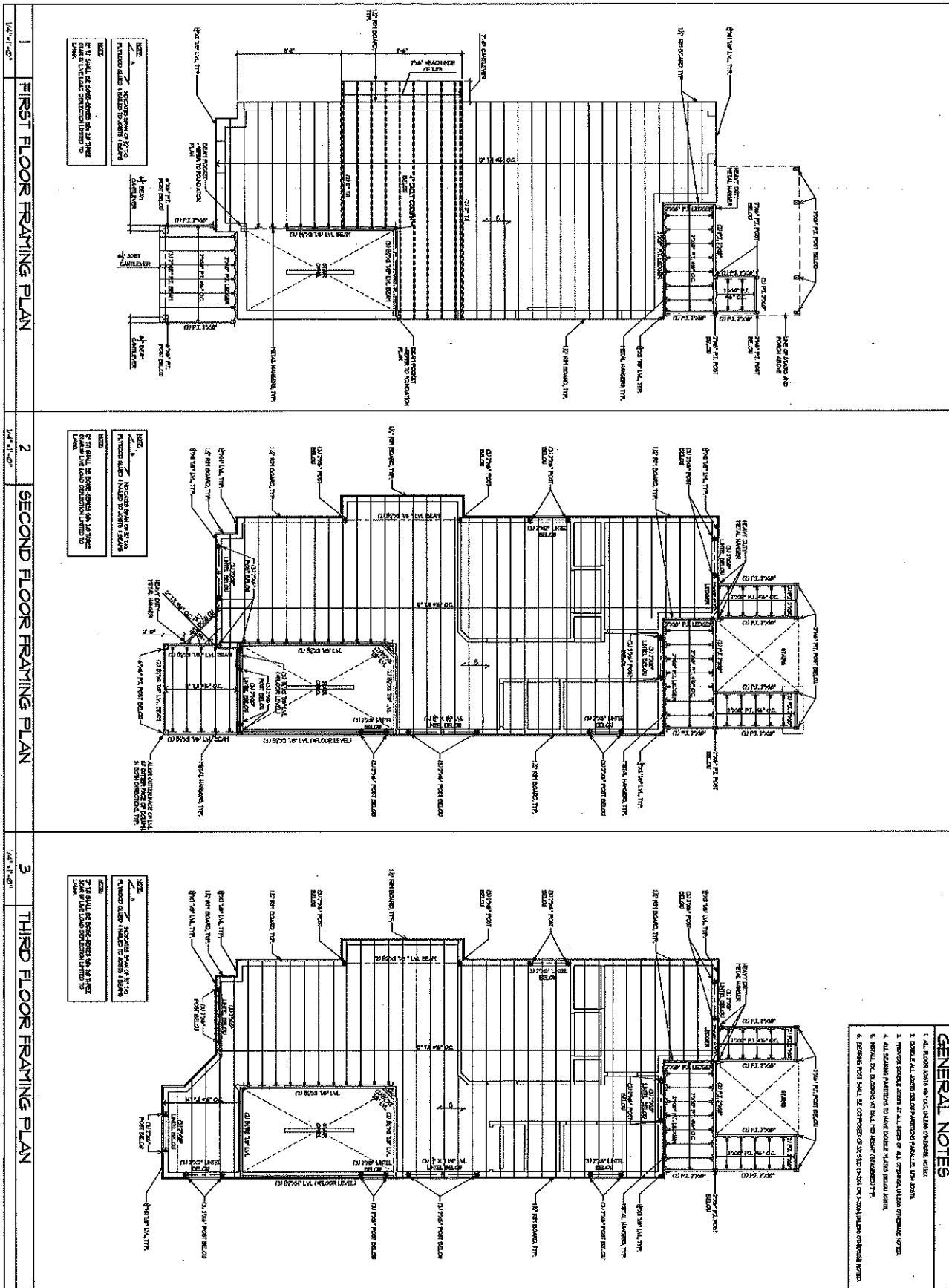
- 1) FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST APPLICABLE CONCRETE MIXTURE RECOMMENDATIONS.
- 2) CONCRETE SHALL BE ACCOMPANIED BY A PROPERLY PLACED AND COMPACTED CURE AND PROTECTED FROM DRYING SHRINKAGE.
- 3) ALL REINFORCING STEEL SHALL BE CONFORM TO ASTM A630-06 AND A603-06.
- 4) ALL REINFORCING STEEL SHALL BE PROTECTED BY AN APPROPRIATE MEANS TO PREVENT CORROSION.
- 5) REINFORCING STEEL SHALL BE PROTECTED BY AN APPROPRIATE MEANS TO PREVENT CORROSION.
- 6) CONCRETE SHALL BE PROTECTED BY AN APPROPRIATE MEANS TO PREVENT CORROSION.

| NO. | REVISIONS | DATE |
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|     |           |      |
|     |           |      |
|     |           |      |



**MITAVARES ARCHITECTS**  
 201 EASTERN AVENUE  
 LYNNFIELD, MASSACHUSETTS 01903  
 TEL: 781.255.9900  
 MR. MARKSON TELFORT

FOUNDATION PLAN,  
 DETAILS, AND NOTES  
 23 HYDE STREET  
 REVERE, MA  
 5-1

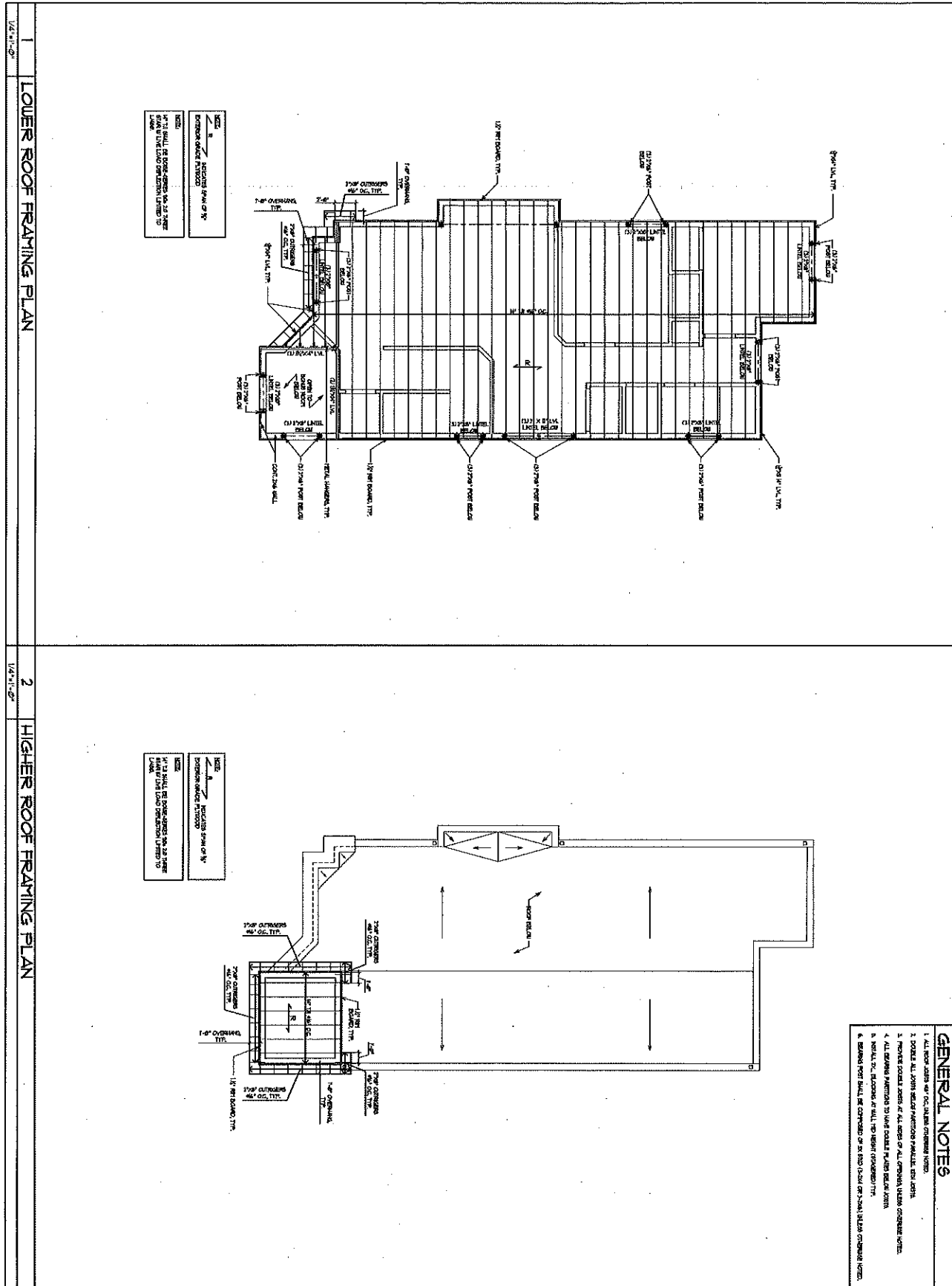


**GENERAL NOTES**

1. ALL JOIST SPANS ARE TO BE VERIFIED BY THE CONTRACTOR.
2. PROVIDE ALL JOIST SPANS WITH PROPER END RESTRAINTS.
3. PROVIDE CORNER JOISTS AT ALL CORNERS OF ALL SPANS, IN ALL ORTHOGONAL DIRECTIONS.
4. ALL JOIST PARTITIONS TO HAVE DOUBLE END RESTRAINTS.
5. MINIMAL JOIST BRACING AT FULL JOIST SPAN INTERVALS.
6. BRACING JOIST SHALL BE COMPOSED OF 2x4 OR 2x6 DIMENSIONAL LUMBER OR STEEL BRACING.

| <p><b>CONTRACTOR'S NOTES</b></p> <ol style="list-style-type: none"> <li>1. All joist spans are to be verified by the contractor.</li> <li>2. Provide all joist spans with proper end restraints.</li> <li>3. Provide corner joists at all corners of all spans, in all orthogonal directions.</li> <li>4. All joist partitions to have double end restraints.</li> <li>5. Minimal joist bracing at full joist span intervals.</li> <li>6. Bracing joist shall be composed of 2x4 or 2x6 dimensional lumber or steel bracing.</li> </ol> |           |           |      |  |  |  |                    |
|---|-----------|-----------|------|--|--|--|--------------------|
| <p><b>REVISIONS</b></p> <table border="1"> <thead> <tr> <th>NO.</th> <th>REVISIONS</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>  | NO.       | REVISIONS | DATE |  |  |  | <p><b>DATE</b></p> |
| NO.   | REVISIONS | DATE      |      |  |  |  |                    |
|   |           |           |      |  |  |  |                    |
| <p><b>MITAVARES ARCHITECTS</b></p> <p>100 Broadway Street, 10th Floor, Boston, MA 02109<br/>         Phone: 617-552-3300<br/>         Fax: 617-552-3301<br/>         www.mitavares.com</p> <p><b>MR. HARKENSON TELFORD</b></p>  |           |           |      |  |  |  |                    |
| <p><b>23 HYDE STREET REVERSE, MA</b></p>  |           |           |      |  |  |  |                    |
| <p><b>FIRST FLOOR SECOND FLOOR THIRD FLOOR FRAMING PLANS AND NOTES</b></p>  |           |           |      |  |  |  |                    |
| <p><b>S-2</b></p>   |           |           |      |  |  |  |                    |





1 LOWER ROOF FRAMING PLAN

2 HIGHER ROOF FRAMING PLAN

**CONTRACTOR'S NOTES**

1. VERIFY ALL DIMENSIONS ON THE FIELD.
2. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
3. VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE COMMENCING WORK.
4. VERIFY THE EXISTING ROOF STRUCTURE AND CONDITION BEFORE COMMENCING WORK.

| <p>MITAVARS ARCHITECTS</p> <p>300 Broadway, Suite 501<br/>         Portland, ME 04101<br/>         Phone: 735-253-6000<br/>         Fax: 735-253-6003<br/>         www.mitavars.com</p> <p>MR. MARKENSON<br/>         TELFORD</p> |           | <p>23 HYDE STREET<br/>         NEVADA, MA</p>   | <p>LOWER ROOF AND<br/>         HIGHER ROOF<br/>         FRAMING PLANS<br/>         AND NOTES</p>  | <p>DATE: 05-21-21</p> |           |      |  |
|---|-----------|---|---|-----------------------|-----------|------|--|
|   |           | <p>CONTRACTOR'S NOTES</p> <ol style="list-style-type: none"> <li>1. VERIFY ALL DIMENSIONS ON THE FIELD.</li> <li>2. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.</li> <li>3. VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE COMMENCING WORK.</li> <li>4. VERIFY THE EXISTING ROOF STRUCTURE AND CONDITION BEFORE COMMENCING WORK.</li> </ol> | <p>REVISIONS</p> <table border="1"> <tr> <th>#</th> <th>REVISIONS</th> <th>DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table> | #                     | REVISIONS | DATE |  |
| #   | REVISIONS | DATE  |   |                       |           |      |  |
|   |           |   |   |                       |           |      |  |

# EXHIBIT C

WILLIAMS & SPARAGES  
CIVIL ENGINEERING &  
LAND SURVEYORS



189 NORTH MAIN STREET  
SUITE 101  
MIDDLETON, MA 01949  
PHONE: (978) 539-8088  
FAX: (978) 539-8200



Attachment: PH.C-21-18.HydeStreet (21-403 : C-21-18 Special Permit, 23 Hyde Street)

CITY OF REVERE  
FEBRUARY 2016 ZONING MAP

LOCUS MAP  
23 HYDE STREET  
REVERE, MA 02151



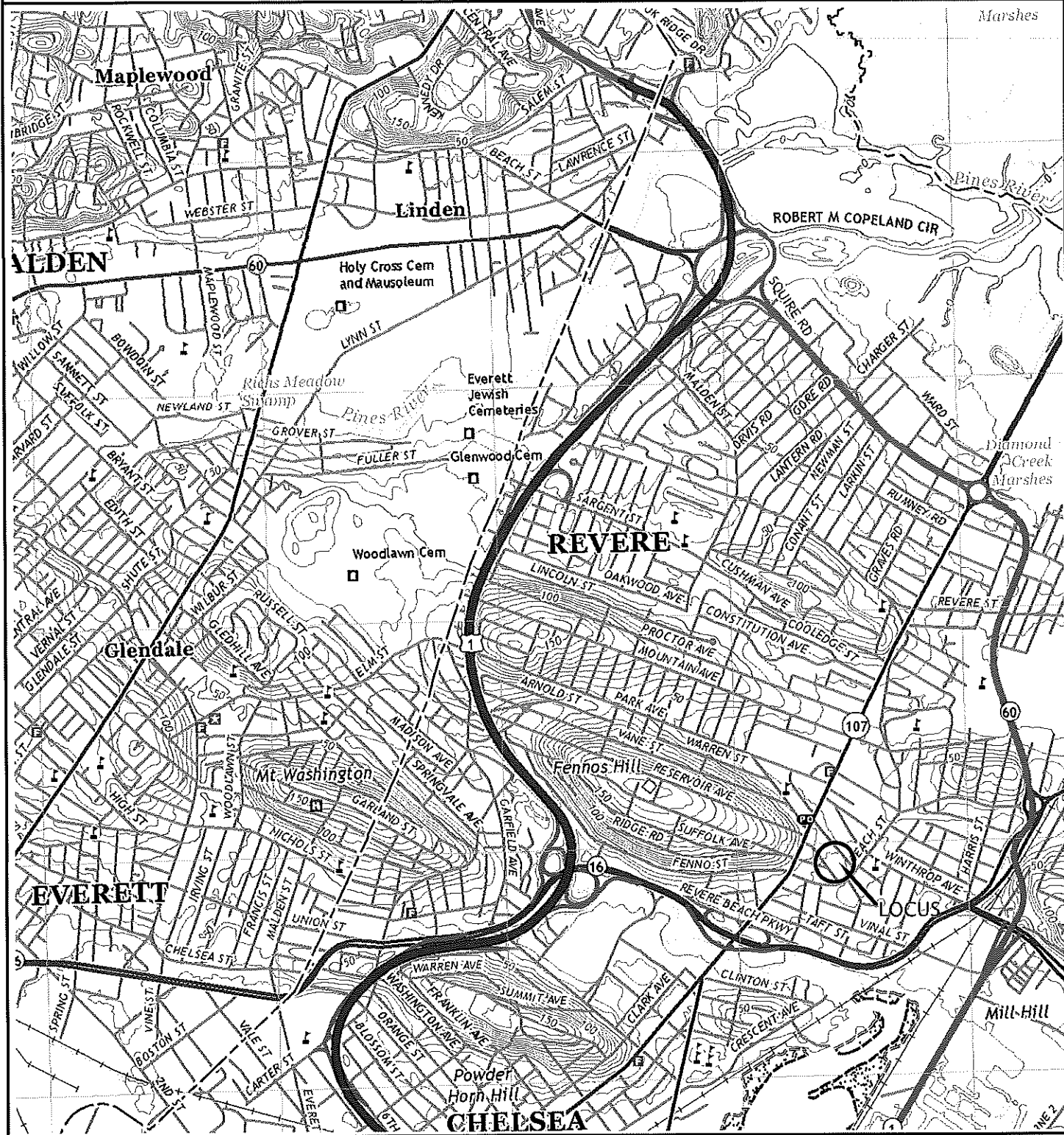
# EXHIBIT D



WILLIAMS & SPARAGES  
CIVIL ENGINEERING &  
LAND SURVEYORS



189 NORTH MAIN STREET  
SUITE 101  
MIDDLETON, MA 01949  
PHONE: (978) 539-8088  
FAX: (978) 539-8200



UNITED STATES GEOLOGIC SURVEY MAP  
BOSTON NORTH, MA 2018 QUADRANGLE  
SCALE: 1:24,000 (metric contours)

LOCUS MAP  
23 HYDE STREET  
REVERE, MA 02151



Attachment: PH.C-21-18.HydeStreet (21-403 : C-21-18 Special Permit, 23 Hyde Street)

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# EXHIBIT E

25472 Deed 008

NATHANSON & GOLDBERG  
2 OLIVER STREET  
BOSTON, MA 02109

57

*Lower 25 Hyde St., Revere*

I Michael J. Walsh and Christopher F. Walsh

of 49 Locksley Street, Lynnfield, Massachusetts 01940

in consideration of Two Hundred Twenty Two Thousand Five Hundred Dollars and No Cents \$222,500.00

grant to Marie Telfort and Marc Telfort, as Tenants by the Entirety

of 40 Parker Hill Avenue, Boston, Massachusetts 02120 with quitclaim covenants

THE LAND IN REVERE, SUFFOLK COUNTY, MASSACHUSETTS, WITH THE BUILDING THEREON SITUATED ON THE NORTHEASTERLY SIDE OF HYDE STREET, COMPRISING LOT 5B ON A PLAN DRAWN BY DAVID CALICHMAN REG. SURVEYOR, DATED SEPT. 12, 1981 AND RECORDED WITH SUFFOLK DEEDS, BOOK 8602, PAGE 53, BOUNDED AND DESCRIBED AS FOLLOWS:

SOUTHWESTERLY: BY HYDE STREET, TWENTY-FIVE (25) FEET;  
NORTHWESTERLY: BY LOT 5A ON SAID PLAN, ONE HUNDRED TWENTY-FIVE AND 05/100 (125.05) FEET;  
NORTHEASTERLY: BY LAND NOW OR FORMERLY OF EBROS S. ALLEN, TWENTY-FIVE AND 02/100 (25.02) FEET;  
SOUTHEASTERLY: BY LOT 4 ON SAID PLAN, ONE HUNDRED TWENTY-FIVE AND 7/10 (125.7) FEET.  
CONTAINING 3,135 SQUARE FEET OF LAND MORE OR LESS.

SUBJECT TO THE USE BY THE GRANTORS AND ITS SUCCESSORS OF THE RIGHT OF WAY SHOWN ON SAID PLAN.

For Title see Deed recorded in Book 20490, Page 030.

SUFFOLK REGISTRY OF DEEDS  
RECORDING DEPARTMENT  
2000 OCT 23 AM 9:24

*Paul R. Tenny*  
REGISTER OF DEEDS

BOSTON  
DEEDS REG 19  
SUFFOLK  
CANCELLED  
10/23/00 91324 01  
000000 #5284  
FE \$1014.60  
CASH \$1014.60

Executed as a sealed instrument this 25<sup>th</sup> day of October, 2000

*Michael J. Walsh*  
Michael J. Walsh  
*Christopher F. Walsh*  
Christopher F. Walsh

Commonwealth of Massachusetts

Suffolk, ss: October 20, 2000  
Then personally appeared the above-named Michael J. Walsh and Christopher F. Walsh, and acknowledged the foregoing to be his/her/their free act and deed.

*Stuart J. Frank* (Seal)  
Stuart J. Frank  
My Commission Expires: November 19, 2004  
Notary Public

25

Attachment: PH.C-21-18.HydeStreet (21-403 : C-21-18 Special Permit, 23 Hyde Street)



# EXHIBIT F

**PROPERTY LOCATION** No 23 Alt No HYDE ST, REVERE Direction/Street/City  
**OWNERSHIP** Owner 1: TELEFORT MARIE Unit #:  
 Owner 2: TELEFORT MARC  
 Owner 3:  
 Street 1: 23 HYDE ST  
 Street 2:  
 Town/City: REVERE  
 S/P/Prov: MA Chtry Own Occ: Type:  
 Postal: 02151

**PREVIOUS OWNER**  
 Owner 1: YEM FAMILY TRUST -  
 Owner 2: C/O COMMONWEALTH FINANCIAL SER -  
 Street 1: 855 CAMBRIDGE ST  
 Town/City: CAMBRIDGE  
 S/P/Prov: MA Chtry  
 Postal: 02141

**VARIABLE DESCRIPTION**  
 This parcel contains .072 Acres of land mainly classified as 3 FAMILY with a THREE FAMILY Building built about 1900, making primarily ALUMINUM Exterior and 2192 Square Feet, with 3 Units, 3 Baths, 0 3/4 Bath, 0 HalfBath, 13 Rooms, and 5 3/4Bms.

**OTHER ASSESSMENTS**  
 Code Description Amount Com. Int

**IN PROCESS APPRAISAL SUMMARY**  
 Use Code Land Size Building Value Yard Items Land Value Total Value  
 105 0.072 212,200 212,200  
 Total Card 0.072 212,200 212,200  
 Total Parcel 0.072 212,200 212,200  
 Source: Market Adj Cost Total Value per SQ unit: Card: 96.81 Parcel: 96.81

**PREVIOUS ASSESSMENT**  
 Parcel ID 15-256-4  
 Tax Yr Use Cat Bldg Value Yrd Items Land Size Land Value Total Value Asses'd Value Year End Rail Notes  
 2021 105 FV 380,200 0 0.72 196,500 576,700 561,500 patch 12/15/2020  
 2021 105 PTCH 365,000 0 0.72 196,500 561,500 561,500 Year End Rail 8/19/2020  
 2020 105 FV 365,000 0 0.72 196,500 561,500 561,500 Year End Rail 12/18/2019  
 2020 105 NC 365,000 0 0.72 196,500 561,500 561,500 Year End Rail 10/30/2019  
 2019 105 FV 298,700 0 0.72 179,200 477,900 477,900 Year End Rail 12/19/2018  
 2018 105 FV 273,300 0 0.72 161,900 435,200 435,200 Year End Rail 12/29/2017  
 2017 105 FV 246,100 0 0.72 141,400 387,500 387,500 Year End Rail 12/22/2016  
 2016 105 FV 213,800 0 0.72 135,200 349,000 349,000 Year End Rail 12/28/2015

**SALES INFORMATION**  
 Generator WALSH MICHAEL 25472/8 Legal Ref 102/02/000 Date 3/20/1996 Sale Code CONVENIENCE Sale Price 222,500 No Yes No  
 UNKNOWN 20490/30 3/20/1996 CONVENIENCE 99 Yes No

**TAX DISTRICT**  
 Sale Code Sale Price V 1st Verf  
 222,500 No No  
 99 Yes No

**PAT ACCT.**  
 Notes 6273

**PROPERTY FACTORS**  
 Item Code Description % Item Code Description  
 Z water  
 0 Sewer  
 n Electric  
 Census: Exempt  
 Flood Haz: Topo  
 D Street  
 s Gas:  
 1

**BUILDING PERMITS**  
 Date Number Descrp Amount C/O Last Visit Fed Code F Descrp Comment  
 12/6/2019 819001556 INTER RE 12,500 C INSTALL INSULATION  
 9/10/2019 E19000824 Electric 8,000 C REMIRE FL APARTME  
 4/17/2015 13488 WOOD DEC 4,500 C REPLACE FRT DECK  
 3/5/2002 8468 Resident 3,800 C Residential INSTAL  
 6/25/2001 7723 Remodel 10,500 C Remodel REEROOF

**ACTIVITY INFORMATION**  
 Date Result By  
 8/3/2021 FIELD REVIEW 336 MATT MCGRATH  
 7/21/2020 PERMIT 336 MATT MCGRATH  
 5/7/2017 MEASURED 427 DENEK  
 4/28/2006 MEASURED 336 MATT MCGRATH

**LAND SECTION (First 7 lines only)**  
 Use Description LUC No of Units Depth / Price/Units Unit Type Land Type LT Base Unit Adj Neigh Neigh Neigh Neigh Neigh Appraised Alt Spec J Fact Use Value Notes  
 Code Fact 3135 1.0 0 6.75 10.035 1.00 Mod 1nf 1 % 1nf 2 % 1nf 3 % Value Class % Land Code Use Value  
 105 3 FAMILY SITE 212,169 0 212,200

**LEGAL DESCRIPTION**  
 Entered Lot Size  
 Total Land: 3135  
 Land Unit Type: SF

**GIS Ref**  
 15/256/4  
 GIS Ref  
 Insp Date 08/03/21  
 Insp Ref 162731

**USER DEFINED**  
 Prior Id # 1: RB  
 Prior Id # 2:  
 Prior Id # 3:  
 Date Time  
 10/27/21 10:39:22  
 LAST REV  
 Date Time  
 08/10/21 09:56:50  
 Prior Id # 1:  
 Prior Id # 2:  
 Prior Id # 3:  
 ASR Map: 15  
 Fact Dist:  
 Rental Dist:  
 Year:  
 LandReason:  
 BidReason:  
 Cmidistrict:  
 Rator:

**Sign:**

**Total ACHA:** 0.07197 **Total SF/SM:** 3135 **Parcel LUC:** 105 **3 FAMILY** **Prime NB Desc:** **Total:** 212,169 **Spl Credit:** **Total:** 212,200

**Disclaimer:** This Information is believed to be correct but is subject to change and is not warranted. Database: AssessPro - Reverse apro 2022

**TERMINAL UNIT INFORMATION**

|                           |              |              |
|---------------------------|--------------|--------------|
| Type: 13 - THREE FAMILY   | Full Bath: 3 | Rating: POOR |
| Sty HE: 2A - 2 STORIES AT | A Bath: 1    | Rating: POOR |
| Ln/Units: 3               | 3/4 Bath: 1  | Rating: POOR |
| Total: 3                  | A 3/4Bth: 1  | Rating: POOR |
| Foundation: 3 - BRK/STONE | 1/2 Bath: 1  | Rating: POOR |
| Frame: 1 - WOOD           | A Hbth: 1    | Rating: POOR |
| Prime Wall: 3 - ALUMINUM  | OtherFk: 1   | Rating: POOR |
| Sec Wall: 1               |              |              |
| Roof Struct: 1 - GABLE    |              |              |
| Roof Cover: 1 - ASPHALT   |              |              |
| Color: GRAY               |              |              |
| View / Desir: 1           |              |              |

**OTHER FEATURES**

|                           |                                 |
|---------------------------|---------------------------------|
| Kits: 3                   | Rating: POOR                    |
| A Kits: 1                 | Rating: POOR                    |
| Fpl: 1                    | Rating: POOR                    |
| WSFlue: 1                 | Rating: POOR                    |
| LM 1                      | Rating: POOR                    |
| LM 2                      | Rating: POOR                    |
| Other                     | Rating: POOR                    |
| Level                     | Rating: POOR                    |
| 1st Res Grid Desc: Line 1 | # Units: 2                      |
| Level                     | FR LR DR D K FR RR BR FB HB L O |

**GENERAL INFORMATION**

|                    |              |
|--------------------|--------------|
| Grade: C - AVERAGE | Location:    |
| Year Bilt: 1900    | Eff Yr Bilt: |
| All UCC:           | Alt %:       |
| Jurisdic:          | Facd:        |
| Const Mod:         | % Own:       |
| Lump Sum Adj:      | Name:        |

**CONDOS INFORMATION**

|                       |        |
|-----------------------|--------|
| Phys Cond: PR - Poor  | 54.0%  |
| Functional:           | %      |
| Economic:             | %      |
| Special: INC - NEWCON | 100.0% |
| Overide:              | %      |
| Total:                | 100.0% |

**REMODELING RES BREAKDOWN**

|            |         |     |     |    |
|------------|---------|-----|-----|----|
| Interior   | No Unit | RMS | BRS | FL |
| Exterior   | 2       | 5   | 2   | 1  |
| Additions: | 1       | 3   | 1   | 1  |
| Kitchen:   |         |     |     |    |
| Baths:     |         |     |     |    |
| Plumbing:  |         |     |     |    |
| Electric:  |         |     |     |    |
| Heating:   |         |     |     |    |
| General:   | 3       | 13  | 5   |    |

**DEPRECIATION**

|                       |            |
|-----------------------|------------|
| Basic \$ / SQ: 210.00 | Rate       |
| Size Adj: 1.12630486  | Parcel ID  |
| Const Adj: 0.97990203 | Typ        |
| Adj \$ / SQ: 231.770  | Date       |
| Other Features: 68000 | Sale Price |
| Grade Factor: 1.00    |            |
| NBHD Int: 1.00000000  |            |
| NBHD Mod:             |            |
| LUC Factor: 1.00      |            |
| Adj Total: 594623     |            |
| Depreciation: 594623  |            |
| Depreciated Total: 0  |            |

**COMPARABLE SALES**

| Parcel ID           | Typ                 | Date    | Sale Price |
|---------------------|---------------------|---------|------------|
| WVAV\$SQ:           | AVRate:             | Ind Val |            |
| Jurs. Factor:       | Before Depr: 231.77 |         |            |
| Special Features: 0 | Val/Su Net: 0.00    |         |            |
| Final Total: 0      | Val/Su SZAd: 0.00   |         |            |

**PARCEL ID 15-256-4**

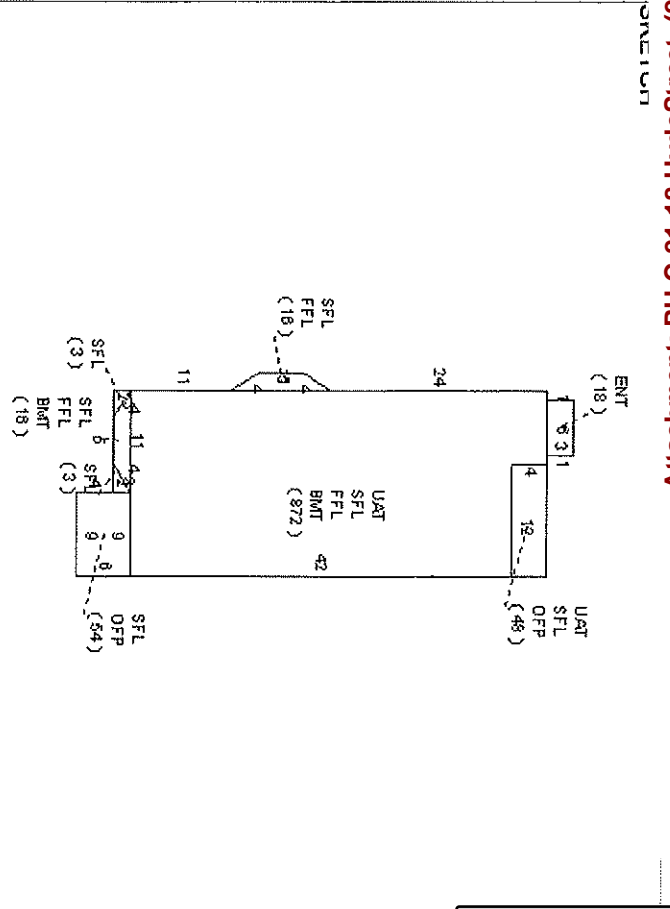
|      |             |       |     |          |      |     |      |            |     |     |     |      |    |    |            |      |      |            |
|------|-------------|-------|-----|----------|------|-----|------|------------|-----|-----|-----|------|----|----|------------|------|------|------------|
| Code | Description | A Y/S | Qty | Size/Dim | Qual | Con | Year | Unit Price | D/S | Dep | LUC | Facd | NB | Fa | Appr Value | JCod | JFac | Jurs Value |
|------|-------------|-------|-----|----------|------|-----|------|------------|-----|-----|-----|------|----|----|------------|------|------|------------|

**MOBILE HOME**

|       |        |           |       |        |
|-------|--------|-----------|-------|--------|
| Make: | Model: | Serial #: | Year: | Color: |
|-------|--------|-----------|-------|--------|

**SPEC FEATURES/YARD ITEMS**

|         |                   |                         |        |
|---------|-------------------|-------------------------|--------|
| More: N | Total Yard Items: | Total Special Features: | Total: |
|---------|-------------------|-------------------------|--------|

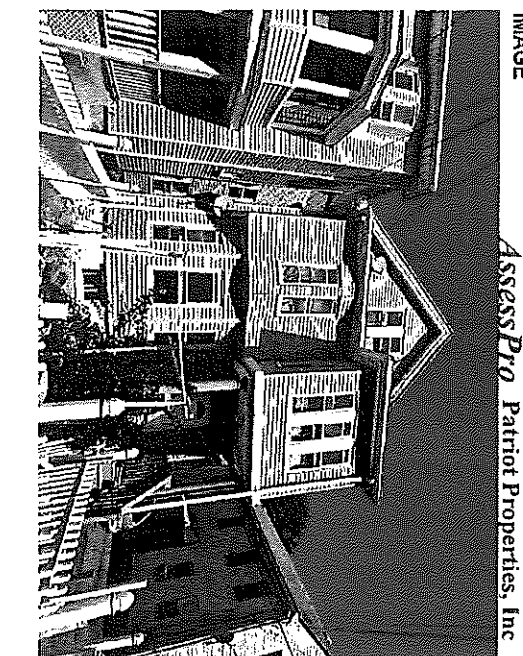


**SUB AREA**

| Code   | Description  | Area - SQ | Rate - AV | Undepr Value |
|--------|--------------|-----------|-----------|--------------|
| SFL    | SECOND FLOOR | 1,012     | 231,770   | 234,552      |
| FFL    | FIRST FLOOR  | 904       | 231,770   | 209,520      |
| BMT    | BASEMENT     | 888       | 57,940    | 51,453       |
| UAT    | UNE ATC      | 276       | 101,400   | 27,985       |
| OPF    | OPEN FRM PRC | 102       | 22,320    | 2,277        |
| ENT    | ENTRY        | 18        | 46,350    | 834          |
| Total: |              | 3,200     | 526,622   | 2,192        |

**SUB AREA DETAIL**

| Sub  | %    | Descrp | %   | Qu # | Ten |
|------|------|--------|-----|------|-----|
| Area | Ushl | 100    | APT | 100  |     |



|                 |  |
|-----------------|--|
| <b>From:</b>    | fstringi@revere.org  |
| <b>Sent:</b>    | 10/19/2021 - 02:31 PM  |
| <b>To:</b>      | mjtarchitects@verizon.net, amelnik@revere.org, lcavagnaro@revere.org |
| <b>CC:</b>      |  |
| <b>Subject:</b> | Application Review Comments  |

## CITY OF REVERE APPLICATION REVIEW

### City of Revere Site Plan Review Review Comments

|                       |  |
|-----------------------|--|
| <b>From:</b>          | Frank Stringi  |
| <b>Date:</b>          | October 19, 2021                                       |
| <b>Application #:</b> | SPR21-000154   |
| <b>Address:</b>       | 23 HYDE ST   |
| <b>Description:</b>   | To rebuild existing three family due to a fire damage. |
| <b>Review Status:</b> | Denied   |

Thank you for your recent permit application for To rebuild existing three family due to a fire damage.. I have completed my initial review and my comments are listed below, you can view marked up plans on our [online portal](#). Please note that you may receive additional comments from other city departments as your application is reviewed. You can follow the progress of your application by clicking on the link to the online portal above and signing into your account.

**Community Development: Frank Stringi**

- This Plan has been denied for the following reasons: In accordance with Section 17.40.030 and Section 17.40.020 of the Revised Revere Zoning Ordinance, the reconstruction and expansion of a nonconforming structure and nonconforming use may only be allowed by special permit of the City Council.

*NOTE: If your application is marked "Resubmittal Required", you do not need to submit a new application.*

*Log back into your account and edit either your Registration or Permit as requested in the comments.*

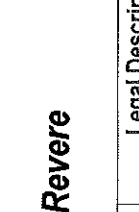
**Please do not reply to this automated email.** All resubmittals should be done using our online portal at [www.citizenserve.com/revere](http://www.citizenserve.com/revere) re-review. Furnishing the above requested information will help expedite the approval of your application.



□ □



APPRaised: 212,200  
USE VALUE: 212,200  
ASSESSed: 212,200



**IN PROCESS APPRAISAL SUMMARY**

| Use Code | Land Size | Building Value | Yard Items | Land Value | Total Value |
|----------|-----------|----------------|------------|------------|-------------|
| 105      | 0.072     |                |            | 212,200    | 212,200     |

**PROPERTY LOCATION**

|                       |                 |
|-----------------------|-----------------|
| No                    | 23              |
| Alt No                | HYDE ST, REVERE |
| Direction/Street/City |                 |

**OWNERSHIP**

|             |               |
|-------------|---------------|
| Owner 1:    | TELFORT MARIE |
| Owner 2:    | TELFORT MARC  |
| Owner 3:    |               |
| Street 1:   | 23 HYDE ST    |
| Street 2:   |               |
| Town/City:  | REVERE        |
| State/Prov: | MA            |
| Postal:     | 02141         |

**INSP DATE**

|           |
|-----------|
| 15/256/4/ |
| GIS Ref   |
| GIS Ref   |
| Insp Date |
| 08/03/21  |

**Legal Description**

|                    |
|--------------------|
| LOT 5B             |
| Entered Lot Size   |
| Total Land: 3135   |
| Land Unit Type: SF |

**PREVIOUS ASSESSMENT**

| Tax Yr | Use | Cat  | Blgd Value | Yrd Items | Land Size | Land Value | Total Value | Asses'd Value | Notes         | Date       |
|--------|-----|------|------------|-----------|-----------|------------|-------------|---------------|---------------|------------|
| 2021   | 105 | FV   | 380,200    | 0         | 0.072     | 196,500    | 576,700     | 561,500       | Year End Roll | 12/15/2020 |
| 2021   | 105 | PTCH | 365,000    | 0         | 0.072     | 196,500    | 561,500     | 561,500       | patch         | 8/19/2020  |
| 2020   | 105 | FV   | 365,000    | 0         | 0.072     | 196,500    | 561,500     | 561,500       | Year End Roll | 12/18/2019 |
| 2020   | 105 | NC   | 365,000    | 0         | 0.072     | 196,500    | 561,500     | 561,500       | Year End Roll | 10/30/2019 |
| 2019   | 105 | FV   | 298,700    | 0         | 0.072     | 179,200    | 477,900     | 477,900       | Year End Roll | 12/19/2018 |
| 2018   | 105 | fv   | 273,300    | 0         | 0.072     | 161,900    | 435,200     | 435,200       | YER           | 12/29/2017 |
| 2017   | 105 | FV   | 246,100    | 0         | 0.072     | 141,400    | 387,500     | 387,500       | Year End Roll | 12/22/2016 |
| 2016   | 105 | FV   | 213,800    | 0         | 0.072     | 135,200    | 349,000     | 349,000       | Year End      | 12/28/2015 |

**SALES INFORMATION**

| Grantor       | Legal Ref | Type | Date       | Sale Price | V           | Tst | Verif | Notes |
|---------------|-----------|------|------------|------------|-------------|-----|-------|-------|
| WALSH MICHAEL | 25472/8   |      | 10/20/2000 | 222,500    | No          | No  |       |       |
| UNKNOWN       | 20490/30  |      | 3/30/1996  |            | CONVENIENCE | 99  | Yes   | No    |

**SALES INFORMATION**

| Parcel ID | 15-256-4 |
|-----------|----------|
|-----------|----------|

**PREVIOUS OWNER**

|             |                                  |
|-------------|----------------------------------|
| Owner 1:    | YEM FAMILY TRUST -               |
| Owner 2:    | C/O COMMONWEALTH FINANCIAL SER - |
| Street 1:   | 855 CAMBRIDGE ST                 |
| Town/City:  | CAMBRIDGE                        |
| State/Prov: | MA                               |
| Postal:     | 02141                            |

**NARRATIVE DESCRIPTION**  
This parcel contains .072 Acres of land mainly classified as 3 FAMILY with a THREE FAMILY Building built about 1900, having primarily ALUMINUM Exterior and 2192 Square Feet, with 3 Units, 3 Baths, 0 3/4 Bath, 0 HalfBath, 13 Rooms, and 5 Bdrms.

**OTHER ASSESSMENTS**

| Code | Descrpt/No | Amount | Com. Int |
|------|------------|--------|----------|
|      |            |        |          |

**PROPERTY FACTORS**

| Item | Code | Description | % | Item | Code | Description |
|------|------|-------------|---|------|------|-------------|
| Z    |      | water       |   |      |      |             |
| o    |      | Sewer       |   |      |      |             |
| n    |      | Electri     |   |      |      |             |
|      |      | Exmpt       |   |      |      |             |
| D    |      | Flood Haz   |   |      |      |             |
| s    |      | Topo        |   |      |      |             |
| t    |      | Street      |   |      |      |             |
|      |      | Gas         |   |      |      |             |

**LAND SECTION (First 7 lines only)**

| Use Code | LUC | No of Units | Depth / Price/Units | Unit Type | Land Type | Sq Feet | SITE |
|----------|-----|-------------|---------------------|-----------|-----------|---------|------|
| 105      | 3   | FAMILY      | 3135                |           |           |         |      |

**BUILDING PERMITS**

| Date      | Number     | Descrpt  | Amount | C/O | Last Visit | Fed Code | F. Descrpt | Comment             |
|-----------|------------|----------|--------|-----|------------|----------|------------|---------------------|
| 12/6/2019 | B190001656 | INTERRE  | 12,500 | C   |            |          |            | INSTALL INSULATION  |
| 9/10/2019 | E19000824  | Electric | 8,000  | C   |            |          |            | REWIRE FFL APARTIME |
| 4/17/2015 | 13488      | WOOD DEC | 4,500  | C   |            |          |            | REPLACE FRT DECK    |
| 3/5/2002  | 8468       | Resident | 3,800  | C   |            |          |            | Residential INSTAL  |
| 6/25/2001 | 7723       | Remodel  | 10,500 | C   |            |          |            | Remodel REROOF      |

**ACTIVITY INFORMATION**

| Date      | Result       | By  | Name         |
|-----------|--------------|-----|--------------|
| 8/3/2021  | FIELD REVIEW | 336 | MATT MCGRATH |
| 7/21/2020 | PERMIT       | 336 | MATT MCGRATH |
| 5/18/2017 | MEASURED     | 427 | DEREK        |
| 4/26/2006 | MEASURED     | 336 | MATT MCGRATH |

**SALES INFORMATION**

| Legal Ref | Type | Date       | Sale Price | V           | Tst | Verif | Notes |
|-----------|------|------------|------------|-------------|-----|-------|-------|
| 25472/8   |      | 10/20/2000 | 222,500    | No          | No  |       |       |
| 20490/30  |      | 3/30/1996  |            | CONVENIENCE | 99  | Yes   | No    |

**PREVIOUS ASSESSMENT**

| Tax Yr | Use | Cat  | Blgd Value | Yrd Items | Land Size | Land Value | Total Value | Asses'd Value | Notes         | Date       |
|--------|-----|------|------------|-----------|-----------|------------|-------------|---------------|---------------|------------|
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**PROPERTY FACTORS**

| Item | Code | Description | % | Item | Code | Description |
|------|------|-------------|---|------|------|-------------|
| Z    |      | water       |   |      |      |             |
| o    |      | Sewer       |   |      |      |             |
| n    |      | Electri     |   |      |      |             |
|      |      | Exmpt       |   |      |      |             |
| D    |      | Flood Haz   |   |      |      |             |
| s    |      | Topo        |   |      |      |             |
| t    |      | Street      |   |      |      |             |
|      |      | Gas         |   |      |      |             |

**LAND SECTION (First 7 lines only)**

| Use Code | LUC | No of Units | Depth / Price/Units | Unit Type | Land Type | Sq Feet | SITE |
|----------|-----|-------------|---------------------|-----------|-----------|---------|------|
| 105      | 3   | FAMILY      | 3135                |           |           |         |      |

**BUILDING PERMITS**

| Date      | Number     | Descrpt  | Amount | C/O | Last Visit | Fed Code | F. Descrpt | Comment             |
|-----------|------------|----------|--------|-----|------------|----------|------------|---------------------|
| 12/6/2019 | B190001656 | INTERRE  | 12,500 | C   |            |          |            | INSTALL INSULATION  |
| 9/10/2019 | E19000824  | Electric | 8,000  | C   |            |          |            | REWIRE FFL APARTIME |
| 4/17/2015 | 13488      | WOOD DEC | 4,500  | C   |            |          |            | REPLACE FRT DECK    |
| 3/5/2002  | 8468       | Resident | 3,800  | C   |            |          |            | Residential INSTAL  |
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**ACTIVITY INFORMATION**

| Date      | Result       | By  | Name         |
|-----------|--------------|-----|--------------|
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| 7/21/2020 | PERMIT       | 336 | MATT MCGRATH |
| 5/18/2017 | MEASURED     | 427 | DEREK        |
| 4/26/2006 | MEASURED     | 336 | MATT MCGRATH |

**SALES INFORMATION**

| Legal Ref | Type | Date       | Sale Price | V           | Tst | Verif | Notes |
|-----------|------|------------|------------|-------------|-----|-------|-------|
| 25472/8   |      | 10/20/2000 | 222,500    | No          | No  |       |       |
| 20490/30  |      | 3/30/1996  |            | CONVENIENCE | 99  | Yes   | No    |

**PREVIOUS ASSESSMENT**

| Tax Yr | Use | Cat  | Blgd Value | Yrd Items | Land Size | Land Value | Total Value | Asses'd Value | Notes         | Date       |
|--------|-----|------|------------|-----------|-----------|------------|-------------|---------------|---------------|------------|
| 2021   | 105 | FV   | 380,200    | 0         | 0.072     | 196,500    | 576,700     | 561,500       | Year End Roll | 12/15/2020 |
| 2021   | 105 | PTCH | 365,000    | 0         | 0.072     | 196,500    | 561,500     | 561,500       | patch         | 8/19/2020  |
| 2020   | 105 | FV   | 365,000    | 0         | 0.072     | 196,500    | 561,500     | 561,500       | Year End Roll | 12/18/2019 |
| 2020   | 105 | NC   | 365,000    | 0         | 0.072     | 196,500    | 561,500     | 561,500       | Year End Roll | 10/30/2019 |
| 2019   | 105 | FV   | 298,700    | 0         | 0.072     | 179,200    | 477,900     | 477,900       | Year End Roll | 12/19/2018 |
| 2018   | 105 | fv   | 273,300    | 0         | 0.072     | 161,900    | 435,200     | 435,200       | YER           | 12/29/2017 |
| 2017   | 105 | FV   | 246,100    | 0         | 0.072     | 141,400    | 387,500     | 387,500       | Year End Roll | 12/22/2016 |
| 2016   | 105 | FV   | 213,800    | 0         | 0.072     | 135,200    | 349,000     | 349,000       | Year End      | 12/28/2015 |

**SALES INFORMATION**

| Parcel ID | 15-256-4 |
|-----------|----------|
|-----------|----------|

**PROPERTY FACTORS**

| Item | Code | Description | % | Item | Code | Description |
|------|------|-------------|---|------|------|-------------|
| Z    |      | water       |   |      |      |             |
| o    |      | Sewer       |   |      |      |             |
| n    |      | Electri     |   |      |      |             |
|      |      | Exmpt       |   |      |      |             |
| D    |      | Flood Haz   |   |      |      |             |
| s    |      | Topo        |   |      |      |             |
| t    |      | Street      |   |      |      |             |
|      |      | Gas         |   |      |      |             |

**LAND SECTION (First 7 lines only)**

| Use Code | LUC | No of Units | Depth / Price/Units | Unit Type | Land Type | Sq Feet | SITE |
|----------|-----|-------------|---------------------|-----------|-----------|---------|------|
| 105      | 3   | FAMILY      | 3135                |           |           |         |      |

**BUILDING PERMITS**

| Date      | Number     | Descrpt  | Amount | C/O | Last Visit | Fed Code | F. Descrpt | Comment             |
|-----------|------------|----------|--------|-----|------------|----------|------------|---------------------|
| 12/6/2019 | B190001656 | INTERRE  | 12,500 | C   |            |          |            | INSTALL INSULATION  |
| 9/10/2019 | E19000824  | Electric | 8,000  | C   |            |          |            | REWIRE FFL APARTIME |
| 4/17/2015 | 13488      | WOOD DEC | 4,500  | C   |            |          |            | REPLACE FRT DECK    |
| 3/5/2002  | 8468       | Resident | 3,800  | C   |            |          |            | Residential INSTAL  |
| 6/25/2001 | 7723       | Remodel  | 10,500 | C   |            |          |            | Remodel REROOF      |

**ACTIVITY INFORMATION**

| Date      | Result       | By  | Name         |
|-----------|--------------|-----|--------------|
| 8/3/2021  | FIELD REVIEW | 336 | MATT MCGRATH |
| 7/21/2020 | PERMIT       | 336 | MATT MCGRATH |
| 5/18/2017 | MEASURED     | 427 | DEREK        |
| 4/26/2006 | MEASURED     | 336 | MATT MCGRATH |

**SALES INFORMATION**

| Legal Ref | Type | Date       | Sale Price | V           | Tst | Verif | Notes |
|-----------|------|------------|------------|-------------|-----|-------|-------|
| 25472/8   |      | 10/20/2000 | 222,500    | No          | No  |       |       |
| 20490/30  |      | 3/30/1996  |            | CONVENIENCE | 99  | Yes   | No    |

**PREVIOUS ASSESSMENT**

| Tax Yr | Use | Cat  | Blgd Value | Yrd Items | Land Size | Land Value | Total Value | Asses'd Value | Notes         | Date       |
|--------|-----|------|------------|-----------|-----------|------------|-------------|---------------|---------------|------------|
| 2021   | 105 | FV   | 380,200    | 0         | 0.072     | 196,500    | 576,700     | 561,500       | Year End Roll | 12/15/2020 |
| 2021   | 105 | PTCH | 365,000    | 0         | 0.072     | 196,500    | 561,500     | 561,500       | patch         | 8/19/2020  |
| 2020   | 105 | FV   | 365,000    | 0         | 0.072     | 196,500    | 561,500     | 561,500       | Year End Roll | 12/18/2019 |
| 2020   | 105 | NC   | 365,000    | 0         | 0.072     | 196,500    | 561,500     | 561,500       | Year End Roll | 10/30/2019 |
| 2019   | 105 | FV   | 298,700    | 0         | 0.072     | 179,200    | 477,900     | 477,900       | Year End Roll | 12/19/2018 |
| 2018   | 105 | fv   | 273,300    | 0         | 0.072     | 161,900    | 435,200     | 435,200       | YER           | 12/29/2017 |
| 2017   | 105 | FV   | 246,100    | 0         | 0.072     | 141,400    | 387,500     | 387,500       | Year End Roll | 12/22/2016 |
| 2016   | 105 | FV   | 213,800    | 0         | 0.072     | 135,200    | 349,000     | 349,000       | Year End      | 12/28/2015 |

**SALES INFORMATION**

35 CHEEVER ST 15-254-11  
LUC: 104  
GARAY GAMEZ BESSIE A  
35 CHEEVER ST  
Revere, MA 02151

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37 39 CHEEVER ST 1 15-254-12A-1  
LUC: 102  
CABAN JOSE E  
GUZMAN GLORIA M  
37 CHEEVER ST  
REVERE, MA 02151

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37 39 CHEEVER ST 2 15-254-12A-2  
LUC: 102  
HORTA ADILSON J  
HORTA GISABEL B  
37 CHEEVER ST  
REVERE, MA 02151

---

22 HYDE ST 15-254-13A-0000  
LUC: N/A  
22 HYDE ST CONDO ASSOC  
22 HYDE ST  
REVERE, MA 02151

---

22 HYDE ST 1 15-254-13A-1  
LUC: 102  
HAZIRI SYLEJMAN  
HAZIRI ZYLFI  
22 HYDE ST  
UNIT 1  
REVERE, MA 02151

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22 HYDE ST 2 15-254-13A-2  
LUC: 102  
SMITH GLAVIA J  
22 HYDE ST  
UNIT 2  
Revere, MA 02151

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22 HYDE ST 3 15-254-13A-3  
LUC: 102  
CANETTI MAYRA  
MENDEZ AMANDA  
22 HYDE ST  
UNIT 3  
Revere, MA 02151

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16 HYDE ST 15-254-14  
LUC: 104  
CELAJ ADRIAN  
CELAJ ALMA  
34 STUART ST  
EVERETT, MA 02149

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50 BEACH ST 15-254-17  
LUC: 101  
RODRIGUEZ ANA C  
50 BEACH ST  
REVERE, MA 02151

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44 BEACH ST 15-254-18  
LUC: 101  
LIMA JOSE F  
LIMA IRIS B CRUZ  
44 BEACH ST  
Revere, MA 02151

38 BEACH ST 15-254-19  
LUC: 109  
WONWAJARACHOT VACHAREEPON  
38 BEACH ST  
REVERE, MA 02151

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61 PLEASANT ST 15-256-15  
LUC: 104  
OUCHRAA HASSAN  
61 PLEASANT ST  
REVERE, MA 02151

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65 PLEASANT ST 15-256-16  
LUC: 104  
PELICO HUGO R  
ORTEGO JENNIFER  
65 PLEASANT ST  
REVERE, MA 02151

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73 PLEASANT ST 15-256-17  
LUC: 101  
DREESZEN STEVEN K  
DREESZEN DONNA M  
73 PLEASANT ST  
REVERE, MA 02151

---

75 PLEASANT ST 15-256-18  
LUC: 105  
CARVALHO GILBERTO  
CARVALHO ULRIKE BLICKLING  
66 PLEASANT ST  
REVERE, MA 02151

---

11 HYDE ST 15-256-2  
LUC: 105  
RNN SLOKUM TRUST  
RIZZO KRISTINE NOBILE TRUSTEE  
6 HAYDEN RD  
SAUGUS, MA 01906-4213

---

17 HYDE ST 15-256-3  
LUC: 104  
LOGO SENAD  
LOGO AIDA  
17 HYDE ST  
REVERE, MA 02151

---

23 HYDE ST 15-256-4  
LUC: 105  
TELFORT MARIE  
TELFORT MARC  
23 HYDE ST  
REVERE, MA 02151

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25 HYDE ST 15-256-5  
LUC: 105  
ZEPAJ DEVELOPMENT LLC  
78 MILL ST  
MIDDLETON, MA 01949

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27-29 HYDE ST 15-256-6  
LUC: 105  
27-29 HYDE STREE REALTY TRUST  
RANIERI SUNHEE C TRUSTEE  
99 POND AVE  
APT 410  
BROOKLINE, MA 02445

108 BEACH ST 15-257-1  
LUC: 931  
CITY OF REVERE  
CITY HALL  
281 BROADWAY  
REVERE, MA 02151

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66 PLEASANT ST 15-257-2  
LUC: 104  
CARVALHO GILBERTO  
CARVALHO ULRIKE BLICKLING  
66 PLEASANT ST  
REVERE, MA 02151

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62 PLEASANT ST 15-257-3  
LUC: 104  
REYES GLORIA D  
REYES-RIVAS JULIA E  
82 BEACHLAND AVE  
REVERE, MA 02151

SEARCHED & ATTESTED  
CITY CLERK'S RECORDS OF THE  
CITY CLERK'S OFFICE OF THE  
CITY OF REVERE  
*M. S. Shaller*  
DATE: 10-27-2021

Attachment: PH.C-21-18.HydeStreet (21-403 : C-21-18 Special Permit, 23 Hyde Street)



# REVERE CITY COUNCIL

## COMMITTEE OF THE WHOLE HEARING ON NEW WARD/PRECINCT MAPS

NOVEMBER 15, 2021

### Staff:

Reuben Kantor, Chief Innovation Officer

Diane Colella, Elections Commissioner

Dimple Rana, Director of Community Health & Engagement

Jackie McLaughlin, Mayor's Office

Kate Cook, Attorney, Sugerman, Rodgers, Barshak & Cohen

James Klugh, GIS Specialist, CDM Smith

[www.revere.org/RedrawingRevere](http://www.revere.org/RedrawingRevere)



# PROCESS REVIEW

# WHY ARE WE REDRAWING REVERE?

- After every decennial census
- Primary goals in redrawing boundaries:
  1. Legal Requirement: Balance population numbers in each ward and precinct across the City
  2. Legal Requirement: Must ensure that Communities of Interest are neither “packed” or “fragmented” in voting districts
  3. Listen to resident, Elected Official feedback
  4. Provide geographic consistency and logic

# REDRAWING REVERE CALENDAR

- **May, 2021.** First public meeting. Over 100 participants.
- **June-July, 2021.** Conversations with residents, youth, advocates
- **August, 2021.** Census data released. New Revere Data announced.
- **September 17, 2021.** Redrawing Revere publishes 6 draft maps for public response and feedback.
- **September 22, 2021.** Online Townhall.
- **Early October.** Legislature adjusts the district redrawing calendar, flips legislature/municipality order.
- **Mid- and late-October.** Legislature announces and passes new legislative boundaries.
- **November 4.** Redrawing Revere submits new map to Council, based on feedback, legislative boundaries.
- **December 15.** Final maps must be approved by the state.



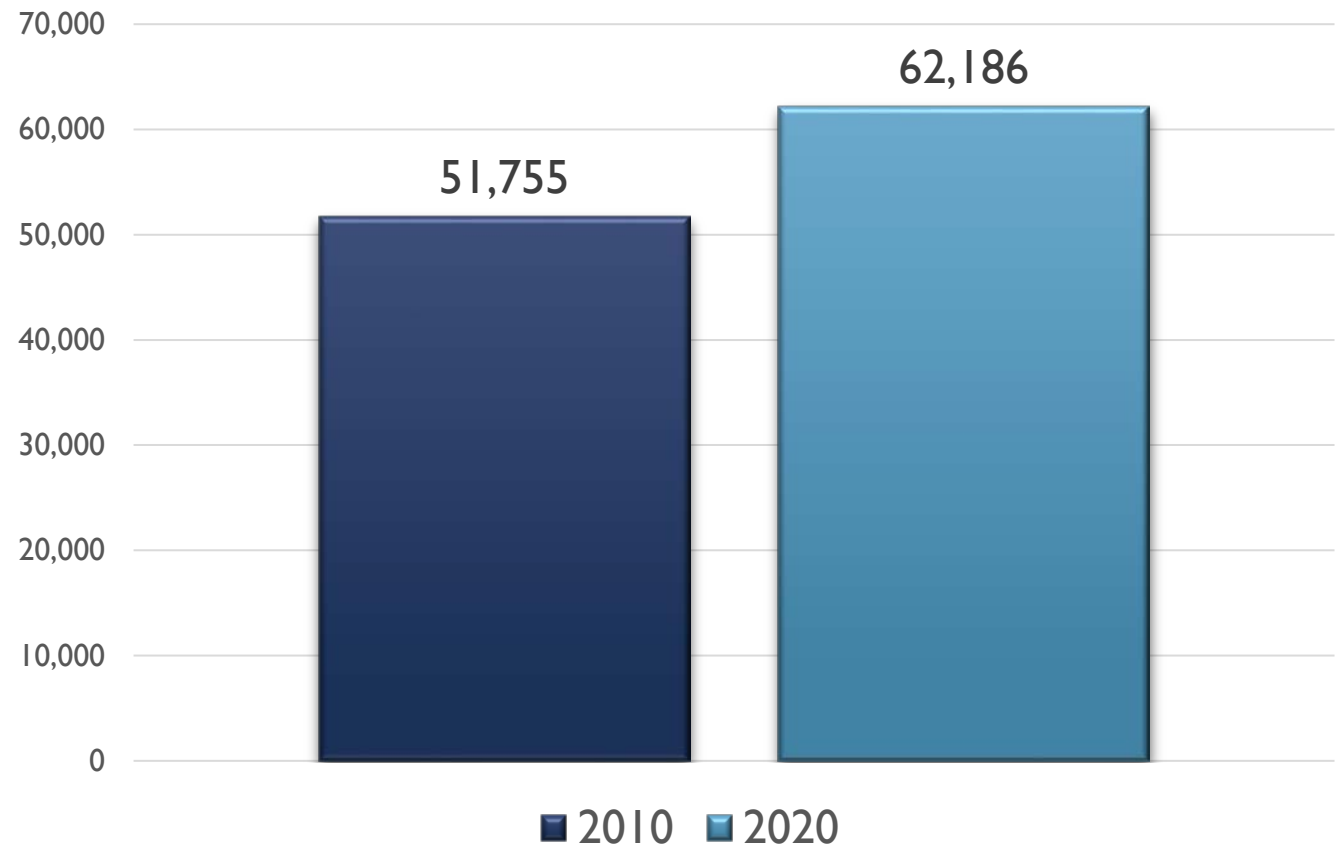
# CENSUS 2020 DATA REVIEW: *WHAT HAS CHANGED*

# POPULATION GROWTH SINCE 2010

## Highlights

- 20.2% growth since 2010
- Average ward size grows from 8,626 to 10,364 residents.

### Revere Population

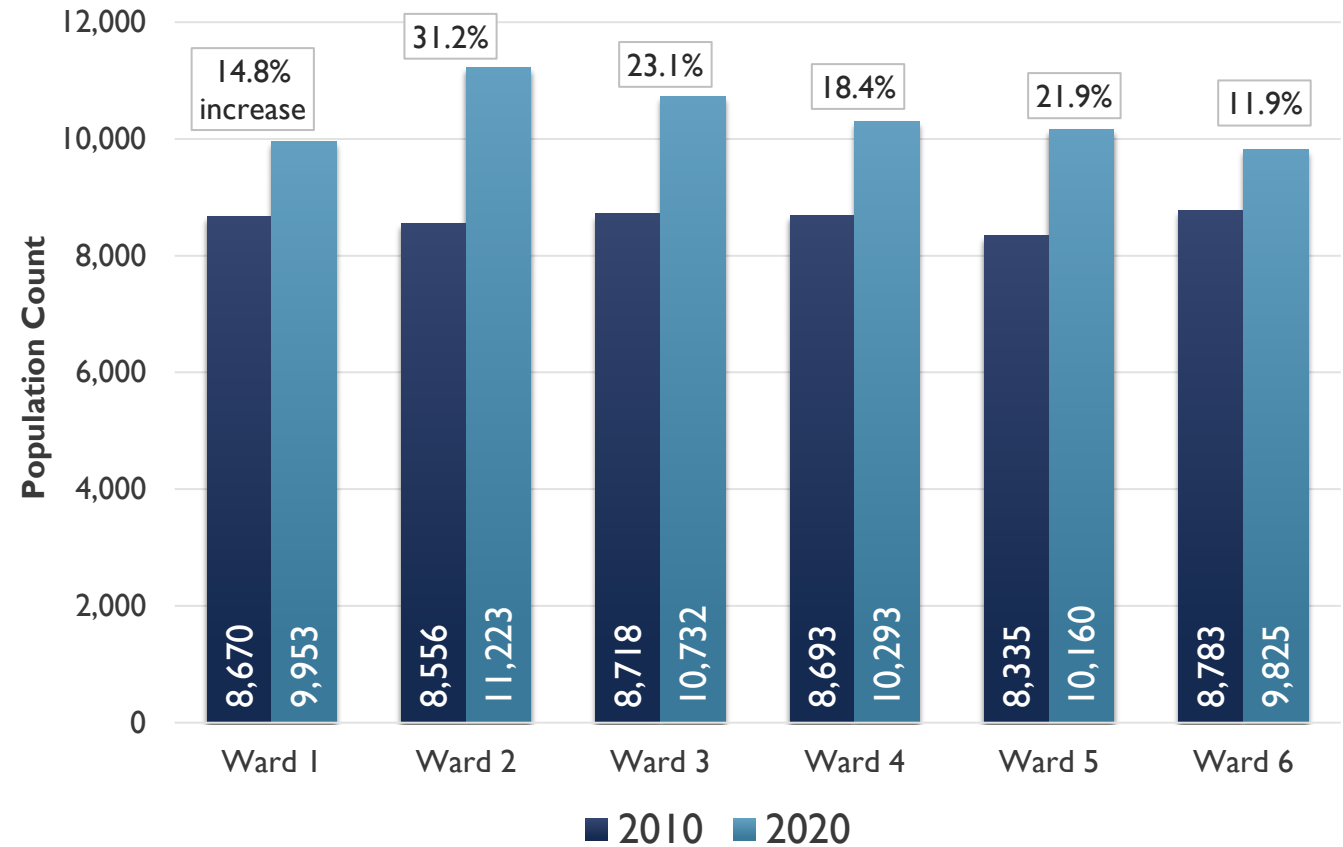


# POPULATION GROWTH BY WARD

## Highlights

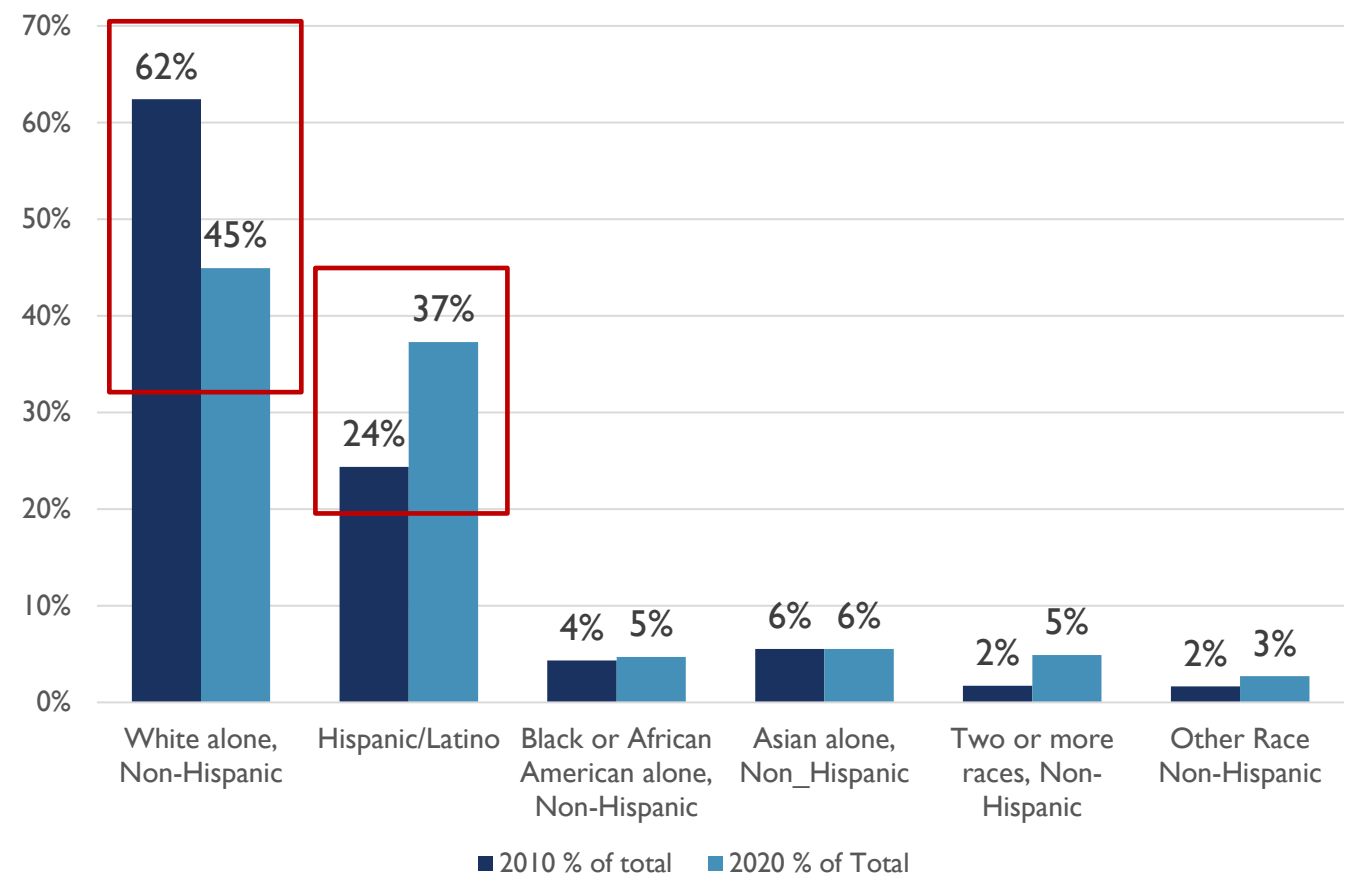
- Growth in population in every ward in the city, ranging from 12% increase in Ward 6 to a 31% increase in Ward 2.

### Ward Population and Percent Increase





### Population Share: 2010 to 2020



**CHANGE IN DEMOGRAPHIC SHARE OF POPULATION: 2010 TO 2020**



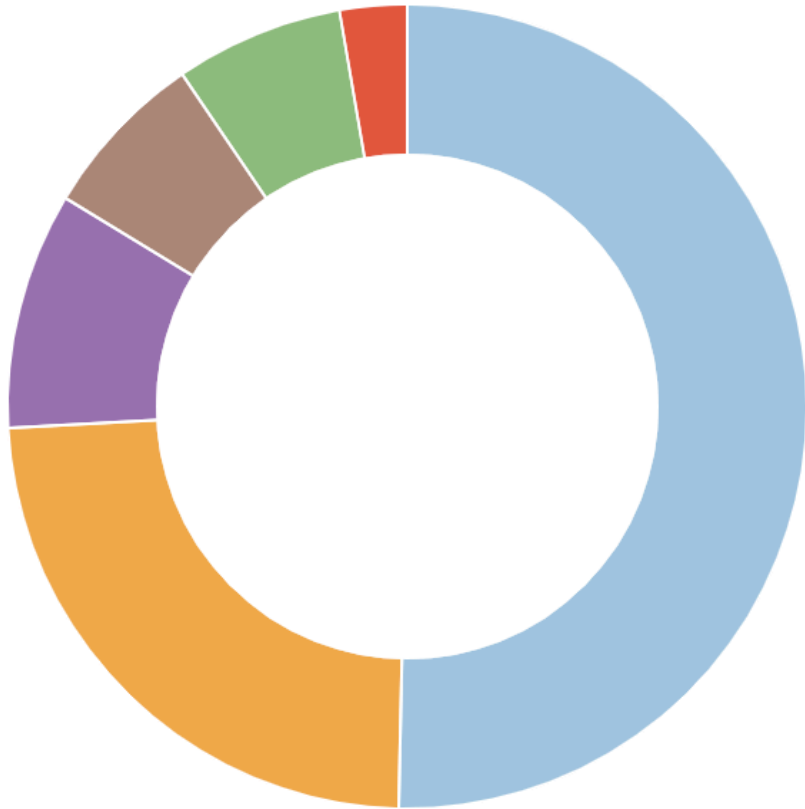
# FEEDBACK TO CITY STAFF ON REDRAWING REVERE

## PRE-CENSUS WRITTEN FEEDBACK

- Roosevelt Street to Bossom Street East should be realigned and added to Ward 5 which would include the Paul Revere School into Ward 5
- Ward 5 should be more compact and not snake around the way it currently does. The area north of Hutchinson St - Revere St connection should be moved into Ward 5
- The sections of of Butler St, Bixby St , Elm St and Library St that are part of ward 5, should join Beachmont.
- Ward 3 north of Revere Street is always lumped in with Squire Rd which makes no sense....Anything West of Rt. 60 should be part of a different ward. Similarly, we should be part of a ward that includes the beach and Oak Island.
- The neighborhoods of Ward I Precinct 3 are separated from the rest of Ward I by the parkway and Route 1A. Most people in Revere assume that Ward I is simply Beachmont.
- Please reunify both sides of Oakwood Avenue to be in the same Ward - either 4 or 6. I live on the odd side and we were split from Ward 6 - which is the even side. Thank you.

### Which Draft Map Is Your Favorite?

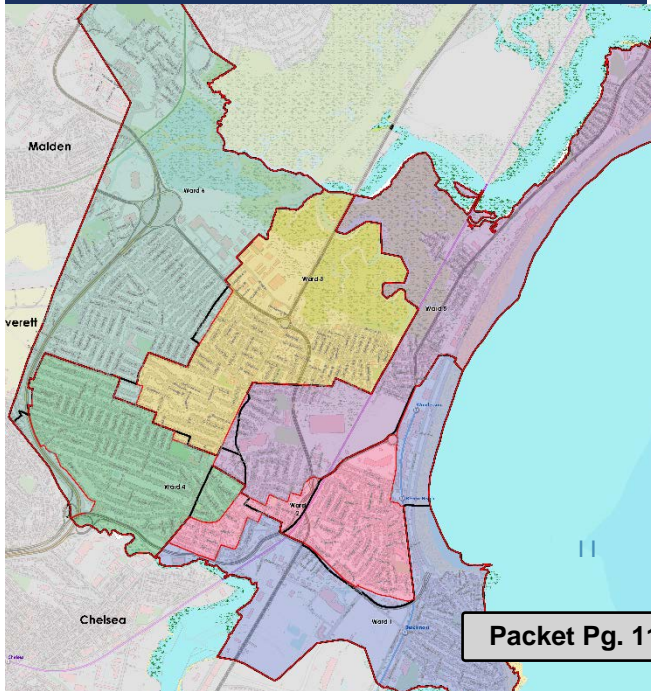
After reviewing the maps below tell us which one is your favorite and why.



- 50% **\*Draft 5.\* Hispanic/Latino super majority**
- 24% **\*Draft 1.\* Minimal Geographic Change within 5% Deviation**
- 10% **\*Draft 6.\* Secretary of State Proposal**
- 7% **\*Draft 3.\* Geographic Consistency Version 1**
- 7% **\*Draft 4.\* Geographic Consistency Version 2**
- 3% **\*Draft 2.\* Minimal Geographic Change within 2% Deviation**

147 respondents

# POST CENSUS: MAP SURVEY



Draft 5

I think making the least amount of changes to each Ward would work the best. The others Maps I think would cause a lot of confusion. It seems to be hard enough to be people to vote, too many changes might deter them more from showing up at the polls.

Draft 5 is the one that represents the diversity of our city the best.

Fairest way to ensure representation

Ward 6 is the best option.

People of color

Draft 4 seems to be the fairest in regards to population

Draft 5 es la mejor opcion

5

I like draft 3 or 6

Keep things as close to how they are as legally possibly.

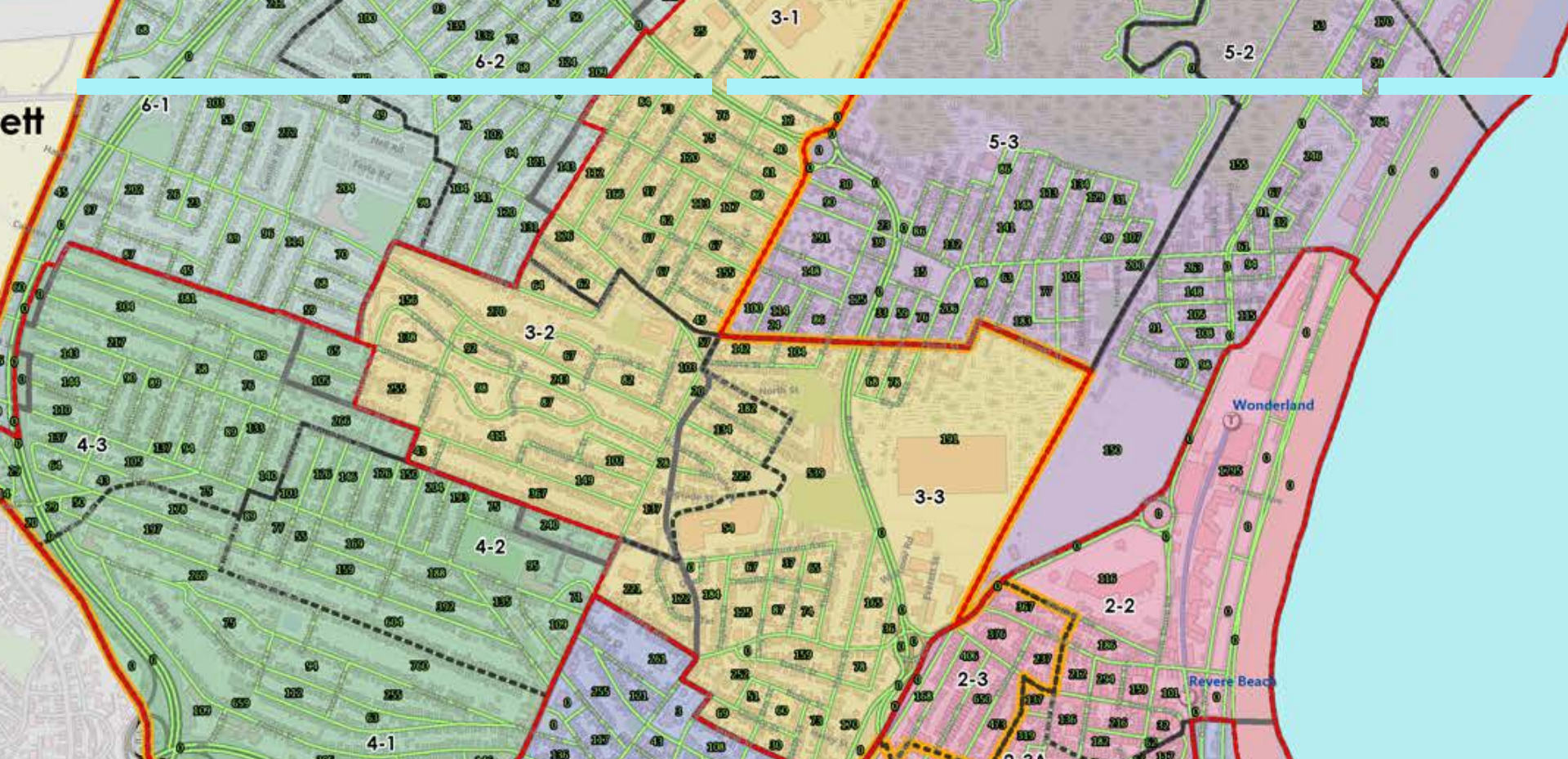
Draft 5.

5

Draft 4 seems to be the fairest in regards to population

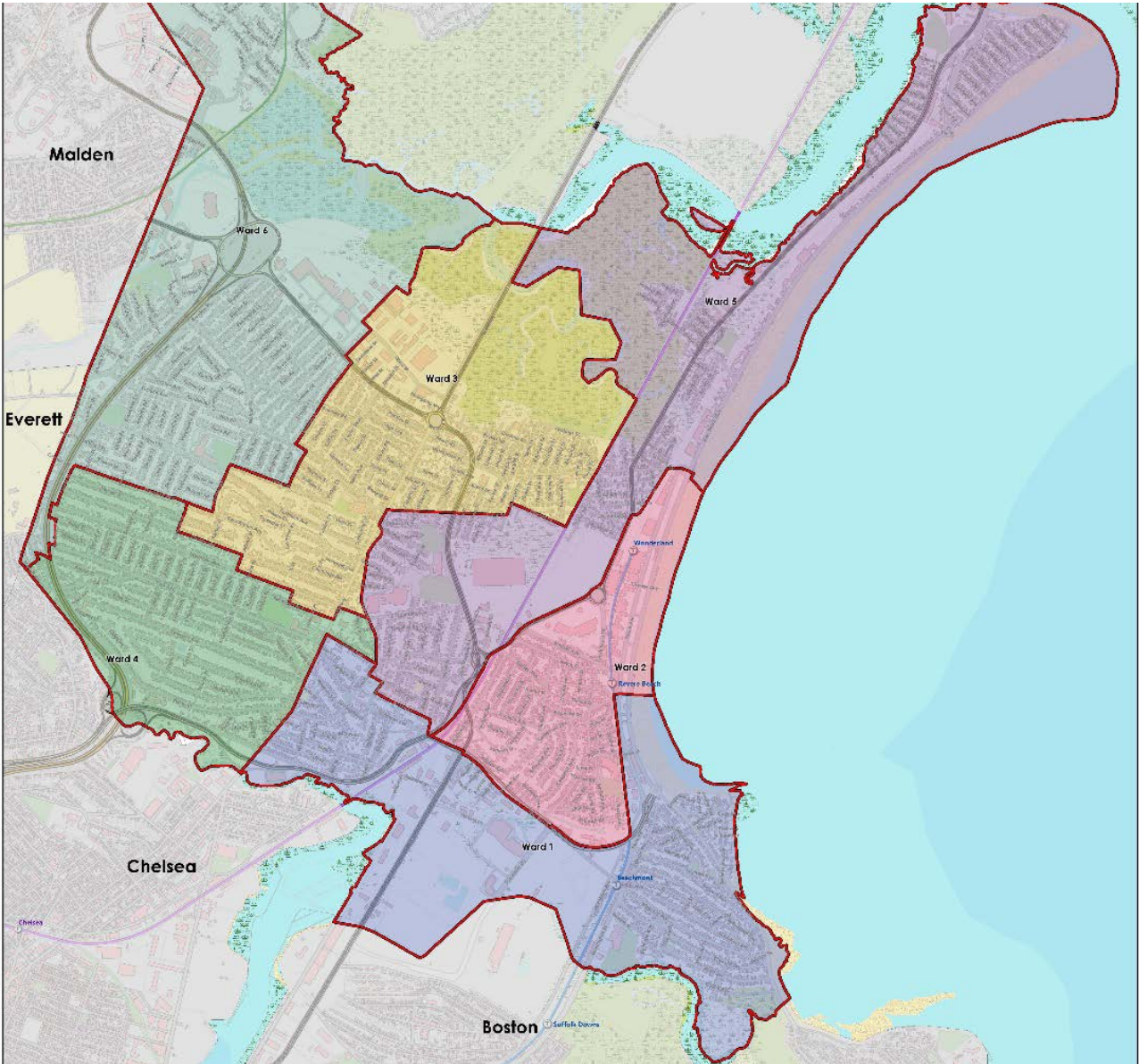
# COMMENTS ON THE MAPS





# MAPS

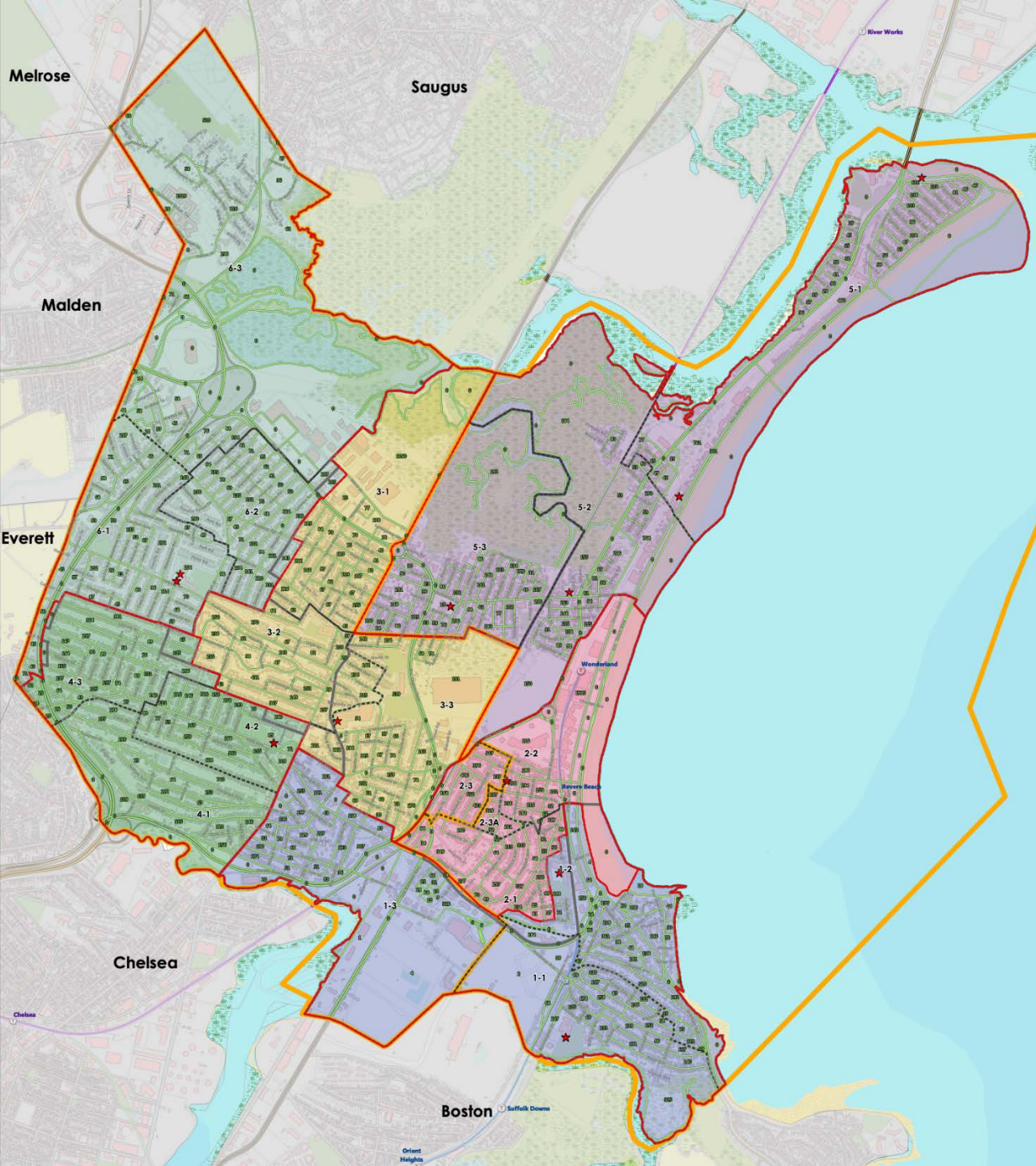




# CURRENT WARD BOUNDARIES



















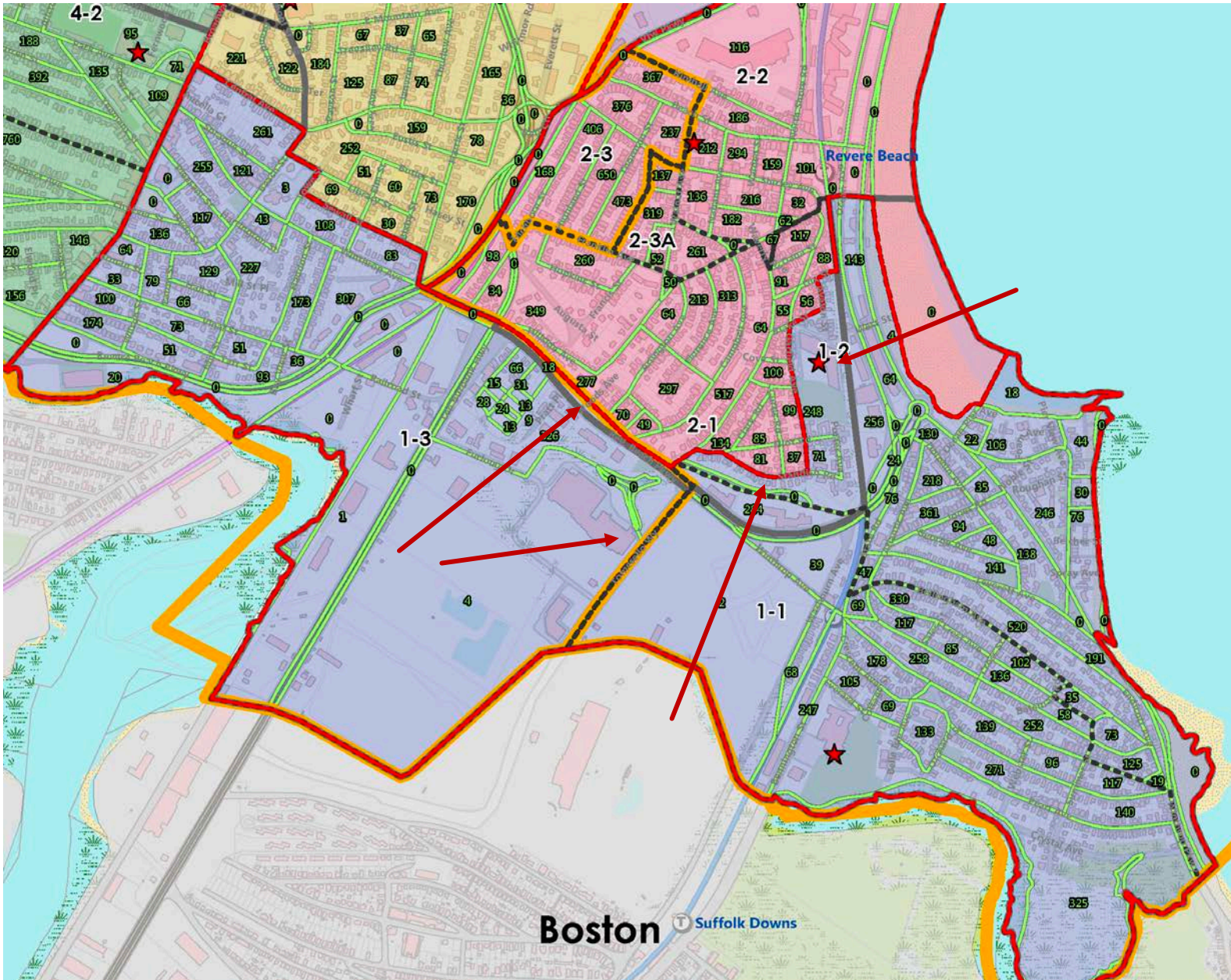
# PROPOSED REVERE WARD/PRECINCT MAP

**Legend**

|   |        |   |                               |
|---|--------|---|-------------------------------|
|  | Ward 1 |  | Wetland                       |
|  | Ward 2 |  | Water                         |
|  | Ward 3 |  | Parcels                       |
|  | Ward 4 |  | Precincts                     |
|  | Ward 5 |  | Proposed State House Boundary |
|  | Ward 6 |  | Current Ward Boundaries       |





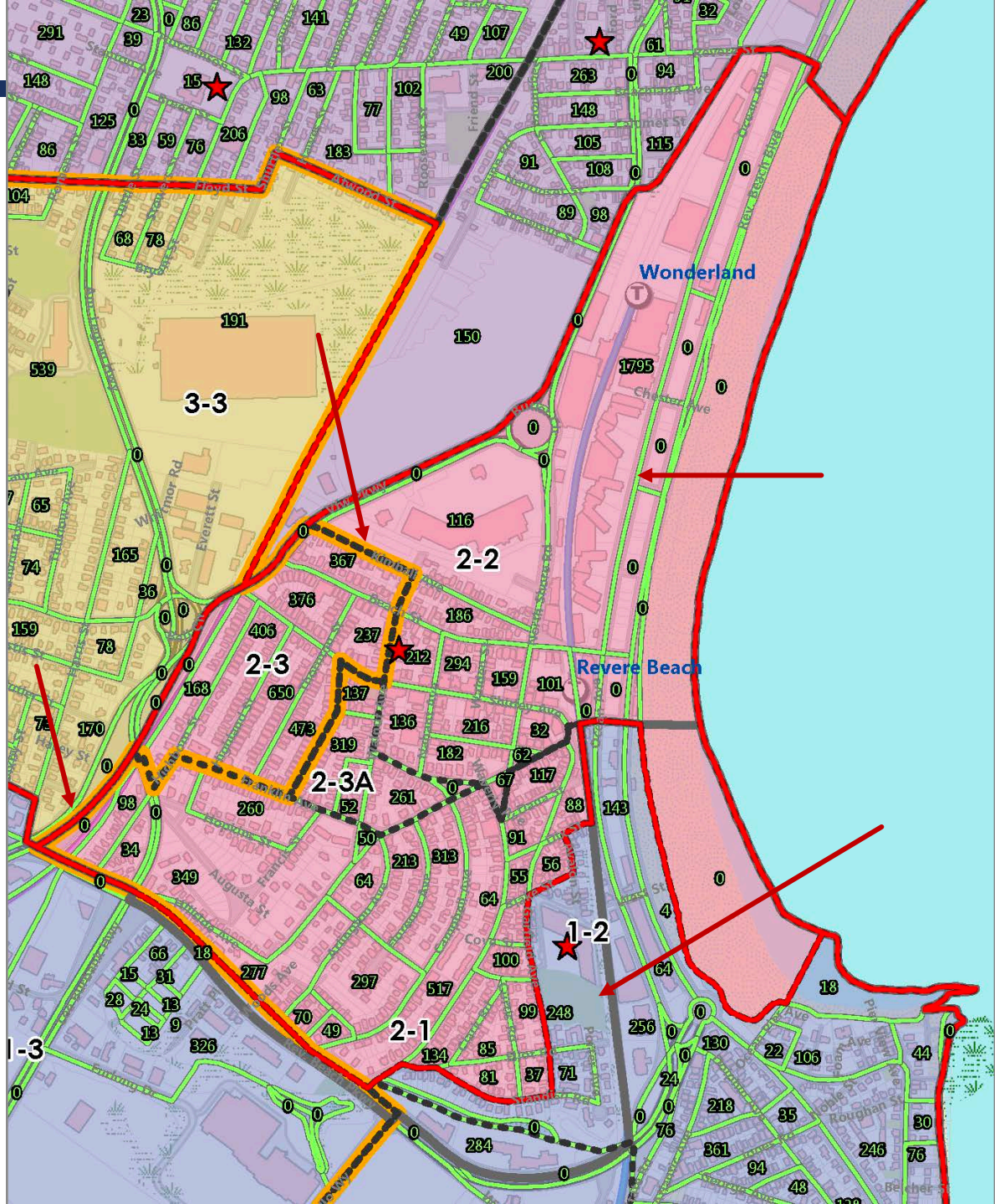


# WARD 1

**Legend**













|  |        |  |                               |
|--|--------|--|-------------------------------|
|  | Ward 1 |  | Wetland                       |
|  | Ward 2 |  | Water                         |
|  | Ward 3 |  | Parcels                       |
|  | Ward 4 |  | Precincts                     |
|  | Ward 5 |  | Proposed State House Boundary |
|  | Ward 6 |  | Current Ward Boundaries       |



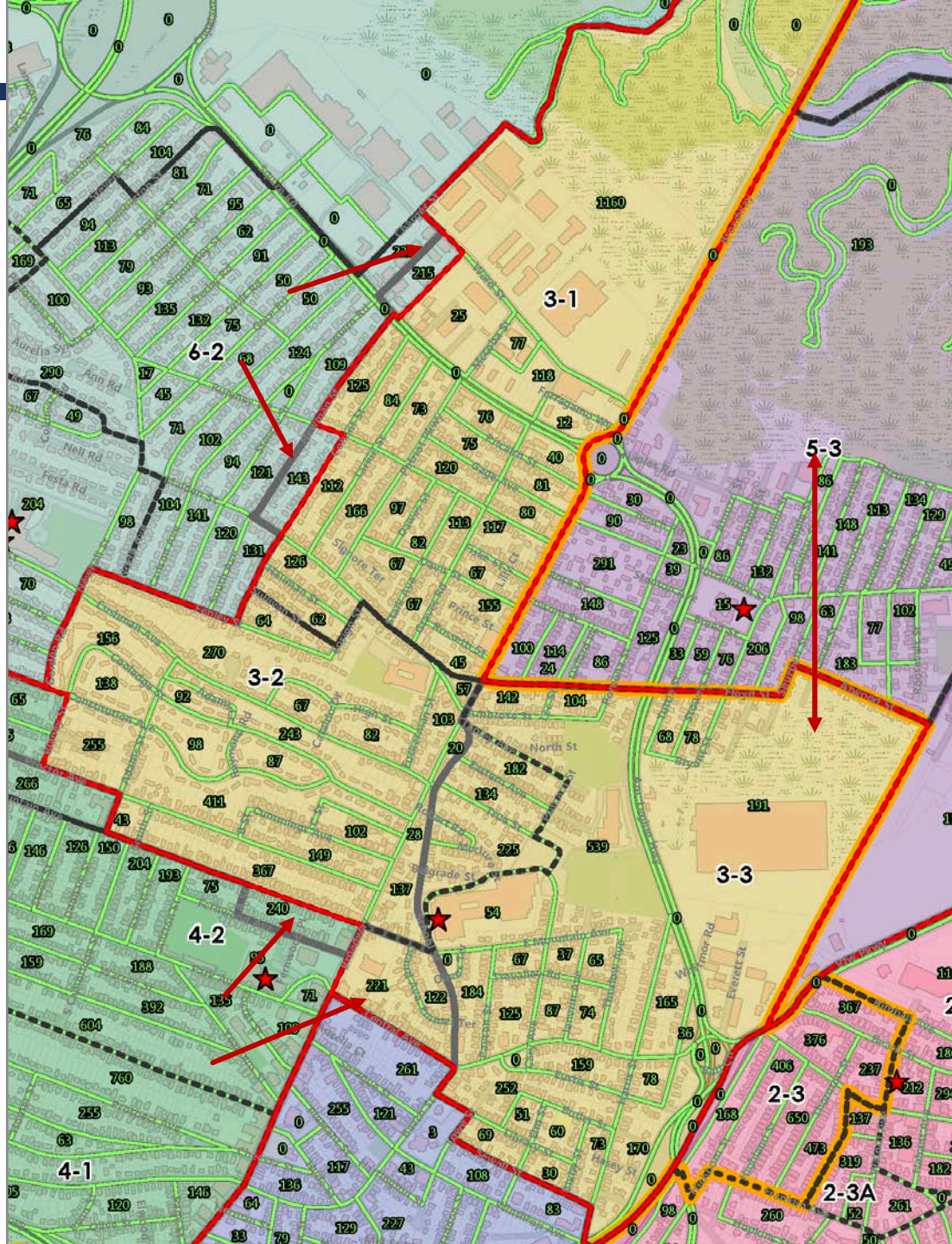


# WARD 2

**Legend**

|   |        |   |                               |
|---|--------|---|-------------------------------|
|  | Ward 1 |  | Wetland                       |
|  | Ward 2 |  | Water                         |
|  | Ward 3 |  | Parcels                       |
|  | Ward 4 |  | Precincts                     |
|  | Ward 5 |  | Proposed State House Boundary |
|  | Ward 6 |  | Current Ward Boundaries       |



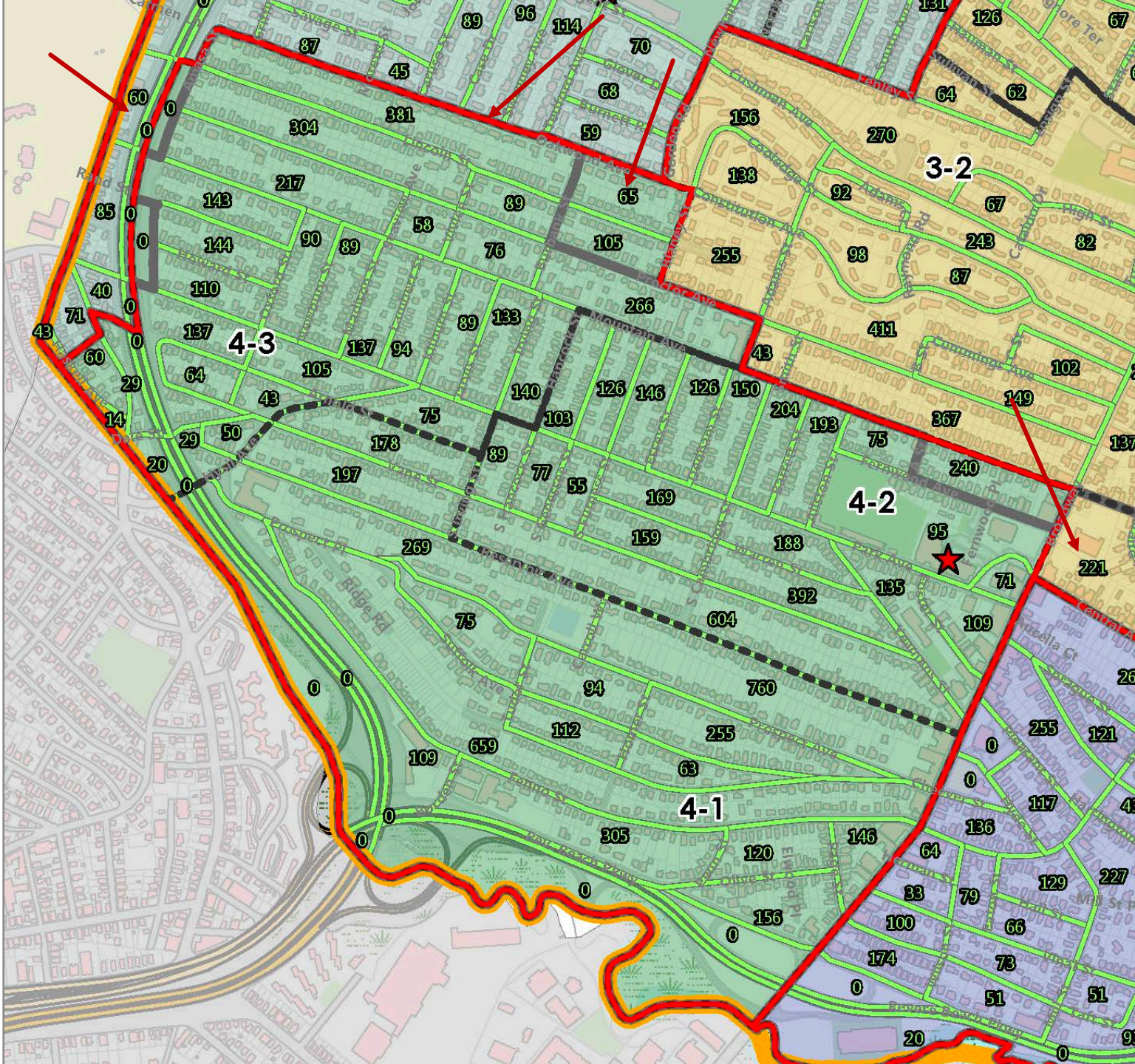


# WARD 3

**Legend**













|                         |                               |
|-------------------------|-------------------------------|
| Ward 1                  | Wetland                       |
| Ward 2                  | Water                         |
| Ward 3                  | Parcels                       |
| Ward 4                  | Precincts                     |
| Ward 5                  | Proposed State House Boundary |
| Ward 6                  |                               |
| Current Ward Boundaries |                               |



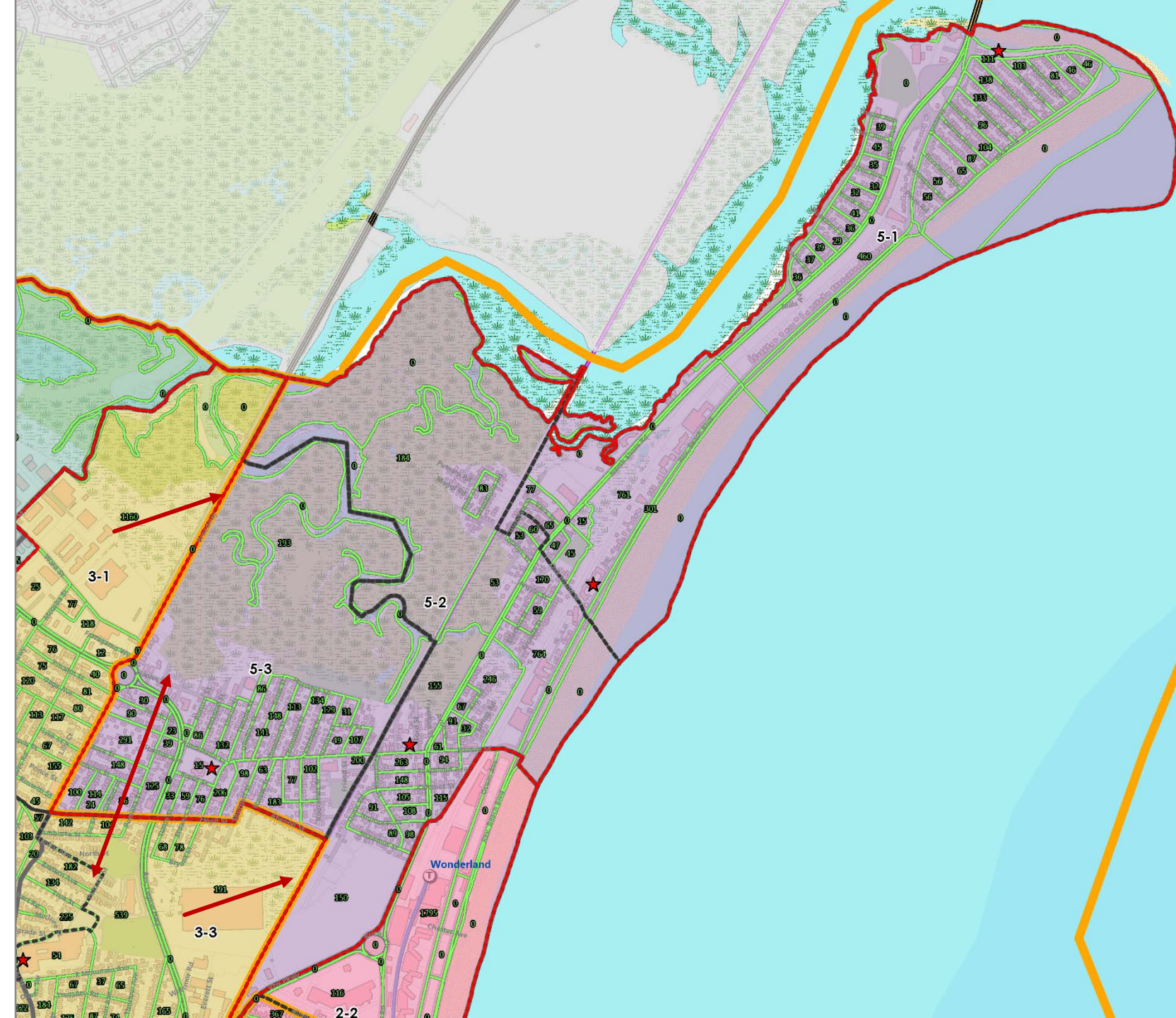


# WARD 4

**Legend**













|   |        |   |                               |
|---|--------|---|-------------------------------|
|  | Ward 1 |  | Wetland                       |
|  | Ward 2 |  | Water                         |
|  | Ward 3 |  | Parcels                       |
|  | Ward 4 |  | Precincts                     |
|  | Ward 5 |  | Proposed State House Boundary |
|  | Ward 6 |  | Current Ward Boundaries       |



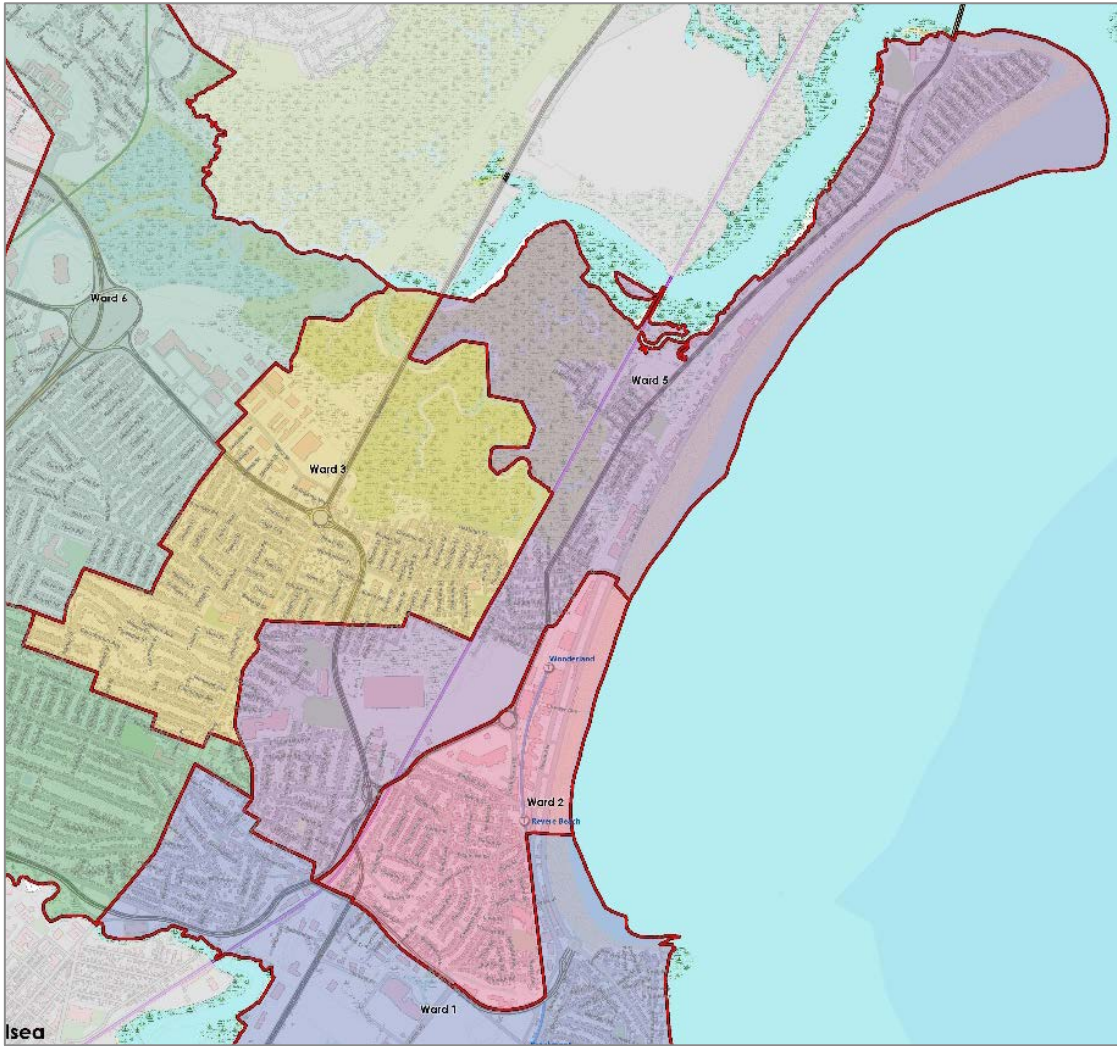


# WARD 5

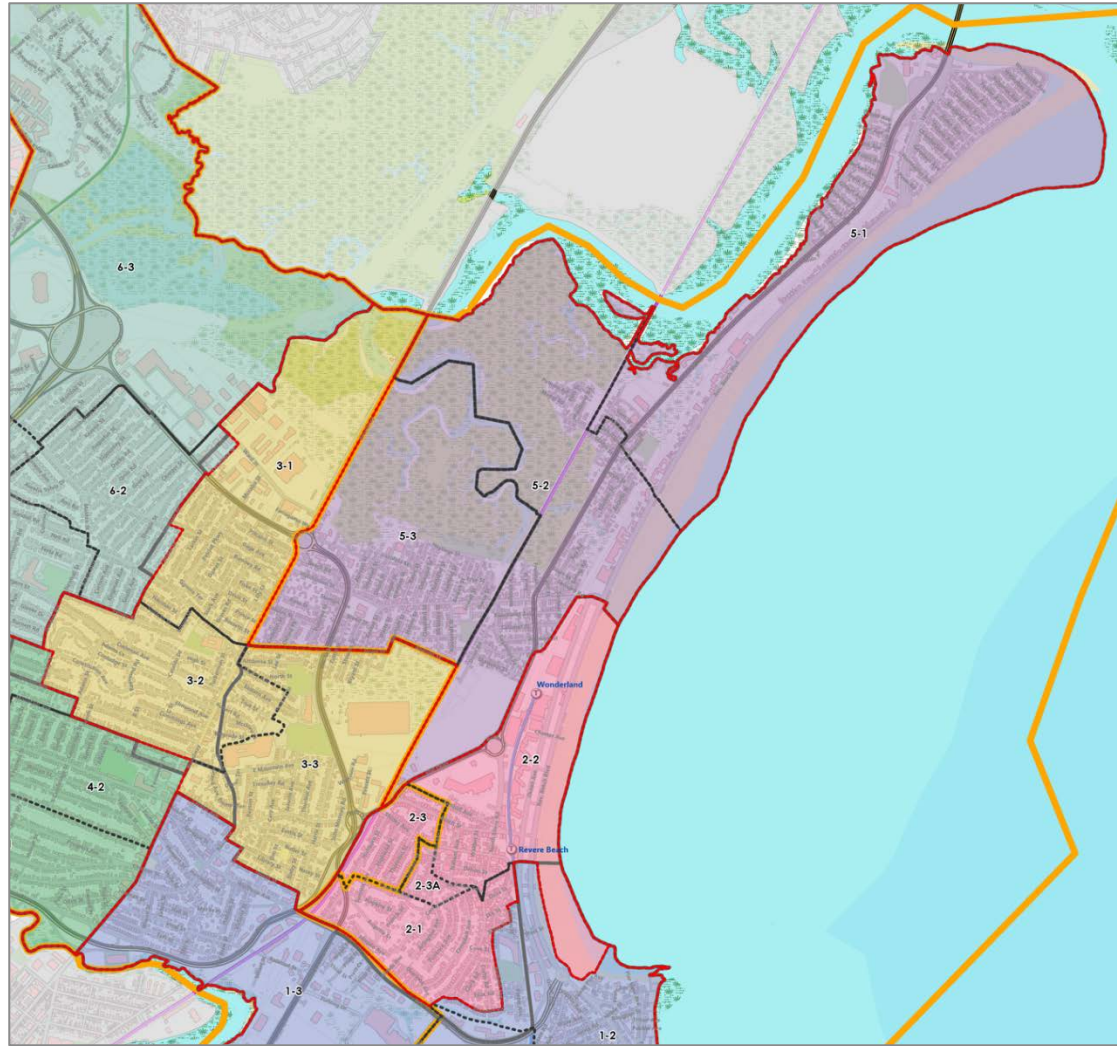
**Legend**

|  |   |
|--|---|
|  Ward 1 |  Wetland                       |
|  Ward 2 |  Water                         |
|  Ward 3 |  Parcels                       |
|  Ward 4 |  Precincts                     |
|  Ward 5 |  Proposed State House Boundary |
|  Ward 6 |  Current Ward Boundaries       |





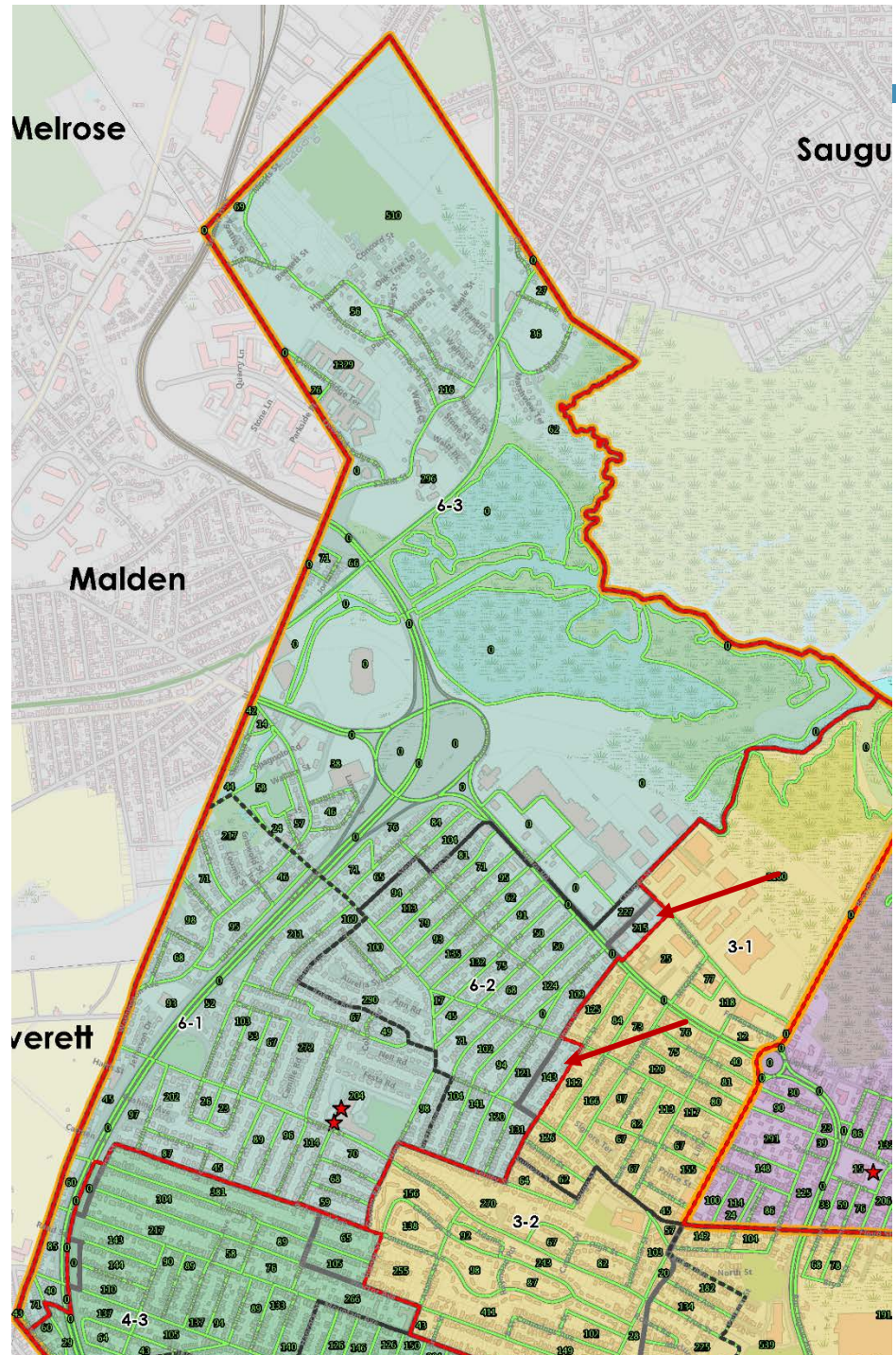
**Existing Wards 3 and 5**



**Proposed Wards 3 and 5**

Attachment: CommitteeoftheWholeReprecinctingMapPresentation (21-385 : 2021





# WARD 6

**Legend**

|        |                               |
|--------|-------------------------------|
| Ward 1 | Wetland                       |
| Ward 2 | Water                         |
| Ward 3 | Parcels                       |
| Ward 4 | Precincts                     |
| Ward 5 | Proposed State House Boundary |
| Ward 6 | Current Ward Boundaries       |

| Ward | Population | Deviation | Hispanic | NH_White | NH_Black | NH_Asian | NH_Other | NH_2+Races | Voting Age Population | Pop of Voting Age | Hispanic Voting Age | NH_White Voting Age | NH_POC Voting Age |
|------|------------|-----------|----------|----------|----------|----------|----------|------------|-----------------------|-------------------|---------------------|---------------------|-------------------|
| 1    | 10,574     | 2.0%      | 41.5%    | 44.7%    | 3.6%     | 3.9%     | 2.2%     | 4.1%       | 8,690                 | 82.2%             | 39.4%               | 47.0%               | 13.6%             |
| 2    | 10,602     | 2.3%      | 50.3%    | 30.5%    | 4.7%     | 8.3%     | 2.6%     | 3.6%       | 8,320                 | 78.5%             | 47.3%               | 32.9%               | 19.8%             |
| 3    | 10,233     | -1.3%     | 34.7%    | 46.2%    | 4.8%     | 4.6%     | 2.9%     | 6.5%       | 7,855                 | 76.8%             | 32.2%               | 49.7%               | 18.2%             |
| 4    | 10,360     | 0.0%      | 41.1%    | 41.9%    | 5.1%     | 4.5%     | 2.7%     | 4.4%       | 8,140                 | 78.6%             | 38.2%               | 45.5%               | 16.4%             |
| 5    | 10,234     | -1.3%     | 31.3%    | 52.7%    | 4.4%     | 4.3%     | 2.4%     | 4.7%       | 8,232                 | 80.4%             | 28.2%               | 56.7%               | 15.1%             |
| 6    | 10,183     | -1.7%     | 23.9%    | 54.3%    | 5.5%     | 7.5%     | 2.6%     | 6.1%       | 8,287                 | 81.4%             | 21.3%               | 57.5%               | 21.2%             |

# WARD DATA



# DISCUSSION



BRIAN M. ARRIGO  
Mayor

# The City of REVERE, MASSACHUSETTS

## Director of Economic Development

281 Broadway, Revere, MA 02151

(781) 286-8201

www.revere.org

TO: Honorable City Council  
 FROM: Site Plan Review Committee *FS*  
 RE: Special Permit for Funeral Home at 9 Mountain Ave. and Parking Lot at 100 School St.  
 DATE: November 16, 2021

Please be advised that the Site Plan Review Committee has reviewed the above referenced special permit request for the construction of a funeral home at 9 Mountain Ave. and ancillary parking lot at 100 School Street. The following findings and recommendations have been made with respect to this special permit site plan:

1. The driveway along the west side of the funeral home shall be screened from the abutting residential property by a 6 ft PVC stockade fence and the parking lot shall be screened from abutting residential properties by a 6 ft stockade fence and a 6 ft wide landscaped buffer area around the perimeter of the parking lot.
2. New concrete sidewalks and granite curbing shall be installed along the full frontage of the proposed parking lot and funeral home and all driveways shall have granite curb butts.
3. A landscaping plan for the proposed parking lot and funeral home shall be approved by the Site Plan Review Committee.
4. The operation of the funeral home hours shall be coordinated as to not conflict with the peak hours for the opening and closing of each high school day.
5. The parking lot shall be paved and striped including pavement marking arrows showing traffic circulation for exit and entrance.
6. The final plans shall be reviewed and approved by the Fire Dept. for compliance with fire safety codes.
7. Water, sewer and drainage plans shall be reviewed and approved by the City Engineer and Chief of Infrastructure and all abandoned utilities shall be capped at the main and removed.
8. The final plans for the building and parking lot shall be reviewed and approved by the Site Plan Review Committee.





# The City of REVERE, MASSACHUSETTS

## Director of Economic Development

281 Broadway, Revere, MA 02151

(781) 286-8201

www.revere.org

BRIAN M. ARRIGO  
Mayor

TO: Honorable City Council  
 From: Site Plan Review Committee *FS*  
 RE: 44 Railroad Ave. – Special Permit  
 DATE: November 16, 2021

Please be advised that the Site Plan Review Committee has reviewed the above referenced site plan for a commercial parking lot facility for 220 vehicles and a recreational marijuana facility at 44 Railroad Ave. The following findings and recommendations have been made with respect to this special permit site plan:

1. The parking lot layout plans shall be reviewed and approved by the Fire Dept. with respect to fire safety codes.
2. A standing accessory sign shall be installed in a landscaped island at the site entrance drive and shall be setback at least 10 feet from the right of way. The accessory sign shall be a low profile sign to be approved by the Site Plan Review Committee.
3. Fencing shall be installed around the perimeter of the site with a security gate at the commercial parking lot entrance.
4. The entrance drive shall include signage designating entrance and exit drives at the site.
5. Proper illumination shall be provided including all entrances to the buildings, parking lots and entrance drives.
6. The site shall include pavement markings for the designated entrance for two-way traffic including pavement marking arrows showing traffic circulation within the site.
7. A raised planter shall be installed separating the entrance drive from the abutting property parking lot to the south and the installation of a permeable paver strip separating the parking lot to the north of the entrance drive.
8. A final landscaping plan must be approved by the Site Plan Review Committee.

9. The water, sewer and stormwater management plan must be approved by the City Engineer and DPW Chief of Infrastructure.
  
10. A final as-built plan including the location of all parking spaces, fencing and landscaping plan must be filed with the Site Plan Review Committee prior to the issuance of an occupancy permit. The final as-built plan shall show the location of all utilities within the site including water, sewer and drainage.



BRIAN M. ARRIGO  
Mayor

# The City of REVERE, MASSACHUSETTS

## Director of Economic Development

281 Broadway, Revere, MA 02151

(781) 286-8201

www.revere.org

TO: Honorable City Council  
 FROM: Louis Ciarlone, Planning Board Chairman *LC*  
 RE: Zoning Amendment for automotive/truck rental office and storage  
 DATE: September 29, 2021

Please be advised that pursuant to Section 17.56.010, subsequent to a public hearing held by the Planning Board on September 28, 2021, it was voted at a regular meeting held on September 28, 2021, to favorably recommend the zoning amendment to allow "automotive/truck rental office and storage" by special permit within the HB District with the following modifications:

1. That the minimum lot size be increased to 25,000 s.f.
2. That any vehicles be limited to no more than a GVW 8,000 lb limit.



BRIAN M. ARRIGO  
Mayor

# The City of REVERE, MASSACHUSETTS

## Director of Economic Development

281 Broadway, Revere, MA 02151

(781) 286-8201

www.revere.org

TO: Honorable City Council  
 FROM: Revere Planning Board *FS*  
 RE: Revere Street Zoning Map Amendment  
 DATE: November 16, 2021

Please be advised that pursuant to Section 17.56.010, subsequent to a public hearing held by the Planning Board on November 16, 2021, it was voted at a regular meeting held on November 16, 2021, to favorably recommend to the City Council adoption of a zoning map amendment to change the zoning of parcels 17-281-1, 17-280-1, 17-280-2 and 17-280-3 from RB to GB.



THE CITY OF REVERE MASSACHUSETTS  
 DIANE R. COLELLA  
 ELECTION COMMISSIONER  
 EMAIL: DCOLELLA@REVERE.ORG

CITY HALL  
 281 BROADWAY  
 REVERE, MA 02151  
 781-286-8200 X1  
 781-286-8206 fax

November 12, 2021

Honorable Revere City Councillors  
 C/o Revere City Hall  
 281 Broadway  
 Revere, MA 02151

Dear Honorable Councillors,

Enclosed for your review and approval is the Warrant for the upcoming Special State Primary for Senator in General Court, First Suffolk and Middlesex Senate District on Tuesday, December 14, 2021, to fill the vacancy caused by the resignation of Senator Joseph A. Boncore.

Please let me know if you have any questions.

Respectfully submitted,

Diane R. Colella  
 Election Commissioner  
 City of Revere

Enclosure



**COMMONWEALTH OF MASSACHUSETTS  
WILLIAM FRANCIS GALVIN  
SECRETARY OF THE COMMONWEALTH**

**ESTADO DE MASSACHUSETTS  
WILLIAM FRANCIS GALVIN  
SECRETARIO DEL ESTADO**

**SS. SUFFOLK COUNTY  
CONDADO DE SUFFOLK**

To the City Clerk of the City of Revere  
A la secretaria de la Ciudad De Revere

**GREETINGS:  
SALUDOS:**

In the name of the Commonwealth of Massachusetts, you are hereby required to notify and warn the inhabitants of the City of Revere who are qualified to vote in a Special State Primary to vote at:

En nombre del Estado de Massachusetts, usted está requerida por la presente para notificar y advertir a los habitantes de la Ciudad de Revere calificados votar en una primaria estatal especial para votar en:

|                                     |  |
|-------------------------------------|--|
| <b>WARD 1 PRECINCTS 1, 2, and 3</b> | Beachmont Veteran's Memorial School<br>15 Everard Street, Gymnasium,<br>Entrance on Bennington Street. |
| <b>WARD 2 PRECINCTS 1, AND 3A.</b>  | Garfield Magnet School, 176 Garfield Avenue, Gymnasium.  |
| <b>WARD 2 PRECINCTS 2 AND 3</b>     | Carl Hyman Towers,<br>50 Walnut Avenue, Community Room.  |
| <b>WARD 3 PRECINCTS 1, 2, AND 3</b> | Saint Anthony's Church, 250 Revere Street,<br>Bingo Hall, Rear Entrance.                               |
| <b>WARD 4 PRECINCTS 1, 2 AND 3</b>  | Staff Sargent James J. Hill Elementary School<br>51 Park Avenue, Parking lot entrance, Cafeteria       |
| <b>WARD 5 PRECINCT 1</b>            | Point of Pines Yacht Club<br>28 Rice Avenue  |
| <b>WARD 5 PRECINCT 1A AND 2</b>     | Jack Satter House<br>420 Revere Beach Boulevard, Community Room  |
| <b>WARD 5 PRECINCT 2A</b>           | Turkish Cultural Center<br>500 Revere Street, Rear Entrance  |
| <b>WARD 5 PRECINCT 3</b>            | Revere High School<br>101 School Street, Foyer, Front Entrance.  |
| <b>WARD 6 PRECINCTS 1 AND 2</b>     | West Revere Complex, A.C. Whelan School<br>107 Newhall Street, Gymnasium, Sargent Street Entrance.     |
| <b>WARD 6 PRECINCT 3</b>            | West Revere Complex, A.C. Whelan School<br>107 Newhall Street, Cafeteria, Rear Entrance.               |

On **TUESDAY, THE FOURTEENTH DAY OF DECEMBER 2021** from 7:00 A.M. to 8:00 P.M. for the following purpose:  
 el martes, catorce de diciembre de 2021, de 7:00 a.m. a 8:00 p.m. para el siguiente propósito:

To cast their votes in the Special State Primary for the candidates of political parties for the following offices:

Para emitir sus votos en la primaria estatal especial de los candidatos de los partidos políticos para las siguientes oficinas.

SENATOR IN GENERAL COURT  
 SENADOR EN LA CORTE GENERAL

FIRST SUFFOLK AND MIDDLESEX DISTRICT  
 PRIMER DISTRITO DE SUFFOLK Y MIDDLESEX

Hereof fail not and make return of this warrant with your doings thereon at the time and place of said voting.

No se incumpla este mandato y devuélvalo con sus respuestas en el momento y lugar dichos para votar.

Given under our hands this 22nd day of November 2021.  
 Dado por nuestras manos este 22nd día de noviembre de 2021.

You are hereby directed to deliver an attested copy to the precinct wardens.  
 Usted está por la presente obligada a enviar una copia a los guardias del precinto.

ATTEST:  
 ATESTIGUA:

ASHLEY E. MELNIK  
 CITY CLERK  
 SECRETARIA DE LA CUIDAD



**City of Revere**  
**Chief Financial Officer/City Auditor**  
 281 Broadway  
 Revere, MA 02151  
 Tel: (781) 286-8131

**Richard Viscay**  
**Chief Financial Officer/City Auditor**

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November 18, 2021

Tony Zambuto, Council President  
 Revere City Hall  
 281 Broadway  
 Revere, MA 02151

RE: Repurpose of McKinley School bond authorization for DPW and Fire Station projects

Dear Council President Zambuto,


As you know, the city has bonded for construction of a new DPW facility and a new Point of Pines fire station. Both projects are preparing to go out bid through the work of the respective project's Owner's Project Manager (OPM). There are concerns that due to the extraordinary times, final bids may exceed the amounts authorized for the respective projects (\$22.5m for DPW facility and \$9.2m for Point of Pines fire station).

To execute contracts once bids submitted, reviewed, and ultimately rewarded, we will need to have funds available to cover all costs related to these projects.

Since we already have a \$2.5 million bond authorization for the McKinley school, and since we are still exploring all options to fund a renovation of that school, including the use of funds from the American Rescue Plan Act (ARPA), I would respectfully request that we repurpose this authorization as written in the attached loan order, to give the city the option of using these previously authorized funds for any potential costs that exceed the original amounts authorized.

This request is timely due to the ability for us to bid these projects over the next few months so construction can begin one the winter months end. I will be in attendance to all meetings scheduled for this request.

Very truly yours,

  
 Richard Viscay  
 Chief Financial Officer/City Auditor

Cc: Mayor Brian Arrigo  
 Don Ciaramella, Chief of Infrastructure and Public Works  
 Chris Bright, Fire Chief  
 Cathy Bowden, City Treasurer/Collector  
 Assunta Newton, Assistant Budget Director

Attachment: Repurpose of McKinley School Bond Authorization for DPW and Fire Station Projects (21-405 : Repurpose of McKinley School

**City of Revere, Massachusetts**  
Suggested Form of Loan Order

Capital Improvement Bonds  
(Repurpose McKinley School Project Authorization for DPW Building and Fire Station Projects)

Ordered: That Order No. 13-047B adopted by the City Council on April 2, 2013 and approved by the Mayor on April 9, 2013, which authorized borrowing \$2,500,000 for the purpose of paying costs of reconstruction and making extraordinary repairs to the McKinley School, is hereby rescinded in its entirety and replaced by the following in order to repurpose that borrowing authorization to pay additional costs of the new Department of Public Works Building project and the Alden Mills Point of Pines Fire Station project:

“Ordered: That \$2,500,000 is appropriated to pay additional costs of the following two projects: a) designing, constructing, originally equipping and furnishing a new Department of Public Works Building, including the payment of all costs incidental and related thereto, for which the City previously authorized borrowing \$22,500,000 pursuant to Order No. 18-097 adopted by the City Council on May 21, 2018 and approved by the Mayor on May 23, 2018; and b) demolition and construction of the Alden Mills Point of Pines Fire Station, including the payment of all costs incidental and related thereto, for which the City previously authorized borrowing \$9,200,000 pursuant to Order No. 19-150 adopted by the City Council on July 29, 2019 and approved by the Mayor on August 5, 2019; and that to meet this supplemental appropriation, the Treasurer, with the approval of the Mayor, is authorized to borrow said amount under and pursuant to Chapter 44, Section 7(1) of the General Laws, or pursuant to any other enabling authority, and to issue bonds or notes of the City therefor.

Further Ordered: That any premium received by the City upon the sale of any bonds or notes approved by this order, less any such premium applied to the payment of the costs of issuance of such bonds or notes, may be applied to the payment of costs approved by this order in accordance with Chapter 44, Section 20 of the General Laws, thereby reducing the amount authorized to be borrowed to pay such costs by a like amount.

Further Ordered: That the Treasurer is authorized to file an application with the appropriate officials of The Commonwealth of Massachusetts (the “Commonwealth”) to qualify under Chapter 44A of the General Laws any and all bonds of the City authorized to be borrowed pursuant to this loan order, and to provide such information and execute such documents as such officials of the Commonwealth may require in connection therewith.”



## CITY OF REVERE

Brian M. Arrigo  
Mayor

November 18, 2021

Honorable Revere City Council  
Revere City Hall  
281 Broadway  
Revere, MA 02151

Dear Members of the Honorable City Council:

I write to inform you of my appointment of Paul J. Fahey as Election Commissioner. Paul has several decades of experience as an executive in both state and local governments, most recently serving as the Chief of Staff for the City of Amesbury. A graduate of the Harvard Kennedy School, his expertise in municipal operations also enabled him to operate a consulting firm that supported government agencies. His proven track record of government compliance and innovation will serve him well as we tighten our election protocols and work to expand voting access. Given his tremendous acumen for government operations and management, I have full confidence in Paul's ability to lead the Election Department on our growing city.

Regards,

Brian M. Arrigo  
Mayor

Attachment: P. Fahey Appointment (21-406 : Appointment of Paul J. Fahey as Election Commissioner)



**PAUL J. FAHEY**  
**186 W. Wyoming Avenue, Apt 3**  
**Melrose, MA 02176**  
**202-664-4911**  
[pjfahey@hotmail.com](mailto:pjfahey@hotmail.com)

## **EMPLOYMENT HISTORY**

### **Chief of Staff/Human Resources Coordinator, Office of the Mayor**

*City of Amesbury, Massachusetts*

2020-present

Support and assist Mayor with administration of all municipal departments. Research, prepare, and submit legislation to City Council. Represent Mayor at City Council and its committees. Act as liaison with intergovernmental agencies (federal, state, regional). Assist Chief Financial Officer with budget preparation and submission to Council and fiscal oversight of all City departments. Serve as Mayor's designee for all labor relations issues and leads negotiations with all City unions. Acted as Human Resources Coordinator with responsibility for functions until May 2021.

### **Chief of Staff/Chief Operating Officer, Office of the Mayor**

*City of Methuen, Massachusetts*

2018-2019

Managed municipal department heads at Mayor's direction. Served as Mayor's representative at City Council and boards and commissions. Liaisoned with intergovernmental agencies (federal, state, regional) on issues of concern. Supervised preparation and submission of annual budgets. Served as Mayor's spokesman with local media outlets. Negotiated collective bargaining agreements. Implemented state-mandated fiscal oversight, including hiring of City's first Chief Administrative & Financial Officer.

### **President and Principal Consultant**

*Fahey Consulting Group*

2013-2017

Provided administrative, fiscal, legislative, and policy support to government agencies, consulting firms, and non-profit and trade associations. Monitored state procurement of emergency communications system. Analyzed 9-1-1 tariffs for telecommunications provider. Reviewed and wrote policies and procedures for large urban emergency communications center. Led team studying potential consolidating of emergency communications facilities. Prepared recommendations to municipality on expanded broadband access.

### **Director of Association & Government Affairs**

*Cassidian Communications*

2006-2013

Led association and government affairs for international emergency communications provider. Tracked legislation and regulations on issues of concern. Represented company on professional association policy boards. Worked with sales teams to identify and pursue major government opportunities in the United States and Canada.

**Executive Director, Statewide Emergency Telecommunications Board***Commonwealth of Massachusetts, Executive Office of Public Safety* 2002-2006

Directed state agency responsible for managing statewide 9-1-1 systems. Implemented legislative and regulatory initiatives on wireline/wireless 9-1-1. Managed agency administrative, fiscal, operations, and program activities. Served on national association of state 9-1-1 administrators and policy committees of national professional associations.

**Chief of Staff/Legislative Director, Joint Committee on Public Safety***Commonwealth of Massachusetts, State Senate* 1999-2001

Managed staff of Senate Chair. Wrote, filed, and tracked legislation on issue priorities. Prepared testimony in support of legislative initiatives. Researched and wrote reports on enhanced seatbelt enforcement and school & workplace violence issues.

**Administrative Assistant, House Committee on Ways and Means***Commonwealth of Massachusetts, State House of Representatives* 1995-1999

Addressed constituent concerns and proposed solutions. Wrote, filed and tracked legislation on issue priorities. Represented Assistant Vice Chair at events in legislative district. Prepared analysis of budget items for Committee consideration. Staffed conference committee meetings on annual state operating budget.

**EDUCATION**

Harvard University, Kennedy School of Government  
*New/Old England Senior Executives Program, 2002*

Suffolk University, Sawyer School of Business  
*Master of Public Administration, 1995*

University of Massachusetts Boston, College of Arts & Sciences  
*Bachelor of Arts, Political Science, 1993*



## CITY OF REVERE

Brian M. Arrigo  
Mayor

November 18, 2021

Honorable Revere City Council  
Revere City Hall  
281 Broadway  
Revere, MA 02151

Dear Members of the Honorable City Council:

I write to inform you of my appointment of Robert Brown to the Commission on Disabilities. Robert has several years of experience as a public employee and small business owner, and is the father of a child with a disability. Robert is passionate about serving his city and the disability community at large, and I have full confidence in his ability to serve on this essential board.

Regards,

Brian M. Arrigo  
Mayor

Attachment: R. Brown Appointment (21-407 : Appointment of Robert Brown to Commission on Disabilities)

# ROBERT BROWN

Revere, MA 02151  
857-445-5022  
bobbyb@thewickedgroup.com

## SUMMARY

Organized and motivated employee eager to apply time management and organizational skills in various environments. Seeking entry-level opportunities to expand skills while facilitating company growth. Dedicated employee known for punctuality, pursuing employment options where good customer service and positive attitude will make a difference. Flexible hard worker ready to learn and contribute to team success. Customer-oriented, strategic-thinking operations and sales professional with over 10 years of experience in building relationships, cultivating partnerships, retaining top accounts and growing profit channels.

Multi-tasking and self-motivated leader with expertise on expanding network connections, persuasively introducing products, implementing pricing models, inventory control and projections, turnaround management, territory development and revealing customer needs to deliver solutions. Strategic business professional experienced in impacting business direction with successful leadership decisions. Talented at providing key plan development and implementation. Veteran creator of successful business plans and strategic development initiatives. Adaptive Marketing Manager drives sustainable financial gains by leveraging corporate potential. Special focus on enhancing top-notch marketing solutions.

Brings innovative branding strategies and coordinates dynamic corporate events to promote brand awareness. Results-driven marketing leader born to build strategic, successful campaigns to drive profits, increase market share and cement industry dominance for demanding customers. Focused, performance-minded manager with proven skills in project management, team building, stakeholder relations and campaign optimization. Ready to offer over 10 years of experience to new role dedicated to achieving exceptional results on tight timetables.

## SKILLS

- Communication
- Conflict resolution
- Active listening
- Computer skills
- Time management
- Supervision
- Friendly, positive attitude
- Flexible
- Advance imaging skills
- Handling sensitive information
- Customer relations skills
- Training & Development
- People skills
- Analytical
- Team building
- Problem resolution
- Reliable and trustworthy
- Planning and execution
- Business development
- Financial administration
- Schedule management
- Purchasing and planning
- Cross-functional team management
- Customer retention
- Cost analysis and savings
- Performance improvements
- Online marketing and advertising
- Search engine optimization (SEO)
- Brand development and awareness
- Content generation and asset management
- Strategic networking
- Communications leadership
- Mobile marketing
- Sales promotions
- Direct marketing campaigns
- Media relations
- Deadline-driven
- Advertising
- Trade shows
- Branding
- Budget oversight
- Account management
- Start-up background
- Training and mentoring
- Accounting and finance
- Public relations
- Excellent written and verbal communicator

## EXPERIENCE

UNITED STATES POSTAL SERVICE, USPS  
Chelsea, MA

Letter Carrier

10/2014 to Current



mail.

- Improved operations by working with team members and customers to find workable solutions.
- Provided excellent service and attention to customers when face-to-face or through phone conversations.
- Demonstrated leadership by making improvements to work processes and helping to train others.
- Prioritized and organized tasks to efficiently accomplish service goals.
- Cleaned and checked over vehicle after completion of daily deliveries.
- Delivered various types of mail on routes according to strict timelines.
- Furnished customers with postal information and provided change of address information and other related postal forms.
- Observed road rules, weather and road conditions and other factors to maintain safe driving record.

### SELF-EMPLOYED

Revere, MA

#### Business Owner/Operator

01/2010 to Current

- Consulted with potential clients to determine how company could best meet needs.
- Made financial and logistics decisions in best interest of company.
- Took care of escalated customer concerns to increase satisfaction.
- Assessed quality and approved work before releasing to clients.
- Promoted business on social media platforms to maximize brand identity and generate revenue.
- Managed operations budgeting, accounts payable and accounts receivable and payroll.
- Resolved issues quickly through meticulous research and quick decision making.
- Conferred with customers to understand needs and finalize purchase orders.
- Kept records for production, inventory, income and expenses.
- Collaborated with staff to maximize customer satisfaction, streamline procedures and improve bottom-line profitability.
- Kept up-to-date on regulatory changes affecting business operations.
- Developed business and marketing plans and prepared monthly financial reports.
- Set pricing structures according to market analytics and emerging trends.
- Reconciled daily sales, returns and financial transaction reports and prepared bank deposits.
- Established favorable relationships with vendors and contractors, facilitating contract negotiation and development of marketing and sales strategies.
- Created and implemented marketing and advertising strategies to support revenue goals and promote strategic growth.
- Directed implementation of strategic business plans to achieve goals and objectives.
- Reconciled daily sales and financial transaction reports and prepared bank deposits.
- Assessed business operations to implement realistic annual budget.
- Leveraged social media to expand market reach and facilitate sales agent recruitment.
- Maintained functional and orderly building areas to deliver professional appeal to customers.
- Interviewed, trained, and supervised employees.
- Assessed, optimized and elevated operations to target current and expected demands.
- Provided organizational leadership and established business vision to achieve sales, profit and revenue goals for consignment fashion, perfume and accessories store.
- Monitored industry trends and attended trade shows to select and items for resale in stores.
- Coordinated with webmaster to develop website and create online advertisements.

### DEPT OF HOMELAND SECURITY

Boston, MA

#### Lead Transportation Security Officer

11/2008 to 12/2013

- Designed action plans to respond to emergency situations.
- Supervised and mentored team of 25-60 security officers daily.
- Managed all security operations at various security checkpoints.
- Guarded restricted areas to prevent unauthorized entry.
- Upheld strong customer service standards while completing screenings.
- Watched each individual to assess demeanor and look for suspicious behavior.
- Completed routine and incident-related documentation.
- Worked with local and federal law enforcement agents to apprehend suspicious individuals.
- Noted possible security issues and performed additional reviews.
- Responded to emergency situations quickly to minimize risk and injury.



- Enforced security regulations and escorted non-compliant individuals to private areas for processing.
- Communicated with other screening staff to promptly call attention to potential or active safety problems.
- Checked footage and live feeds from surveillance cameras for trespassers and criminal activity.
- Circulated among patrons and customers to keep abreast of emergent security situations.

**DEPT OF HOMELAND SECURITY**  
Boston, MA

**Transportation Security Officer**

08/2006 to 11/2008

- Guarded restricted areas to prevent unauthorized entry.
- Searched individuals and baggage for devices, weapons and other prohibited items.
- Monitored and conducted passenger screening.
- Verified integrity and accuracy of photo ID's, tickets and passports prior to authorizing passage.
- Watched each individual to assess demeanor and look for suspicious behavior.
- Utilized metal detectors, wands and X-ray screening machines to perform thorough check of individuals, belongings and cargo.
- Upheld strong customer service standards while completing screenings.
- Worked with local and federal law enforcement agents to apprehend suspicious individuals.
- Protected vessels, passengers and crew by testing items and individuals for explosive material residue.
- Conducted pat-downs and hand-held wand searches of passengers when machine alarms indicated further inspection.
- Manually searched carry-on or checked baggage containing suspect items such as weapons or liquids exceeding volume limits.
- Assessed baggage which triggered alarms to determine whether additional search was warranted.
- Operated scanning equipment to keep entrance lines moving efficiently.

**EDUCATION AND TRAINING**

**HIGH SCHOOL DIPLOMA**

Everett High School, Everett, MA



## CITY OF REVERE

Brian M. Arrigo  
Mayor

November 18, 2021

Honorable Revere City Council  
Revere City Hall  
281 Broadway  
Revere, MA 02151

Dear Members of the Honorable City Council:

I write to request that the position of ADA Coordinator/Chair of the Commission on Disabilities be hereby designated as a "Special Municipal Employee" in accordance with the provisions of MGL ch. 268A, § 1(n) and MGL ch. 268A, § 20(c).

Regards,

Brian M. Arrigo  
Mayor

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